



Planning, Development & Extension Education Committee
Agenda
Kenosha County Center
Wednesday, January 11, 2017

NOTE: UNDER THE KENOSHA COUNTY BOARD RULES OF PROCEDURE ANY REPORT, RESOLUTION, ORDINANCE OR MOTION APPEARING ON THIS AGENDA MAY BE AMENDED, WITHDRAWN, REMOVED FROM THE TABLE, RECONSIDERED OR RESCINDED IN WHOLE OR IN PART AT THIS OR AT FUTURE MEETINGS. NOTICE OF SUCH MOTIONS TO RECONSIDER OR RESCIND AT FUTURE MEETINGS SHALL BE GIVEN IN ACCORDANCE WITH SECTION 2 C OF THE COUNTY BOARD RULES. FURTHERMORE, ANY MATTER DEEMED BY A MAJORITY OF THE BOARD TO BE GERMANE TO AN AGENDA ITEM MAY BE DISCUSSED AND ACTED UPON DURING THE COURSE OF THIS MEETING AND ANY NEW MATTER NOT GERMANE TO AN AGENDA ITEM MAY BE REFERRED TO THE PROPER COMMITTEE. ANY PERSON WHO DESIRES THE PRIVILEGE OF THE FLOOR PRIOR TO AN AGENDA ITEM BEING DISCUSSED SHOULD REQUEST A COUNTY BOARD SUPERVISOR TO CALL SUCH REQUEST TO THE ATTENTION OF THE BOARD CHAIRMAN

Notice is hereby given that a meeting will be held by the Kenosha County Planning, Development & Extension Education Committee on **Wednesday, January 11, 2017 at 6:00p.m. in Conference Room B followed by a public hearing at 7:00 p.m. in the Public Hearing Room** at the Kenosha County Center, 19600 75th Street, Bristol, Wisconsin on the following requests:

1. **CERTIFICATION OF COMPLIANCE WITH WISCONSIN OPEN MEETINGS LAW**
2. **REVIEW YOUTH IN GOVERNANCE PROGRAM POLICIES**
3. **FEATURE PROGRAM: "2016 PROGRAM HIGHLIGHTS"**
4. **NEXT GENERATION COOPERATIVE EXTENSION REORGANIZATION UPDATES**
5. **UW-EXTENSION DIRECTOR UPDATES**

7:00 p.m. - LAND USE ITEMS HEARINGS - KCC PUBLIC HEARING ROOM

6. **WISCONSIN BOY SCOUTS SOL CROWN (OWNER), MICHAEL HALE (AGENT) - CONDITIONAL USE PERMIT - SALEM**

Wisconsin Boy Scouts Sol Crown, 2745 Skokie Valley Rd., Highland Park, IL 60035-1042 (Owner), **Michael Hale**, 2745 Skokie Valley Rd., Highland Park, IL 60035-1042 (Agent), requesting to amend a previously approved **Conditional Use Permit** to allow expansion of an existing campground in the PR-1 Park-Recreational Dist. on Tax Parcel #67-4-120-311-0502 located in the NE ¼ of Section 31 and the SW ¼ of Section 32, T1N, R20E, Town of **Salem**

Documents:

[0502 - CUP SUBMITTED APPLICATION.PDF](#)
[0502 - EXHIBIT MAP.PDF](#)

7. **LAKESIDE DEVELOPMENT CORP. & GLENDA DUPONS (OWNER) - COMPREHENSIVE PLAN AMENDMENT - SALEM**

Lakeside Development Corp. & Glenda Dupons, Comprehensive Plan Amendment, 25450 60th St., Salem, WI 53168 (Owner), requests an

amendment to the Adopted Land Use Plan map for Kenosha County: 2035 (map 65 of the comprehensive plan) from “High-Density Residential”, “Medium-Density Residential” & “PEC” to “Medium-Density Residential” & “PEC” on Tax Parcel #66-4-120-212-1402 located in the NW ¼ of Section 21, T1N, R20E, Town of **Salem**

Documents:

[1402 - CPA SUBMITTED APPLICATION.PDF](#)

[1402 - EXHIBIT MAP CPA.PDF](#)

8. LAKESIDE DEVELOPMENT CORP. & GLENDA DUPONS (OWNER) - REZONE - SALEM

Lakeside Development Corp. & Glenda Dupons, 25450 60th St., Salem, WI 53168 (Owner), requesting a **rezoning** from R-11 Multiple-Family Residential Dist., R-3 Urban Single-Family Residential Dist., A-2 General Agricultural Dist. & C-1 Lowland Resource Conservancy Dist. to R-3 Urban Single-Family Residential Dist., C-2 Upland Resource Conservancy Dist. & C-1 Lowland Resource Conservancy Dist. on Tax Parcel #66-4-120-212-1402 located in the NW ¼ of Section 21, T1N, R20E, Town of **Salem**

Documents:

[1402 - REZO - SUBMITTED APPLICATION.PDF](#)

[1402 - REZO EXHIBIT MAP.PDF](#)

9. WI ELECTRIC POWER CO., D/B/A WE ENERGIES (OWNER), BRIAN FORSTON (AGENT) - CONDITIONAL USE PERMIT - PARIS

Wisconsin Electric Power Co., d/b/a WE Energies, 333 W Everett St., Milwaukee, WI 53203 (Owner), **Brian Forston**, 330 E Delavan Dr., Janesville, WI 53546 (Agent), requesting to amend a previously approved **Conditional Use Permit** to install a main data facility building in the I-1 Institutional Dist., on Tax Parcel #45-4-221-041-0225 located in the NE ¼ of Section 4, T2N, R21E, Town of **Paris**

Documents:

[0225 - CUP SUBMITTED APPLICATION.PDF](#)

[0225 - EXHIBIT MAP.PDF](#)

10. TABLED BADTKE HOLDINGS LLC (OWNER) - JEFF BADTKE (AGENT) - CONDITIONAL USE PERMIT - PARIS

Tabled Request of Badtke Holdings LLC, 1520 136th Ave., Union Grove, WI 53182 (Owner), **Jeff Badtke**, 1520 136th Ave., Union Grove, WI 53182 (Agent), requesting a **Conditional Use Permit** to operate a resale lot of trucks, large and small farm equipment, and construction equipment in the B-5 Highway Business Dist., and to operate a landscaping and lawn care service in the B-5 Wholesale Trade and Warehousing Dist., on Tax Parcel #45-4-221-173-0202 located in the SW ¼ of Section 17, T2N, R21E, Town of **Paris**

Documents:

[0202 - CUP SUBMITTED APPLICATION.PDF](#)

[0202 - EXHIBIT MAP.PDF](#)

11. CERTIFIED SURVEYS

12. **APPROVAL OF MINUTES**
13. **CITIZENS COMMENTS**
14. **ANY OTHER BUSINESS ALLOWED BY LAW**
15. **ADJOURNMENT**

NOTICE TO PETITIONERS

The petitioners: Wisconsin Boy Scouts Sol Crown (Owner), Michael Hale (Agent), Lakeside Development Corp. & Glenda Dupons (Owner), Wisconsin Electric Power Co., d/b/a WE Energies (Owner), Brian Forston (Agent), Badtke Holdings LLC (Owner), Jeff Badtke (Agent)

NOTICE TO TOWNS

The Towns of Paris and Salem are asked to be represented at the hearing on Wednesday, January 11, 2017, at the Kenosha County Center Public Hearing Room, 19600 75th Street, Bristol, Wisconsin. You are requested to either attend or send in your recommendation to the committee.

RECEIVED

NOV - 7 2016

December 2012



COUNTY OF KENOSHA
Kenosha County
Department of Planning and Development

RECEIVED

NOV - 7 2016

Kenosha County
Deputy County Clerk

CONDITIONAL USE PERMIT APPLICATION

(a) Property Owner's Name:

Wisconsin Boy Scouts Sol Crown Nature Appreciation Society Inc.

Print Name: Michael Hale Signature: Michael Hale

Mailing Address: 2745 Skokie Valley Road

City: Highland Park State: IL Zip: 60035-1042

Phone Number: 847/433-1813 E-mail (optional): _____

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: _____ Signature: _____

Business Name: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone Number: _____ E-mail (optional): _____

(c) Architect's Name (if applicable):

Print Name: Joseph J. Behles Signature: Joseph J. Behles

Business Name: BEHLES+BEHLES

Mailing Address: 818 Church Street

City: Evanston State: IL Zip: 60201

Phone Number: 847/864-0440 E-mail (optional): joeb@behlesbehles.com

(d) Engineer's Name (if applicable):

Print Name: _____ Signature: _____

Business Name: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone Number: _____ E-mail (optional): _____

CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

67-4-120-311-0502

Address of the subject site:

11637 304th Avenue

(f) Plan of Operation (or attach separate plan of operation)

Type of structure: See attached Plan of Operation

Proposed operation or use of the structure or site: See attached Plan of Operation

Number of employees (by shift): See attached Plan of Operation

Hours of Operation: See attached Plan of Operation

Any outdoor entertainment? If so, please explain: See attached Plan of Operation

Any outdoor storage? If so, please explain: See attached Plan of Operation

Zoning district of the property: PR-1

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

CONDITIONAL USE PERMIT APPLICATION

For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

(h) The Kenosha County Department of Planning and Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.

Request for Conditional Use Permit \$750.00

(For other fees see the Fee Schedule)



(f) Plan of Operation

RE: Camp Sol R Crown – Existing Conditional Use Amendment Request
11637 304th Ave.
Trevor, WI

Application is made to modify the existing Conditional Use Permit for the above referenced property. Camp Sol R. Crown, operated by the Boy Scouts of America, is located in the PR-1 PARK-RECREATIONAL DISTRICT, and operates as a campground by right of an existing Conditional Use Permit.

Camp Sol R Crown has provided outdoor activities for Cub Scouts, Boy Scouts and Venture Scouts since 1957. The Camp's 146 acres of rolling hills with wooded and open areas make weekend camping a memorable experience for Scouts. Existing improvements include 28 campsites, a heated shelter building, a caretaker's residence, and the Frank Jadel training center. Camp Crown is used year-round for weekend activities, Scout unit campouts, Camp-O-Rees, winter camping, and adult & youth training.

To maintain & improve the Scout experience at Camp Crown, request is made to modify the existing Conditional Use Permit for the property to include four new projects. Attachment A, Site Plan, provides an accurate plan of the Camp property, and shows the location of the four proposed projects.

1 & 2 Two new Camper Cabins (Attachment B):

Type of structure:

1 story, wood framed, slab on grade buildings, each 2614 SF gross building area, with open covered porches totaling an additional 357 SF. The height of each cabin will be 20'-8". The cabins will be heated & air conditioned for year round use, and include 4 single person toilet rooms, a main youth bunk room, 2 adult bunk rooms, a serving kitchen, a janitor/utility room, and two entries. Exterior materials include horizontal wood siding, board & batten wood siding, residential windows & doors, laminated fiberglass/asphalt shingles, and round log columns. The cabins will be fully ADA compliant and accessible to Scouts of all abilities.

Proposed operation or use of the structure or site:

The Cabins' primary use will be to provide a comfortable transition to outdoor weekend camping, with a focus on younger Cub Scouts and their families. BSA guidelines require qualified, trained adult leader & parent supervision of all Scouts, and the cabin will only be occupied by youth when trained adult leaders are present. The Cabins are intended primarily for weekend use, & may be occupied by older Scout groups during winter weekends, & occasionally by visiting adult Scouters attending training at the Frank Jadel training center. Check-in, check-out, & management of the cabins will be by on-site adult volunteer camp masters.

3 Climbing Wall & Zip Line (Attachment C):

Type of Structure:

Outdoor, open air, wood structure of wood log, dimensional lumber & wood decking construction. All wood materials will be treated & rated for outdoor exposure.





Two structures are proposed: One is a combined climbing tower and zip-line take-off platform. The climbing tower will include Scout climbing, bouldering, & rappelling sections, and a Cub climbing wall. Scout sections will be as high as 40', with Cub areas limited to 20' in height. The building footprint will be approximately 18' x 24', with a height to the top of the open roof above the tower of approximately 54'. The lower portion of the building will include a take-off platform for the zip-line, which will run above the terrain for a distance of approximately 600 feet to the zip-line landing platform.

The second structure, the zip-line landing structure, will be approximately 18' x 24', with a height to the top of the covered open roof of approximately 20'.

A small, wood framed garden type building, no larger than 8' x 12', will be located adjacent to the climbing tower for storage of climbing and zip line gear.

Proposed operation or use of the structure or site:

Both the climbing tower and zip line will be used during daylight hours only, primarily during weekends when Scouts are at camp. Operation will be by BSA trained & certified staff, in accordance with National BSA requirements. A similar climbing wall and zip-line have recently been constructed and operated at Camp Crown's sister facility, Camp Ma-Ka-Ja-Wan, in Pearson WI. Photographs of that climbing wall are included for reference.

4 Storage Building (Attachment D):

Type of Structure:

Wood framed, slab on grade, storage garage to be located near the Frank Jadel training center. The building will be 36' x 36', with an open, covered front canopy projecting 12' at the front façade. Exterior materials include horizontal wood siding, residential style doors, a 12' wide overhead sectional door, and fiberglass/asphalt shingles. The building will include lighting & convenience electric power, but no heating or air conditioning.

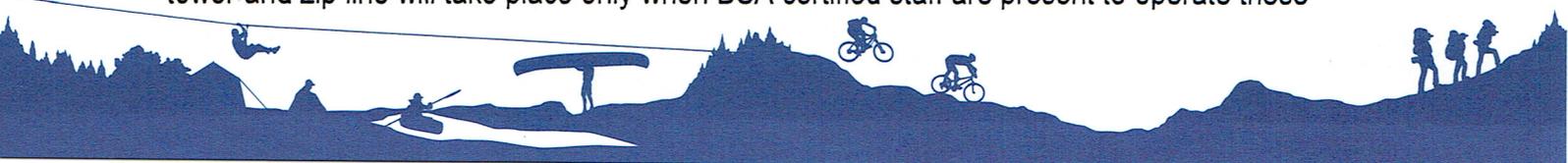
Proposed operation or use of the structure or site:

The storage building will be used to consolidate existing, miscellaneous materials now dispersed throughout the camp. Additionally, adult & junior leader training program materials will be stored on-site in the building, diminishing the need to transport supplies to Camp Crown for recurring training programs. No hazardous materials will be stored in the facility.

To support these four projects, improvements to the existing gravel Camp roads will be made as shown on Attachment A, Site Plan. The improvements will be made to better consolidate existing scattered parking at Camp, and provide clear access for emergency equipment, as discussed with the Town of Salem Fire/Rescue, and subject to additional review and approval by the Department.

Number of employees (by shift):

Existing facilities at Camp Crown include a single family residence for a Caretaker who lives on the property near the Camp entrance. Scouts attending Camp are always accompanied by trained adult volunteer Scout Leaders. Additional volunteers attend to assist when Camporees, winter events, training, and other camp-wide special events are held. Operation of the climbing tower and zip line will take place only when BSA certified staff are present to operate these





facilities on weekends. These staff may be a combination of both trained volunteers and paid climbing professionals.

Hours of Operation:

The Camp is open weekends year round for camping, Scout activities, and youth and adult training. Additionally, the Jadel center is used by Scout units for Eagle Scout Courts of Honor on occasional weekday evenings.

Any Outdoor Entertainment? If so, please explain:

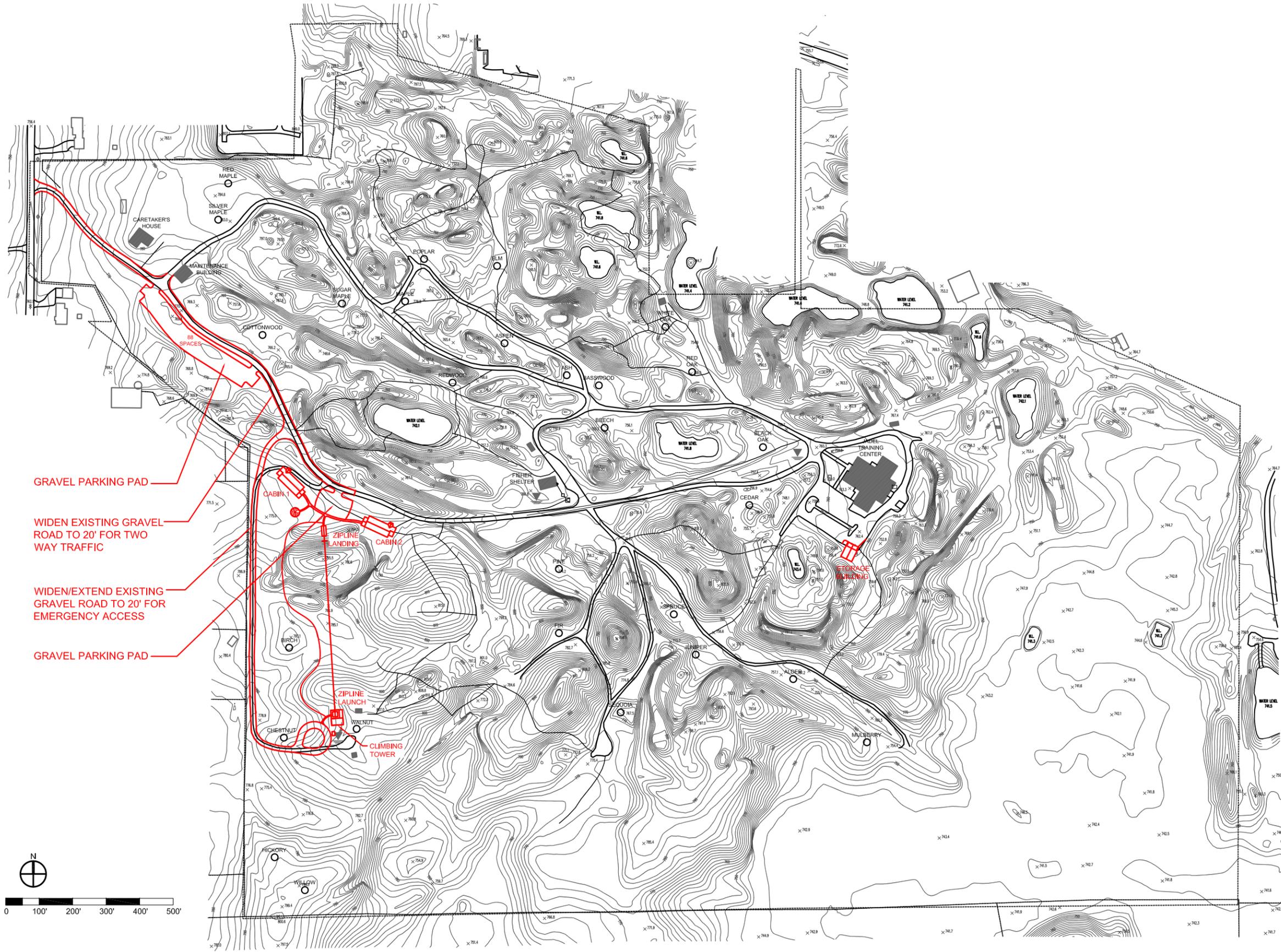
The Camp does not schedule Outdoor Entertainment per se. Individual Scout units participate in outdoor activities, which may include evening campfires, including storytelling and group sing-alongs. No amplified music, loudspeakers, etc., are used at Camp Crown.

Any outdoor Storage? If so, please explain:

No specific areas of Camp are used for outdoor storage. Item 4 of this amendment request includes construction of a storage building to allow training materials to be kept at Camp Crown.

Zoning District of the Property: PR-1





GRAVEL PARKING PAD

WIDEN EXISTING GRAVEL ROAD TO 20' FOR TWO WAY TRAFFIC

WIDEN/EXTEND EXISTING GRAVEL ROAD TO 20' FOR EMERGENCY ACCESS

GRAVEL PARKING PAD

CONDITIONAL USE: EXISTING CONDITIONS

ROAD	=====	POND	~~~~~
TRAIL	-----	CAMP BUILDING	■
CAMPSITE	○		

PROPOSED CONDITIONAL USE MODIFICATIONS

CABIN 1

CABIN 2

CLIMBING TOWER & ZIPLINE LAUNCH

ZIPLINE LANDING

36'x36' STORAGE BUILDING WITH 12' PORCH

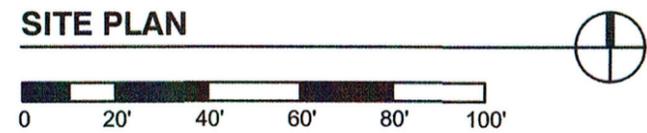
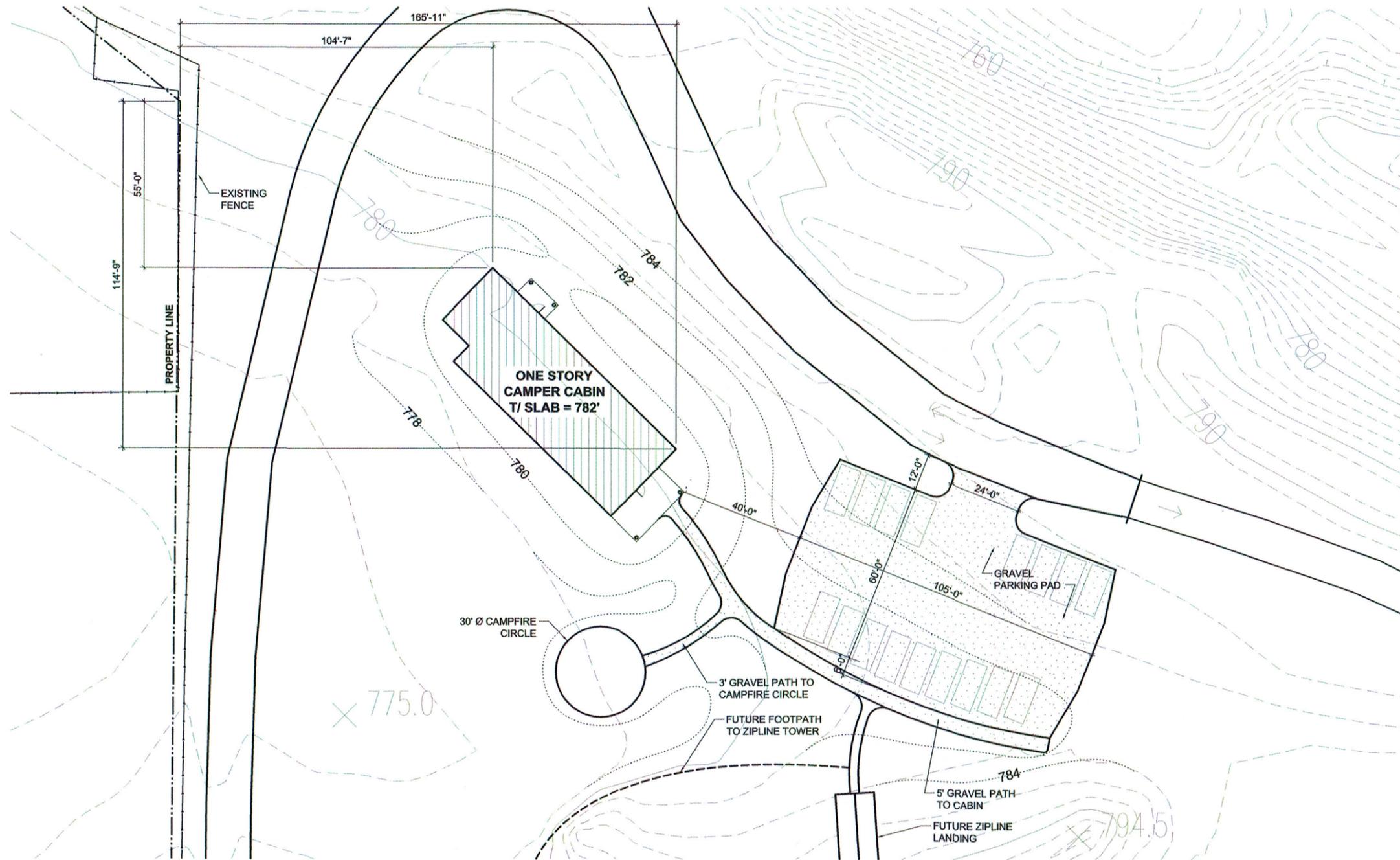
CAMP SOL R. CROWN - ATTACHMENT A

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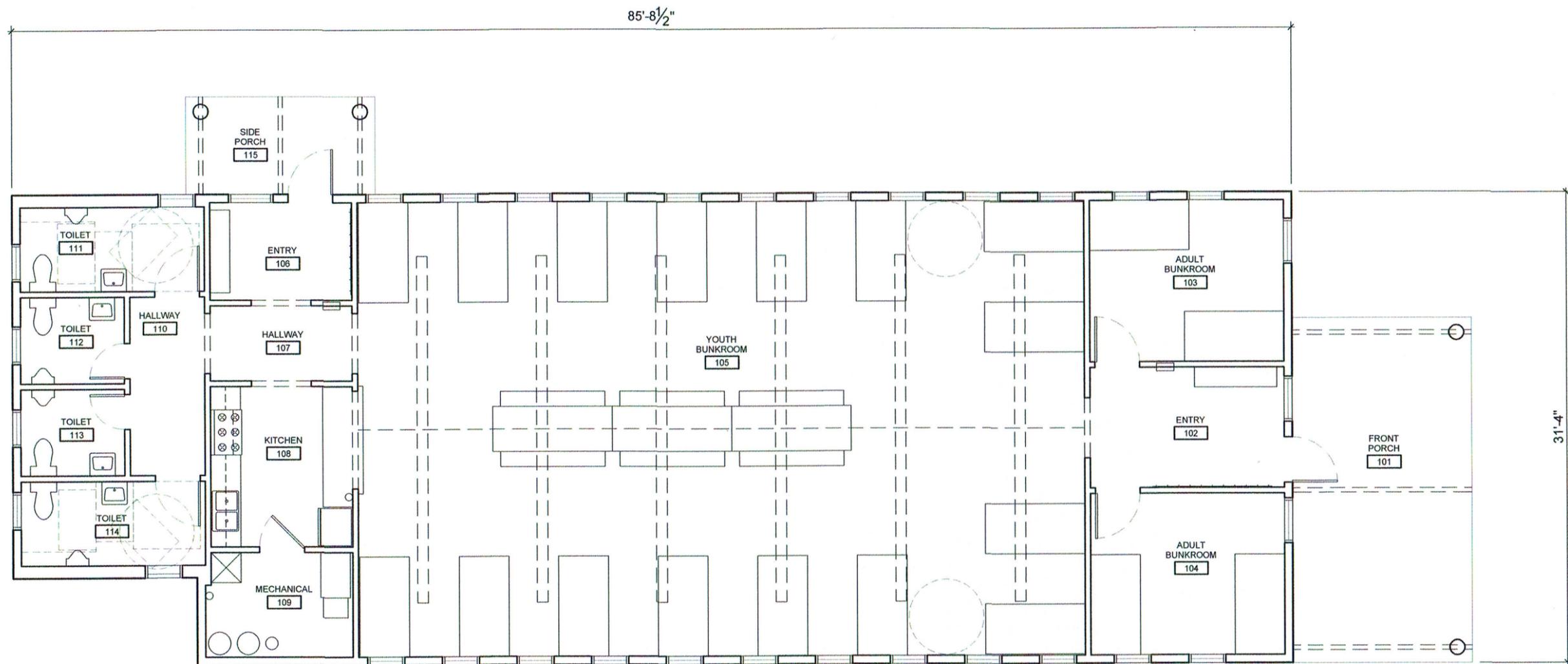
10.28.2016



CAMP SOL R. CROWN - ATTACHMENT B

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CABIN PLAN - 2,614 S.F.



CAMP SOL R. CROWN - ATTACHMENT B

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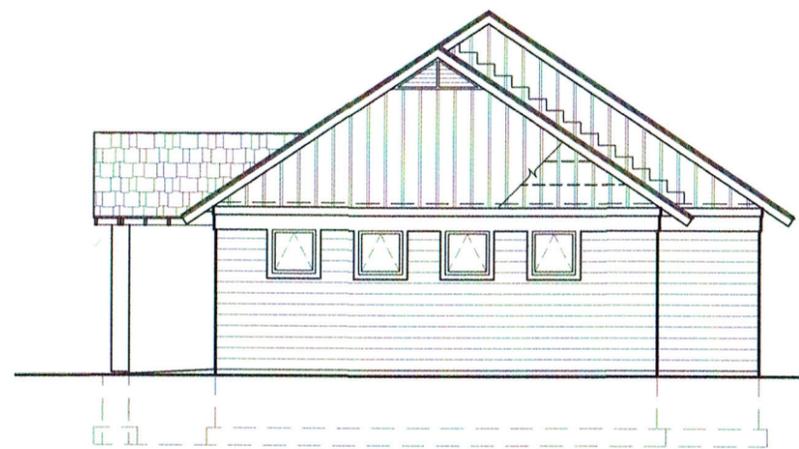
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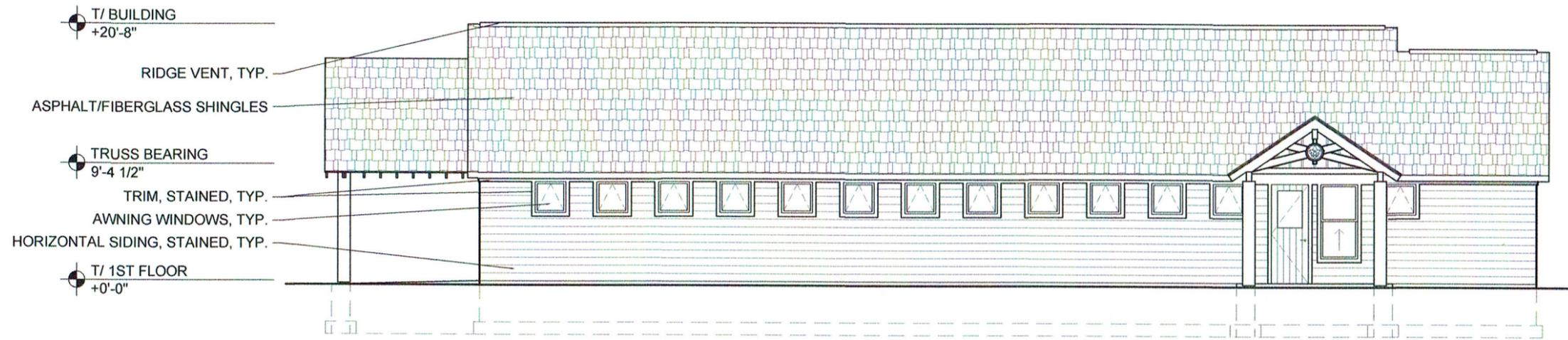
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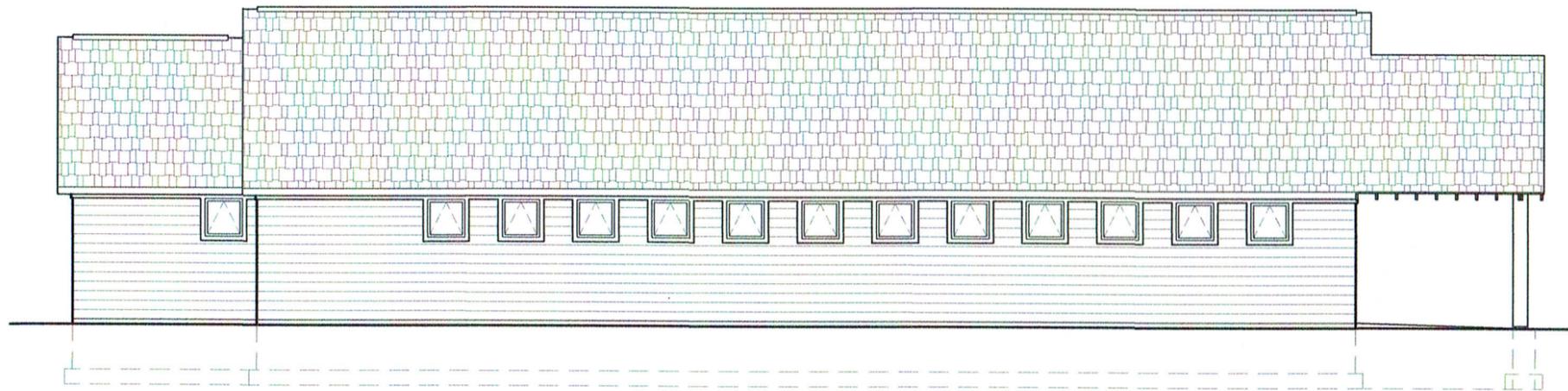
EAST ELEVATION



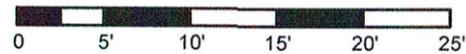
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



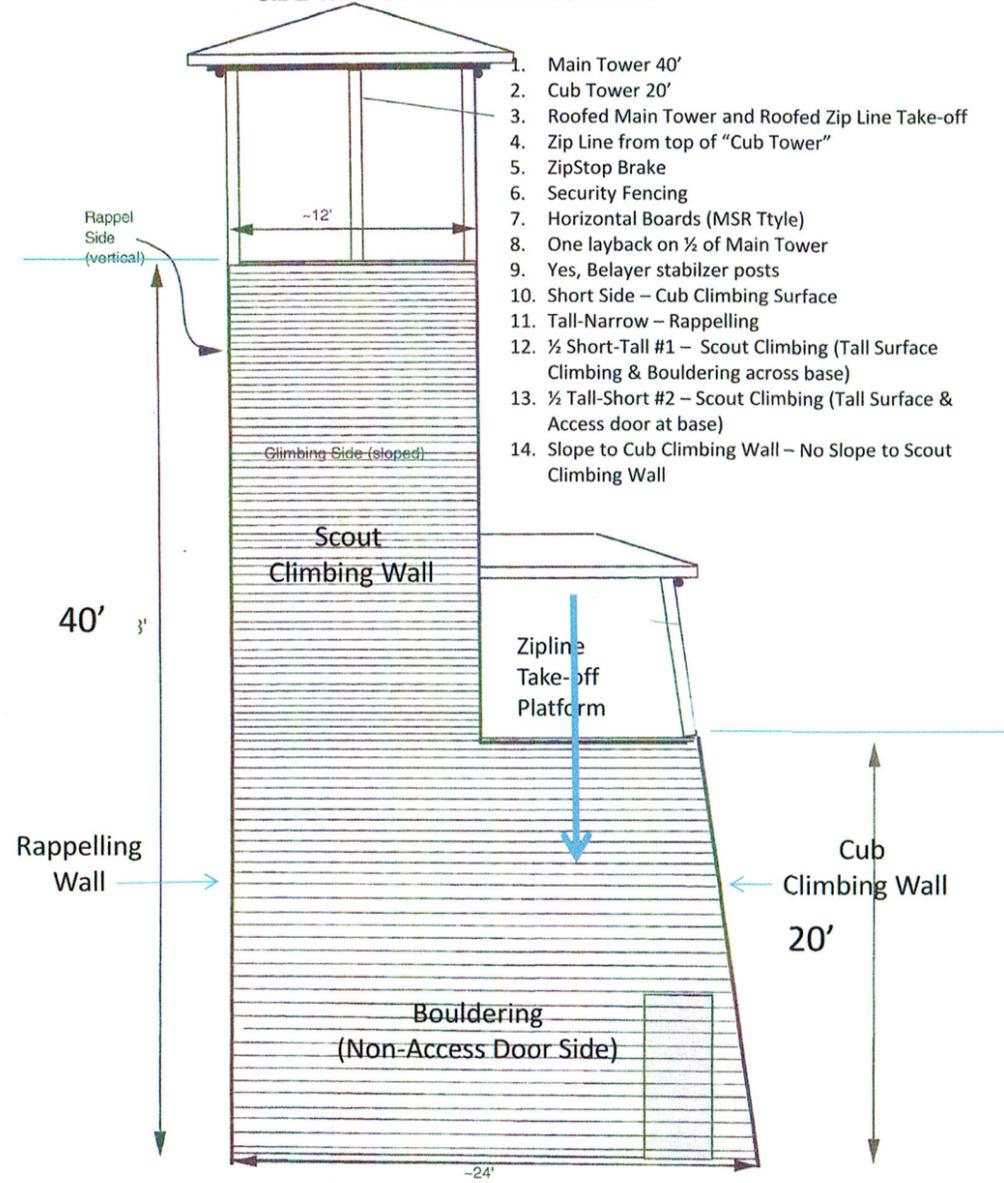
CAMP SOL R. CROWN - ATTACHMENT B

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NEIC Camp Crown

SIDE VIEW OF A POSSIBLE TOWER



1. Main Tower 40'
2. Cub Tower 20'
3. Roofed Main Tower and Roofed Zip Line Take-off
4. Zip Line from top of "Cub Tower"
5. ZipStop Brake
6. Security Fencing
7. Horizontal Boards (MSR Ttype)
8. One layback on 1/2 of Main Tower
9. Yes, Belayer stabilizer posts
10. Short Side - Cub Climbing Surface
11. Tall-Narrow - Rappelling
12. 1/2 Short-Tall #1 - Scout Climbing (Tall Surface Climbing & Bouldering across base)
13. 1/2 Tall-Short #2 - Scout Climbing (Tall Surface & Access door at base)
14. Slope to Cub Climbing Wall - No Slope to Scout Climbing Wall

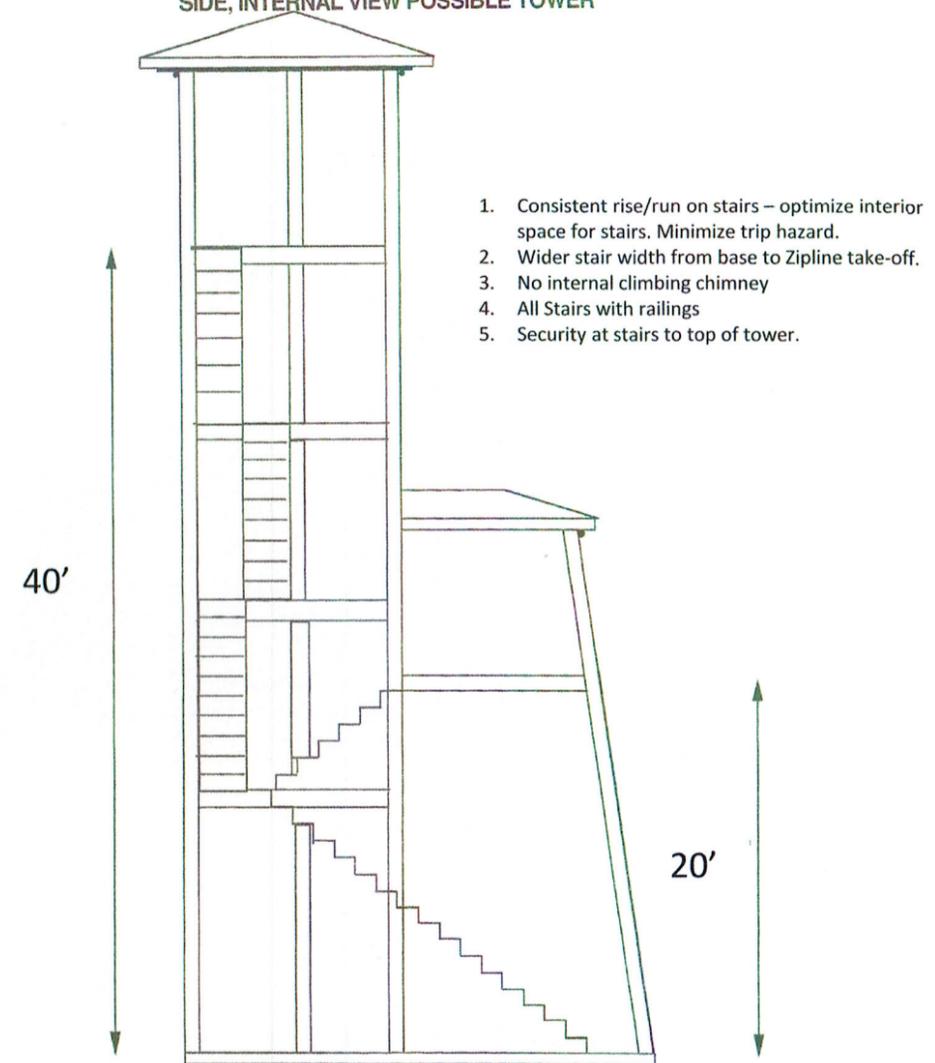
9/6/2016

NEIC - Camp Crown Climbing Wall

1

NEIC Camp Crown

SIDE, INTERNAL VIEW POSSIBLE TOWER



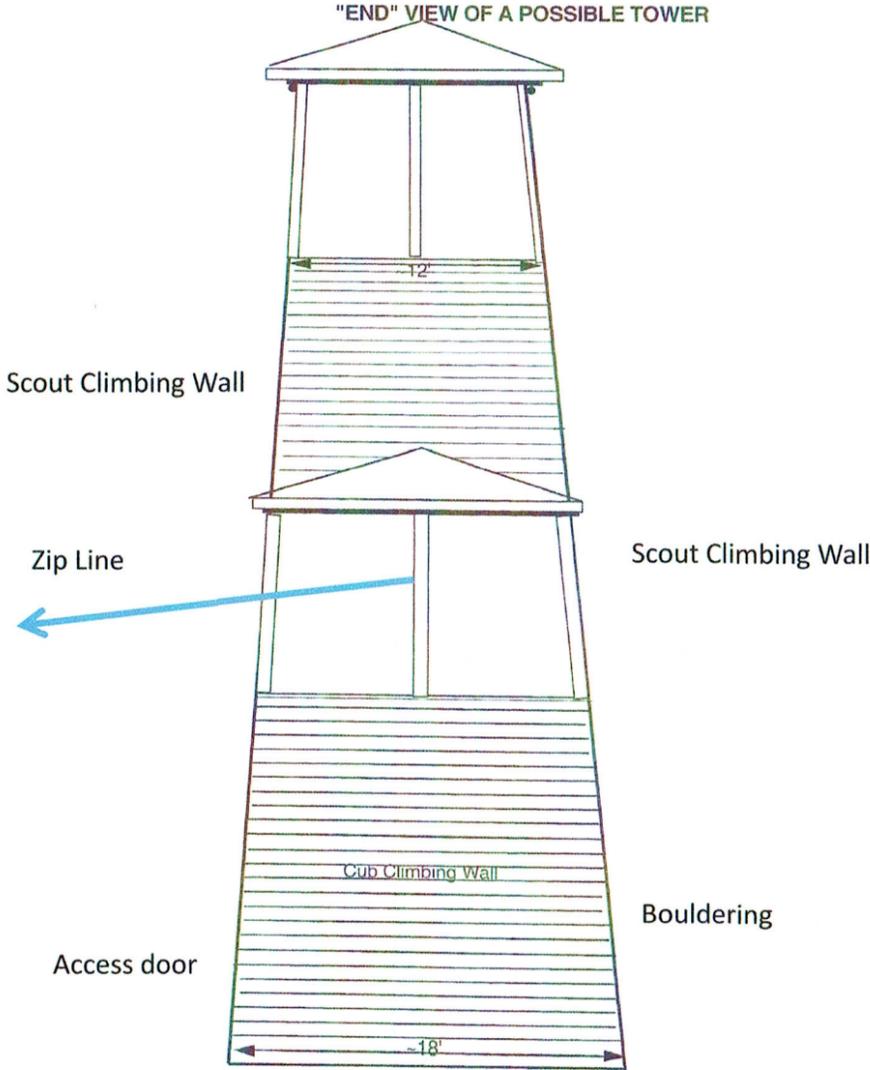
1. Consistent rise/run on stairs - optimize interior space for stairs. Minimize trip hazard.
2. Wider stair width from base to Zipline take-off.
3. No internal climbing chimney
4. All Stairs with railings
5. Security at stairs to top of tower.

9/6/2016

NEIC - Camp Crown Climbing Wall

2

NEIC Camp Crown



9/6/2016

NEIC - Camp Crown Climbing Wall

3



EXAMPLE: CLIMBING TOWER LOCATED AT CAMP MA-KA-JA-WAN

CAMP SOL R. CROWN - ATTACHMENT C

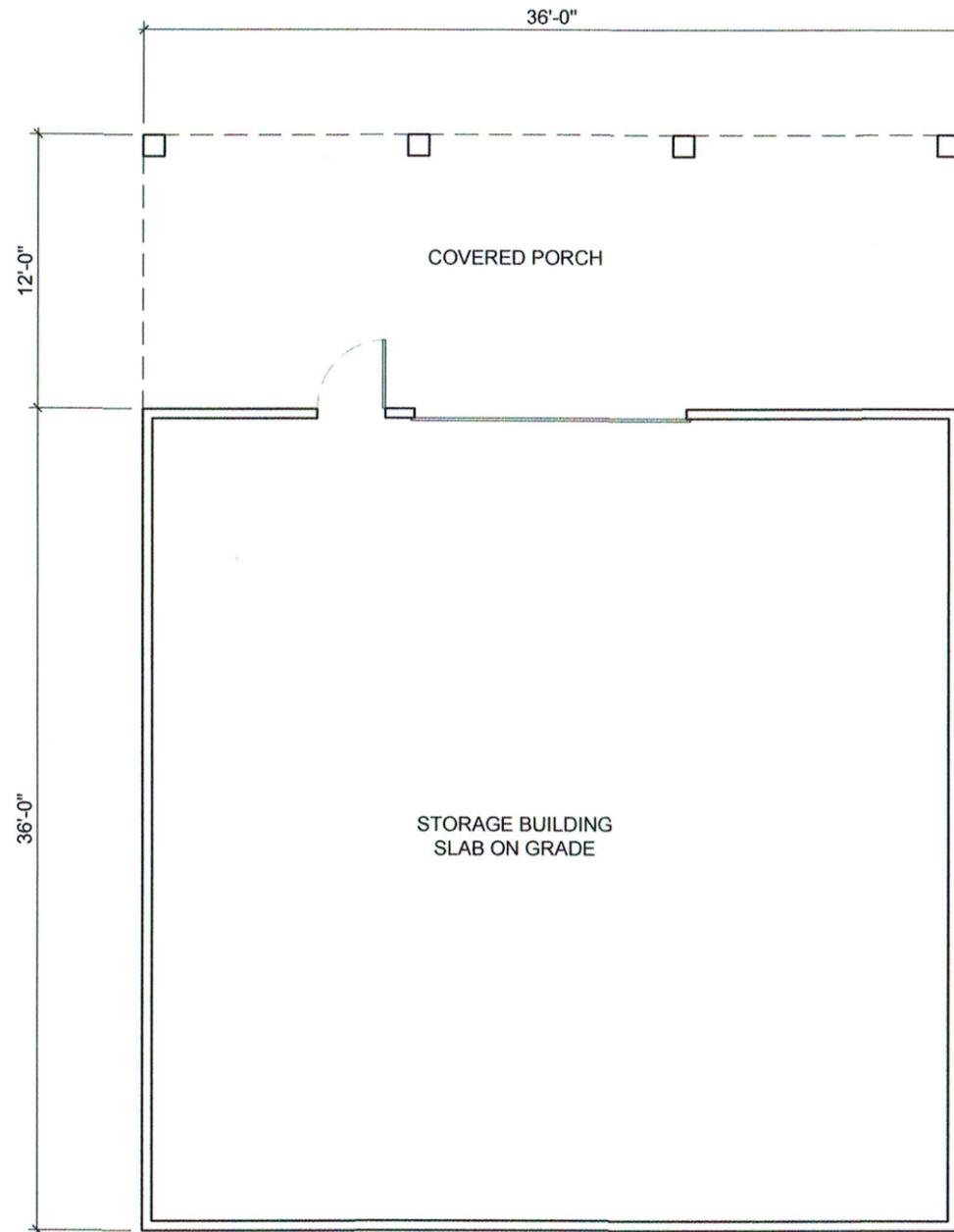
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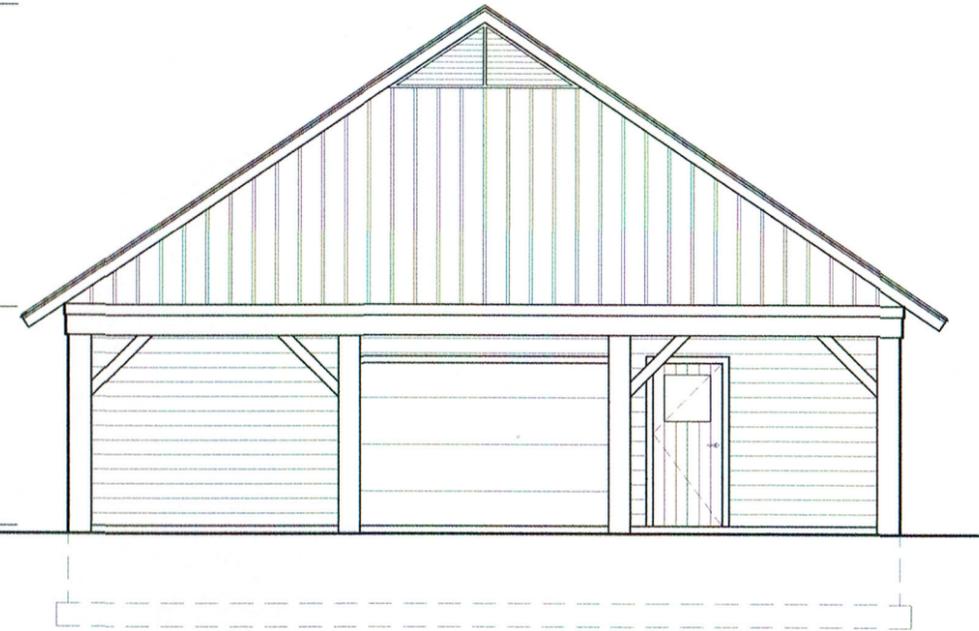
STORAGE BUILDING PLAN - 1,269 S.F.



T/ BUILDING
+22'-4 1/2"

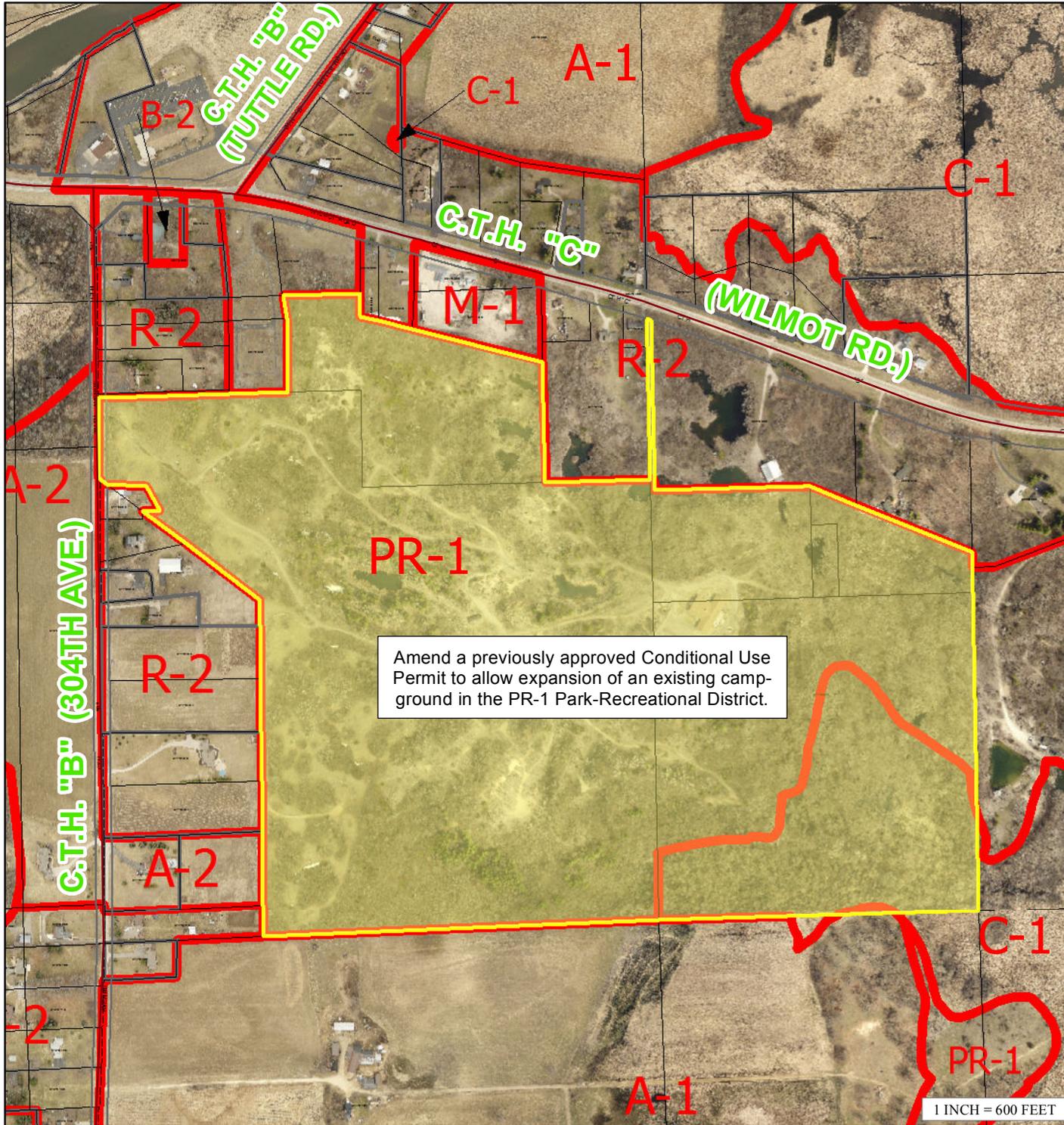
TRUSS BEARING
9'-4 1/2"

T/ 1ST FLOOR
+0'-0"



STORAGE BUILDING NORTH ELEVATION





CONDITIONAL USE SITE MAP

PETITIONER(S):

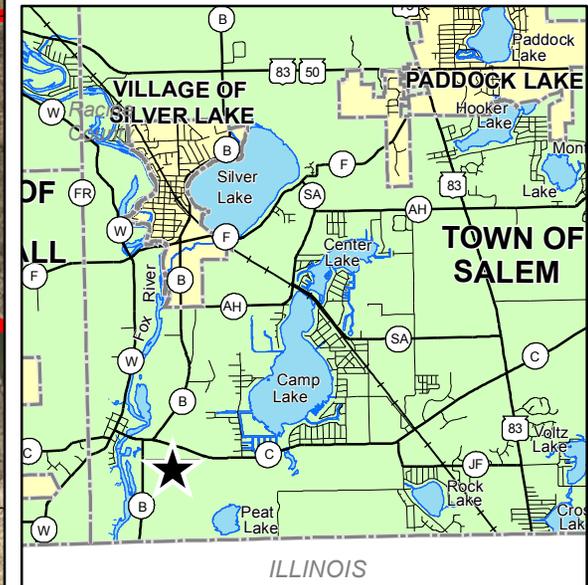
Wisconsin Boy Scouts Sol Crown
(Owner), Michael Hale (Agent)

LOCATION: NE 1/4 of Section 31,
NW 1/4 of Section 32,
Town of Salem

TAX PARCEL(S): #67-4-120-311-0502

REQUEST:

Requesting to amend a previously approved Conditional Use Permit to allow expansion of an existing campground in the PR-1 Park-Recreational District.





January 2013

COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED

NOV 14 2016

A MULTI-JURISDICTIONAL COMPREHENSIVE PLAN FOR KENOSHA COUNTY: 2035 MAP AMENDMENT APPLICATION

RECEIVED

NOV 14 2016

Kenosha County
Deputy County Clerk

Kenosha County
Planning and Development

(a) Property Owner's Name:

Lakeside Development Corp

x _____
Signature

Mailing Address:

25450 60th Street

City: Salem

State: WI

Zip: 53168

Phone Number: _____ E-mail (optional): _____

Note: If the property owner's signature cannot be obtained in the above space, a "letter of agent status" signed by the property owner must be submitted if you are an applicant (tenant, leaseholder, or authorized agent representing the legal owner) acting on their behalf.

Applicant's Name (if applicable):

Glenda Dupons

Glenda Dupons
Signature

Mailing Address:

25450 60th Street

City: Salem

State: WI

Zip: 53168

Phone Number: (262) 358-1031 E-mail (optional): glenda@bearpaddocklakes.com

(b) Existing planned land use category as shown on Map 65 of the Kenosha County comprehensive plan:

"High-Density Residential", "Medium-Density Residential" & "PEC"

(c) Proposed land use category (must be a land use category included in the legend for Map 65 of the Kenosha County comprehensive plan):

"Medium-Density Residential" & "PEC"

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

(d) Proposed use (a statement of intended use and/or the type, extent, area, etc. of any development project):

4 single family homes

(e) Compatibility with the Kenosha County comprehensive plan (address the following questions in detail):

(e-1) Is the proposed amendment consistent with the goals, objectives, policies, and programs of this plan? Explain:

yes, application attached

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

(e-4) Has a substantial public benefit been demonstrated by the proposed plan amendment? Explain:

Not sure

will provide more housing potential

(e-5) Are public roads, services, and utilities available, or planned to be available in the near future, to serve the proposed development? Explain:

yes

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

(e-2) Is the proposed amendment compatible with surrounding land uses? Explain its compatibility with both existing and planned land uses:

yes

(e-3) Will the proposed amendment have any detrimental environmental effects? Explain:

none

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

(e-6) Are existing or planned facilities and services adequate to serve the type of development associated with the amendment? Explain:

yes

(e-7) Any additional data or information as requested by the Department of Planning and Development:

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

(f) Attach a legal description and provide the tax key number(s) below of property to be amended on the Kenosha County comprehensive plan:

(g) Attach plot plan or survey plat of property to be amended on the comprehensive plan (showing location, dimensions, planned land use of adjacent properties, existing uses and buildings of adjacent properties—drawn to scale).

(h) The name of the County Supervisor of the district wherein the property is located:

Supervisory District Number: _____ County Board Supervisor: _____

(i) Attach a copy (original newspaper clipping or certified copy from the Town) of the notice of public hearing (per section 66.1001(4)(d) of Wisconsin State Statutes) that is published by your Town at least 30 days before the public hearing is held. Include the date of publication with the copy of the notice of public hearing.

Note: Your application will not be processed by Kenosha County until a copy of the notice of public hearing and town approval letter is received by the Kenosha County Department of Planning and Development.

(j) Attach a copy of the enacted town resolution and ordinance (per section 66.1001(4)(c) of Wisconsin State Statutes) adopting the amendment to the Kenosha County comprehensive plan map.

Note: Your application will not be processed by Kenosha County until a copy of the enacted town resolution and ordinance adopting the amendment is received by the Kenosha County Department of Planning and Development.

(k) The fee specified in Section 12.05-8 of this ordinance.

Request for Land Use Plan Map Amendment \$250.00 payable to "Kenosha County"

(For other fees see the [Fee Schedule](#))

KENOSHA COUNTY COMPREHENSIVE PLAN: 2035 MAP AMENDMENT APPLICATION

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
Department of Planning & Development
19600 - 75th Street, Post Office Box 520
Bristol, Wisconsin 53104-0520

Division of County Development (including Sanitation & Land Conservation)	857-1895
Facsimile #.....	857-1920
Public Works Division of Highways.....	857-1870

Administration Building
Division of Land Information

Brighton, Town of	878-2218
Paris, Town of	859-3006
Randall, Town of	877-2165
Salem, Town of	843-2313
Utility District	862-2371
Somers Town of	859-2822
Wheatland, Town of	537-4340
Wisconsin Department of Natural Resources - Sturtevant Office	884-2300
Wisconsin Department of Transportation - Waukesha Office	548-8722

Kenosha County



**SUBJECT
PROPERTY**



1 inch = 300 feet



Source: Kenosha County Department of Planning and Development

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT KENOSHA COUNTY.

COMPREHENSIVE PLAN
AMENDMENT SITE MAP

PETITIONER(S):

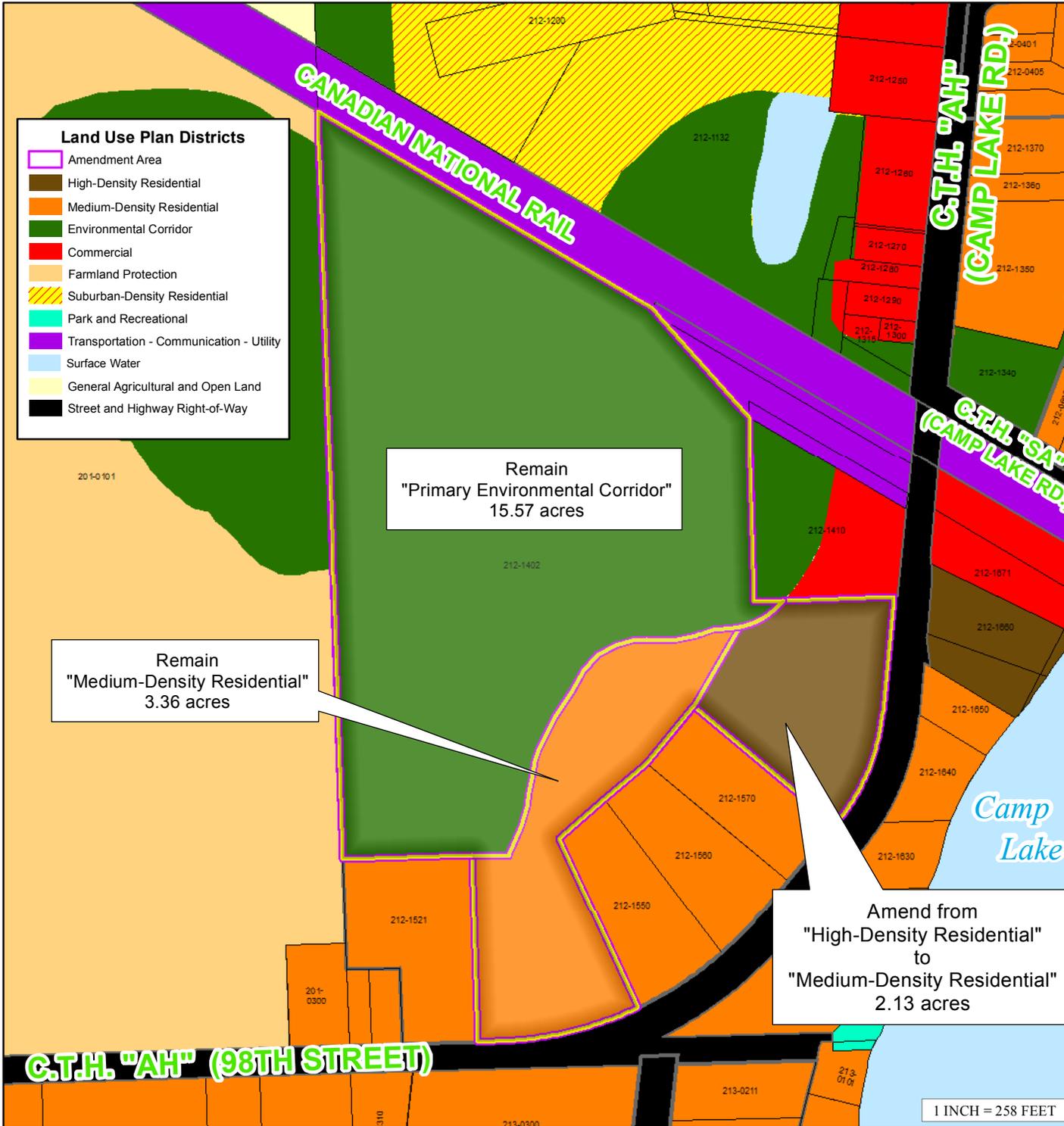
Lakeside Development Corporation
& Glenda Dupons (Owner)

LOCATION: NW 1/4 of Section 21,
Town of Salem

TAX PARCEL(S): #66-4-120-212-1402

REQUEST:

Requests an amendment to the Adopted Land Use Plan map for Kenosha County: 2035 (map 65 of the comprehensive plan) from "High-Density Residential", "Medium-Density Residential" & "PEC" to "Medium-Density Residential" & "PEC".





COUNTY OF KENOSHA

Department of Planning and Development



REZONING PROCEDURES



KENOSHA COUNTY

DEPARTMENT OF PLANNING
AND DEVELOPMENT



COUNTY OF KENOSHA

Department of Planning & Development

KENOSHA COUNTY REZONING PROCEDURES

1. Contact the Department of Planning & Development and check with staff to determine if your proposed zoning change meets the requirements for the Kenosha County General Zoning and Shoreland/Floodplain Zoning Ordinance and the Kenosha County Subdivision Control Ordinance. Note: If the proposed rezoning is part of a proposed land division see the Certified Survey Map Information and Procedures.

2. Contact the Department of Planning & Development and schedule a pre-conference meeting, which is required for all rezoning requests.

Meeting Date: _____

3. Contact your local Town to determine if your rezoning petition requires preliminary approval.

4. Complete and submit the Kenosha County Rezoning Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

6. Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

7. Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.

Town Planning Commission meeting date (tentative): _____

Town Board meeting date (tentative): _____

8. Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.

Kenosha County Planning, Development & Extension Education Committee meeting date: _____
(tentative)

9. Planning, Development & Extension Education Committee recommends either approval and adopts a resolution or denial and transmits recommendation to the Kenosha County Board of Supervisors. No action is required from the applicant at this time.

If approved, County Board of Supervisors either approves or denies the amendment.

If denied by the Kenosha County Board of Supervisors you have thirty (30) days to file an appeal with circuit court if you so choose.

10. After the County Executive has signed the official ordinance document amending the Kenosha County Zoning Map, you will be notified of your approval in writing. Upon notification of approval, you may proceed with recording any necessary deeds.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
 Department of Planning & Development
 19600 - 75th Street, Suite 185-3
 Bristol, Wisconsin 53104-9772

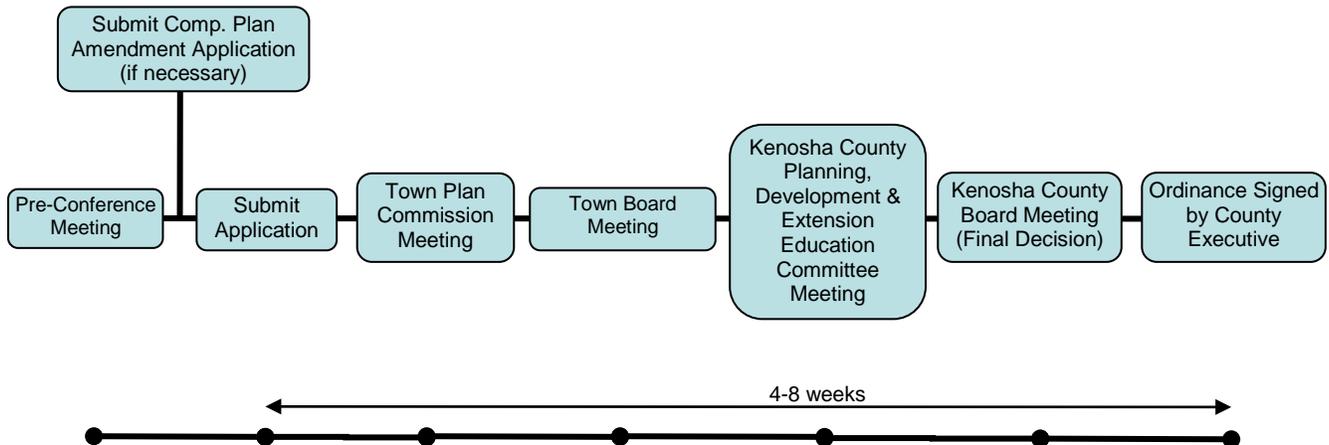
Division of Planning & Development (including Sanitation & Land Conservation)..... **857-1895**
 Facsimile #..... 857-1920

Public Works Division of Highways 857-1870

Administration Building
 Division of Land Information..... 653-2622

Brighton, Town of 878-2218
 Paris, Town of 859-3006
 Randall, Town of..... 877-2165
 Salem, Town of 843-2313
 Utility District..... 862-2371
 Somers Town of 859-2822
 Wheatland, Town of..... 537-4340
 Wisconsin Department of Natural Resources - Sturtevant Office 884-2300
 Wisconsin Department of Transportation - Waukesha Office 548-8722

Rezoning Procedure Timeline



For Reference Purposes

RECEIVED

NOV 14 2016

May 2013



COUNTY OF KENOSHA

Department of Planning and Development

Kenosha County
Deputy County Clerk

RECEIVED

REZONING APPLICATION

NOV 14 2016

(a) Property Owner's Name:

Lakeside Development Corp. & Glenda Dupons

Kenosha County
Planning and Development

Print Name: Glenda Dupons

Signature: _____

Mailing Address: 25450 60th Street

City: Salem

State: WI

Zip: 53168

Phone Number: _____

E-mail (optional): _____

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Glenda Dupons

Signature: Glenda Dupons

Business Name: _____

Mailing Address: 25450 60th Street

City: Salem

State: WI

Zip: 53168

Phone Number: 262-358-1031

E-mail (optional): _____

(c) Tax key number(s) of property to be rezoned:

66-4-120-212-1402

Property Address of property to be rezoned:

9730 276th Avenue

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):

4 LOT SINGLE-FAMILY CERTIFIED SURVEY MAP
(LAND DIVISION).

REZONING APPLICATION

(e) Check the box next to any and all of the **existing** zoning district classifications present on the subject property:

A-1 Agricultural Preservation District	TCO Town Center Overlay District
A-2 General Agricultural District	B-1 Neighborhood Business District
A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	B-2 Community Business District
A-4 Agricultural Land Holding District	B-3 Highway Business District
AE-1 Agricultural Equestrian Cluster Single-Family District	B-4 Planned Business District
R-1 Rural Residential District	B-5 Wholesale Trade and Warehousing District
R-2 Suburban Single-Family Residential District	BP-1 Business Park District
R-3 Urban Single-Family Residential District	B-94 Interstate Highway 94 Special Use Business District
R-4 Urban Single-Family Residential District	M-1 Limited Manufacturing District
R-5 Urban Single-Family Residential District	M-2 Heavy Manufacturing District
R-6 Urban Single-Family Residential District	M-3 Mineral Extraction District
R-7 Suburban Two-Family and Three-Family Residential District	M-4 Sanitary Landfill and Hazardous Waste Disposal District
R-8 Urban Two-Family Residential District	I-1 Institutional District
R-9 Multiple-Family Residential District	PR-1 Park-Recreational District
R-10 Multiple-Family Residential District	C-1 Lowland Resource Conservancy District
R-11 Multiple-Family Residential District	C-2 Upland Resource Conservancy District
R-12 Mobile Home/Manufactured Home Park-Subdivision District	FPO Floodplain Overlay District
HO Historical Overlay District	FWO Camp Lake/Center Lake Floodway Overlay District
PUD Planned Unit Development Overlay District	FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
AO Airport Overlay District	
RC Rural Cluster Development Overlay District	

(f) Check the box next to any and all of the **proposed** zoning district classifications proposed for the subject property:

A-1 Agricultural Preservation District	TCO Town Center Overlay District
A-2 General Agricultural District	B-1 Neighborhood Business District
A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	B-2 Community Business District
A-4 Agricultural Land Holding District	B-3 Highway Business District
AE-1 Agricultural Equestrian Cluster Single-Family District	B-4 Planned Business District
R-1 Rural Residential District	B-5 Wholesale Trade and Warehousing District
R-2 Suburban Single-Family Residential District	BP-1 Business Park District
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HO Historical Overlay District	FWO Camp Lake/Center Lake Floodway Overlay District
PUD Planned Unit Development Overlay District	FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
AO Airport Overlay District	
RC Rural Cluster Development Overlay District	

REZONING APPLICATION

(g) Your request must be consistent with the existing planned land use category as shown on Map 65 of the adopted [“Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035”](#).

The existing planned land use category for the subject property is:

Farmland Protection	Governmental and Institutional
General Agricultural and Open Land	Park and Recreational
Rural-Density Residential	Street and Highway Right-of-Way
Agricultural and Rural Density Residential	Other Transportation, Communication, and Utility
Suburban-Density Residential	Extractive
Medium-Density Residential	Landfill
High-Density Residential	Primary Environmental Corridor
Mixed Use	Secondary Environmental Corridor
Commercial	Isolated Natural Resource Area
Office/Professional Services	Other Conservancy Land to be Preserved
Industrial	Nonfarmed Wetland
Business/Industrial Park	Surface Water

(h) Attach a plot plan or survey plat of property to be rezoned (showing location, dimensions, zoning of adjacent properties, existing uses and buildings of adjacent properties, floodways and floodplains)—drawn to scale.

(i) The Kenosha County Department of Planning and Development may ask for additional information.

(j) The name of the County Supervisor of the district wherein the property is located ([District Map](#)):

Supervisory District Number: _____ County Board Supervisor: _____

(k) The fee specified in Section 12.05-8 of this ordinance.

Request for Rezoning Petition\$750.00

(For other fees see the [Fee Schedule](#))

Note: Agricultural Use Conversion Charge

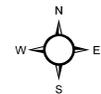
The use value assessment system values agricultural land based on the income that would be generated from its rental for agricultural use rather than its fair market value. When a person converts agricultural land to a non-agricultural use (e.g. residential or commercial development), that person may owe a conversion charge. To obtain more information about the use value law or conversion charge, contact the Wisconsin Department of Revenue’s Equalization Section at 608-266-2149 or visit <http://www.revenue.wi.gov/faqs/slf/useassmt.html>.

Note that the act of rezoning property from an agricultural zoning district to a non-agricultural zoning district does not necessarily trigger the agricultural use conversion charge. It is when the use of the property changes from agricultural that the conversion charge is assessed.

Kenosha County



**SUBJECT
PROPERTY**



1 inch = 300 feet

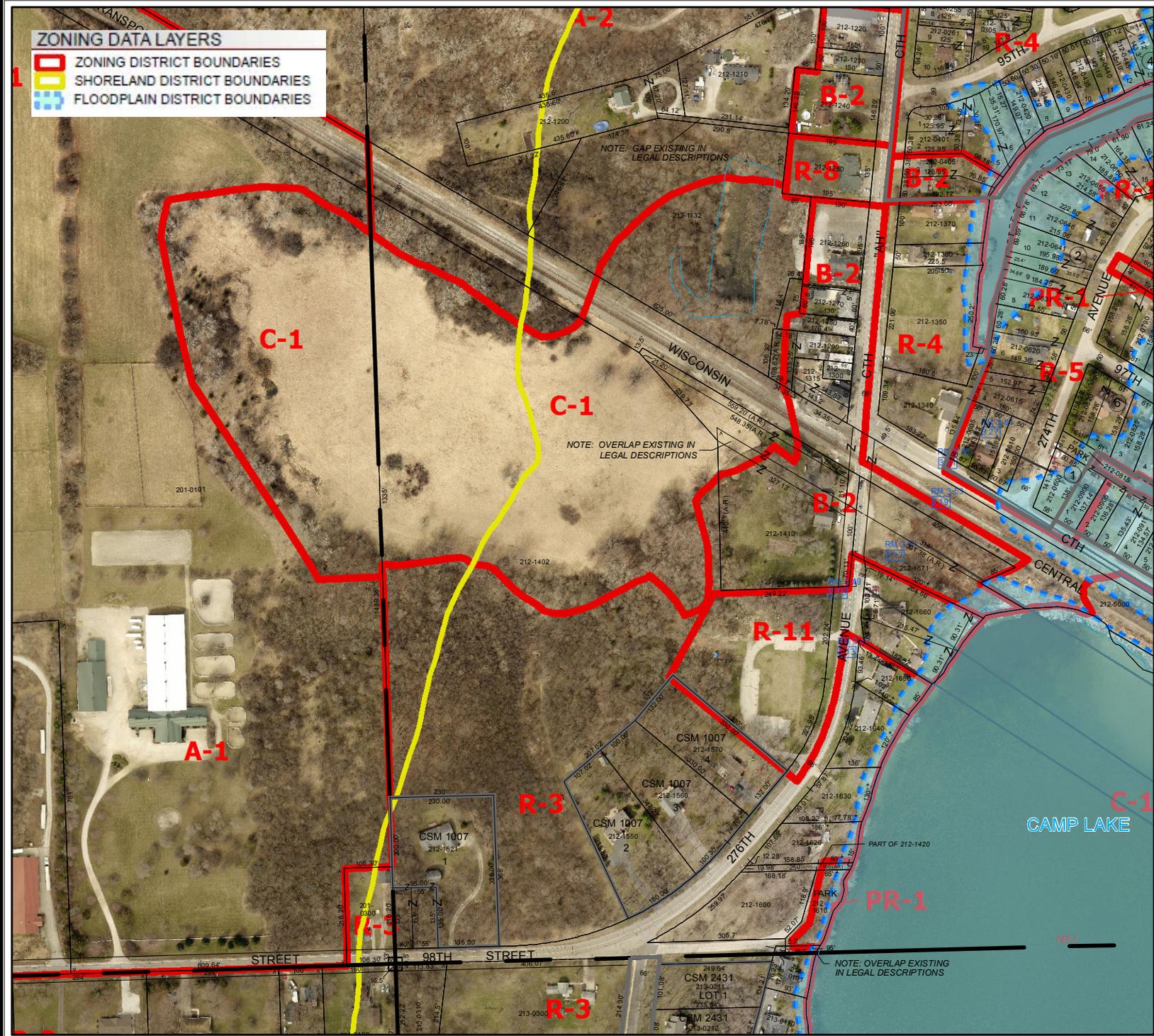
CAMP LAKE

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ZONING DATA LAYERS

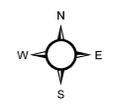
- ZONING DISTRICT BOUNDARIES
- SHORELAND DISTRICT BOUNDARIES
- FLOODPLAIN DISTRICT BOUNDARIES



Kenosha County



CURRENT ZONING CLASSIFICATIONS



1 inch = 300 feet

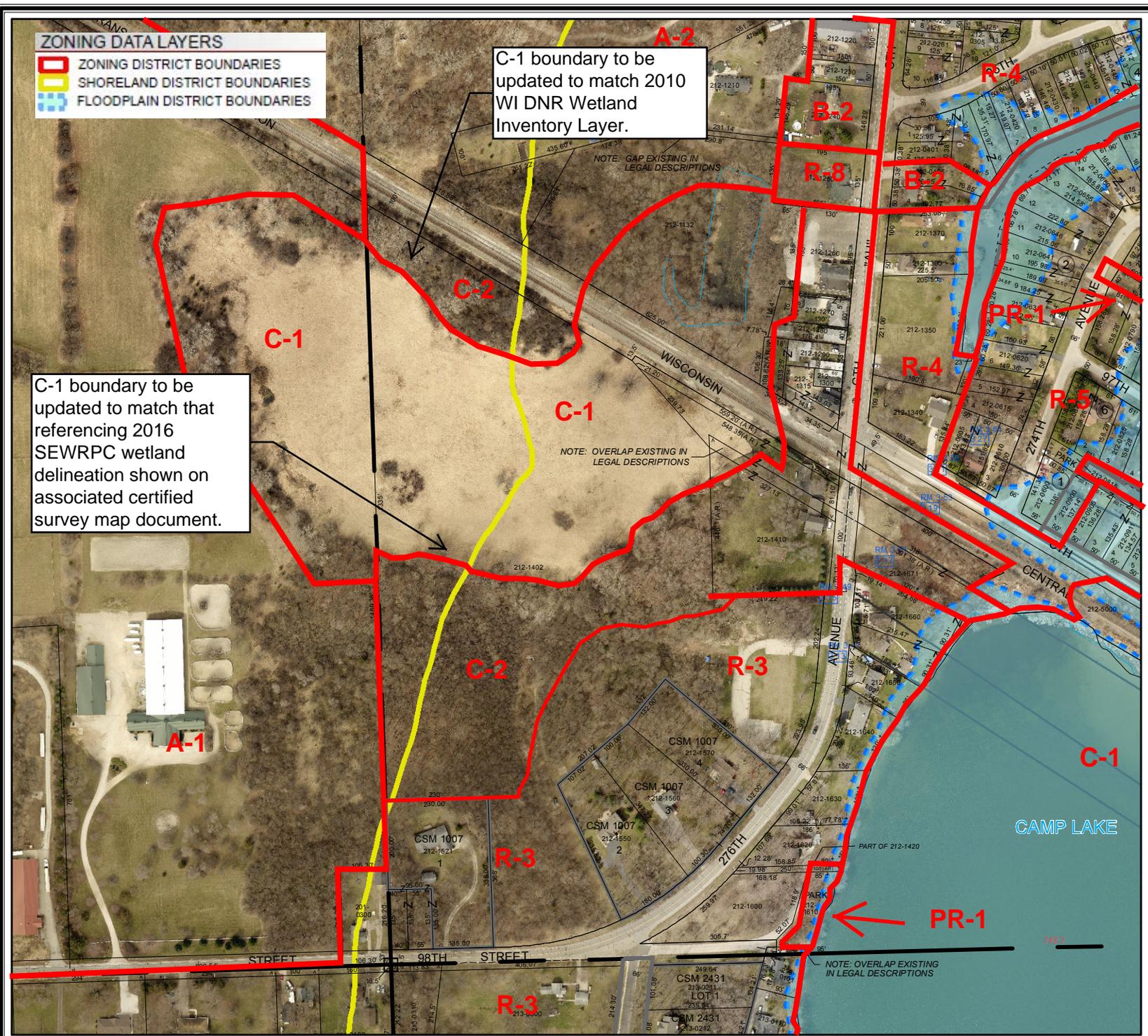
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ZONING DATA LAYERS

-  ZONING DISTRICT BOUNDARIES
-  SHORELAND DISTRICT BOUNDARIES
-  FLOODPLAIN DISTRICT BOUNDARIES

C-1 boundary to be updated to match 2010 WI DNR Wetland Inventory Layer.

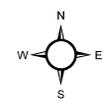
C-1 boundary to be updated to match that referencing 2016 SEWRPC wetland delineation shown on associated certified survey map document.



Kenosha County



PROPOSED ZONING CLASSIFICATIONS



1 inch = 300 feet

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REZONING SITE MAP

PETITIONER(S):

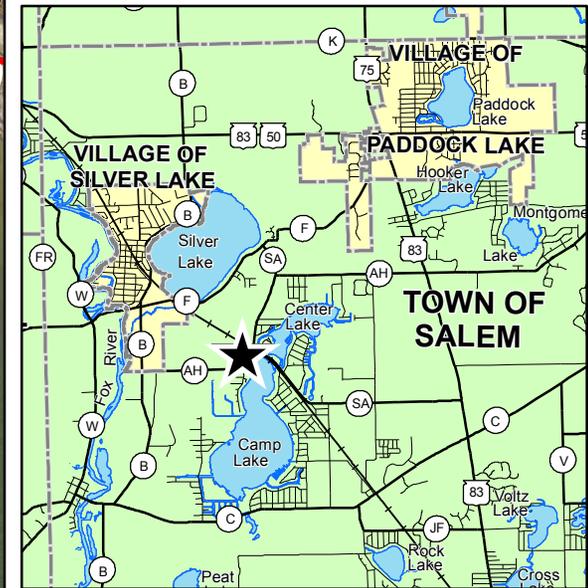
Lakeside Development Corporation
& Glenda Dupons (Owner)

LOCATION: NW 1/4 of Section 21,
Town of Salem

TAX PARCEL(S): #66-4-120-212-1402

REQUEST:

Requesting a rezoning from R-11 Multiple-Family Residential District, R-3 Urban Single-Family Residential District, A-2 General Agricultural District & C-1 Lowland Resource Conservancy District to R-3 Urban Single-Family Residential District, C-2 Upland Resource Conservancy District & C-1 Lowland Resource Conservancy District.



1 INCH = 300 FEET





COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED

DEC 09 2016

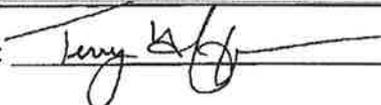
Kenosha County
Deputy County Clerk

CONDITIONAL USE PERMIT APPLICATION

(a) Property Owner's Name:

Wisconsin Electric Power Company (d/b/a We Energies)

Print Name: Terry Hoffman

Signature: 

Mailing Address: 231 W. Michigan Drive

City: Milwaukee

State: WI

Zip: 53203

Phone Number: (414) 221-3000

E-mail (optional): Terry.Hoffman@we-energies.com

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Brian Forston

Signature: Brian Forston

Digitally signed by Brian Forston
DN: C=US, E=brian.forston@jpcullen.com,
O=JP Cullen, CN=Brian Forston
Reason: I am approving this document
Date: 2016.12.06 12:36:07-06'00'

Business Name: JP CULLEN

Mailing Address: 330 E. Delavan Drive

City: Janesville

State: WI

Zip: 53546

Phone Number: 6087518420

E-mail (optional): brian.forston@jpculle.com

(c) Architect's Name (if applicable):

Print Name: Tim Einwalter

Signature: 

Business Name: GRAEF

Mailing Address: 125 South 84th Street, Suite 401 Milwaukee, WI 53214-1479

City: Milwaukee

State: WI

Zip: 53214

Phone Number: 4142591500

E-mail (optional): Tim.Einwalter@Graef-usa.com

(d) Engineer's Name (if applicable):

Print Name: Michael J. Horne P.E.

Signature: 

Digitally signed by Michael J. Horne P.E.
DN: C=US, E=mike.horne@graef-usa.com,
O=GRAEF, CN=Michael J. Horne P.E.
Date: 2016.12.07 09:56:07-06'00'

Business Name: GRAEF

Mailing Address: 125 South 84th Street, Suite 401 Milwaukee, WI 53214-1479

City: Milwaukee

State: WI

Zip: 53214

Phone Number: 4142591500

E-mail (optional): mike.horne@Graef-usa.com

CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

45-2-221-041-0225

Address of the subject site:

335 N. 172nd Ave, Union Grove, WI 53182

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

2000 SF Main data Facility

Proposed operation or use of the structure or site:

Data Facility.

Number of employees (by shift): 0. 20 hours per month. Unoccupied facility

Hours of Operation: 24 hours, 7 days a week

Any outdoor entertainment? If so, please explain: no

Any outdoor storage? If so, please explain: no

Zoning district of the property: I-1

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

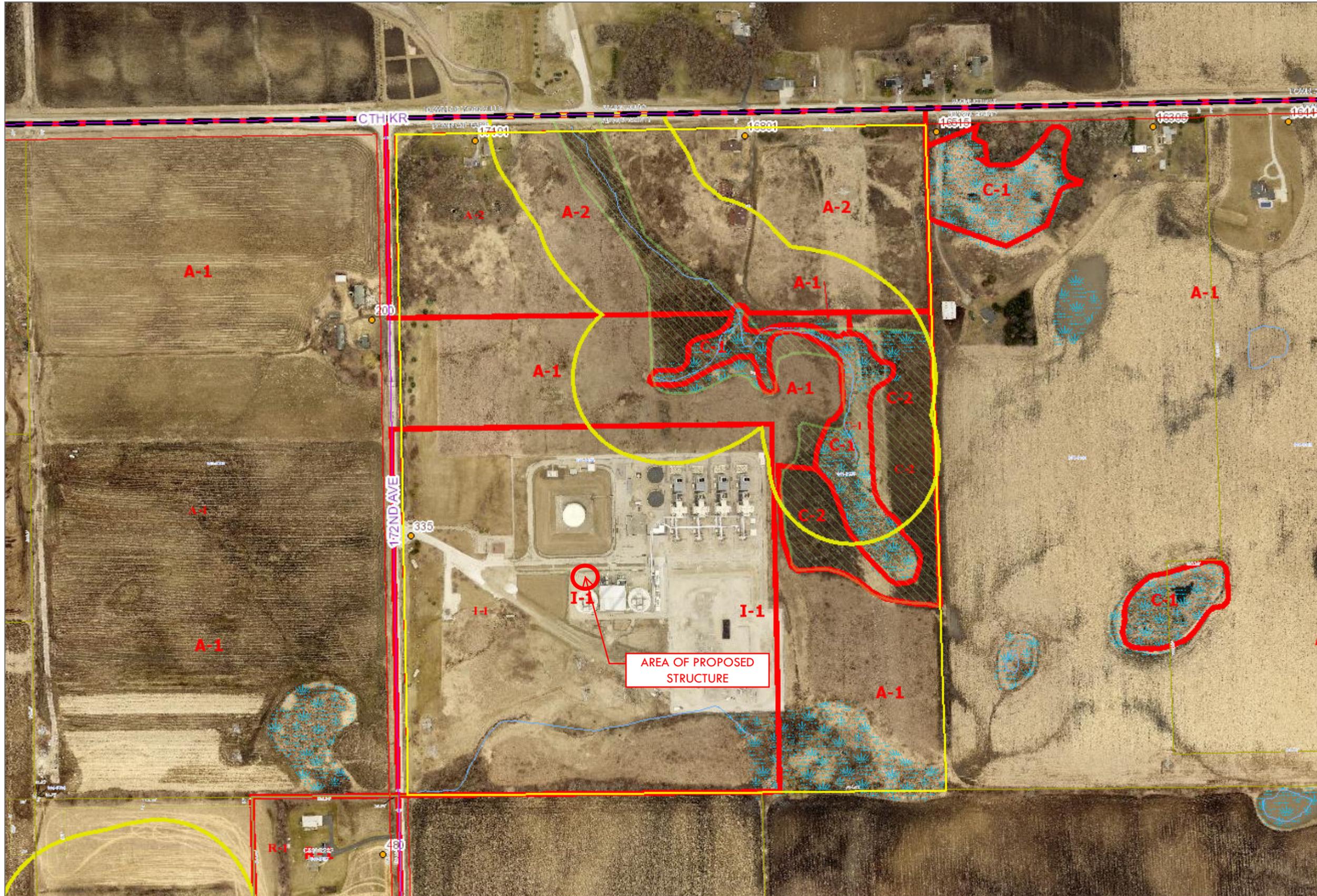
CONDITIONAL USE PERMIT APPLICATION

For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

(h) The Kenosha County Department of Planning and Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.
Request for Conditional Use Permit..... \$750.00

(For other fees see the Fee Schedule)



Legend

-  Street Centerlines
-  Right-of-Ways
-  Address Points
-  Water Features
-  Parcels
-  Certified Survey Maps
-  Condominiums
-  Subdivisions
-  Municipal Boundaries
- Environmental Corridors**
-  Primary Enviro Corridor
-  Secondary Enviro Corridor
- Special Flood Hazard Area**
-  A; AE; AO
-  Shoreland Areas
-  Zoning (Unincorporated Areas)
-  Wetlands



1 inch = 350 feet



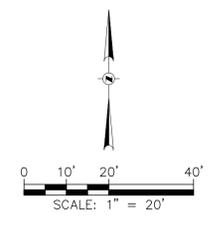
One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1470
414 / 259 1500
414 / 259 0037 fax

www.graef-usa.com

PROJECT NUMBER:
2016-0237.00

PROJECT NAME:
WE ENERGIES PGSG MAIN DATA FACILITY

335 172ND AVE.
UNION GROVE, WI 53182



REMOVAL NOTES

- EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
- ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
- CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.
- CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNERS REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.

LEGEND

- GRAVEL REMOVAL FOR BUILDING
- GRAVEL REMOVAL FOR ASPHALT AND CONCRETE PAVEMENT
- STONE CONSTRUCTION ENTRANCE
- SILT FENCE
- EROSION BALES (DITCH CHECK)

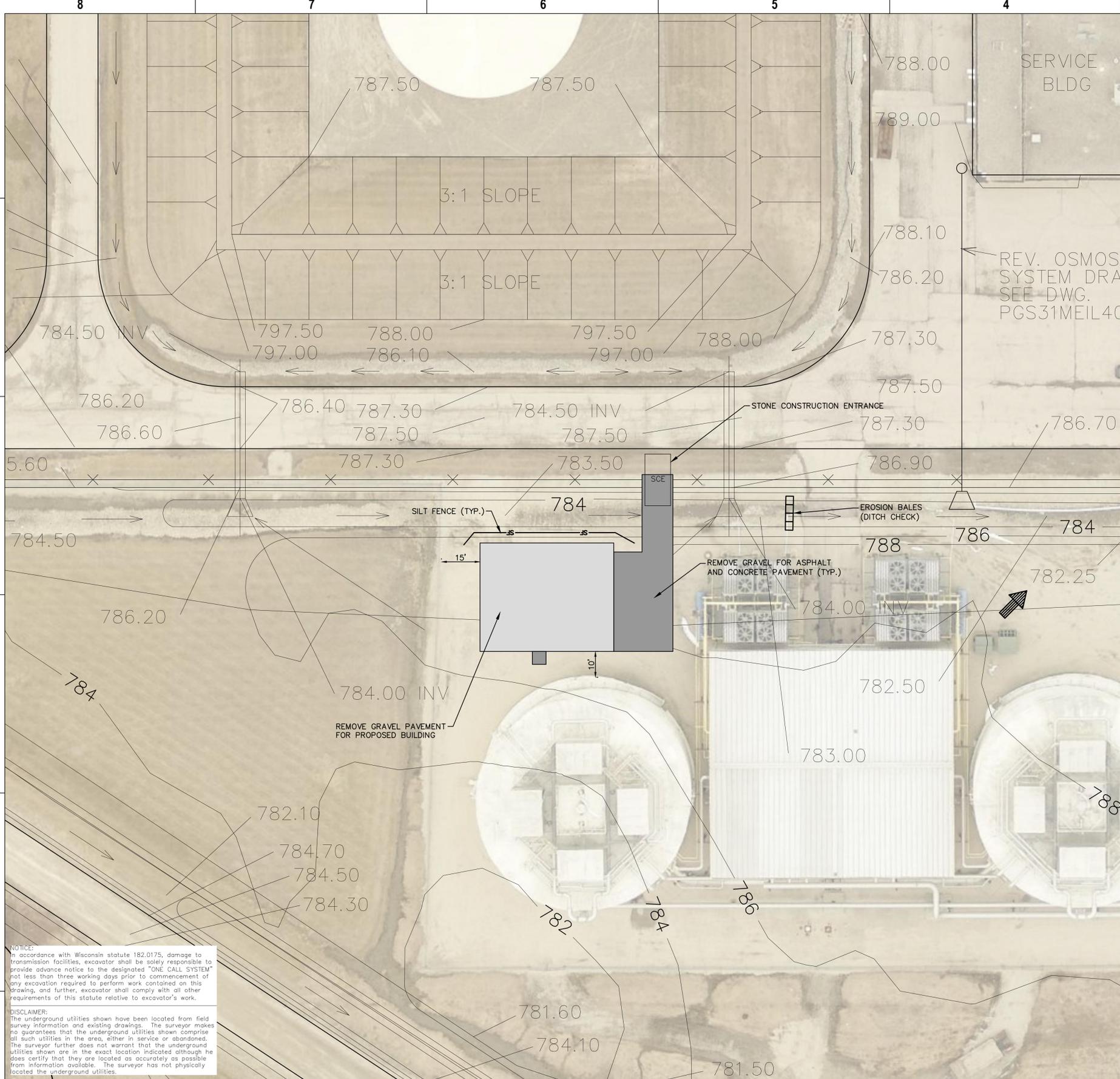
GENERAL NOTES

- THE BASE SURVEY IS A COMPOSITE OVERLAY OF A PROPOSED GRADING PLAN PROVIDED BY WE ENERGIES AND AN AERIAL PHOTO FROM THE KENOSHA COUNTY GIS. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
- CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

EROSION CONTROL NOTES

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF PARIS, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- CRUSHED STONE ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES. NOTIFY VILLAGE OF GRAFTON OF ANY NEW STOCKPILE LOCATIONS.
- CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - INSTALL SILT FENCE AND INLET PROTECTION.
 - STRIP TOPSOIL/GRAVEL FROM REMAINDER OF SITE.
 - PERFORM ROUGH GRADING AND BUILDING EXCAVATION.
 - INSTALL UTILITIES. INSTALL INLET PROTECTION ON NEW INLETS.
 - CONSTRUCT BUILDING.
 - INSTALL PAVEMENTS.
 - REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
- SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT

- SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE VILLAGE, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICE SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". NOTIFY VILLAGE OF GRAFTON FOR CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
 - ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND MULCHING SODDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
 - PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER 15TH. IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDED AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY EITHER CRIMPING OR BY APPLYING A TACKIFIER.
 - PERMANENT SEED MIX SHALL BE WISDOT SEED MIX NO. 40 AT 7 POUNDS PER 1000 SQUARE FEET.
 - USE ANNUAL RYE SEED MIX AT 100 POUNDS PER ACRE AS A TEMPORARY SEED MIX. PERMANENT SEEDING SHALL FOLLOW WITHIN ONE YEAR. IF TEMPORARY SEEDING IS NOT ESTABLISHED BY OCTOBER 15TH, USE CLASS I TYPE B MATTING ON ALL SLOPES 4:1 OR STEEPER.
 - SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILE. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS.
 - WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
 - NOTIFY THE TOWN WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
 - NOTIFY THE TOWN OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
 - OBTAIN PERMISSION IN WRITING FROM THE TOWN OF PARIS ENGINEERING DEPARTMENT PRIOR TO MODIFYING THE EROSION CONTROL PLAN. NOTIFY WDNR AT LEAST FIVE WORKING DAYS PRIOR TO IMPLEMENTING CHANGES TO THE EROSION CONTROL PLAN.
 - REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
 - KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE. INTERSECTING DIRECTIONS.



NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION

REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION

APPROVED	DATE	SCALE

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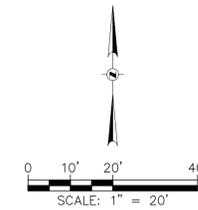
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SHEET NUMBER: **C200**

FILE: _____

SIZE: _____ SITE OF PLANT: _____ LOCATION OF UNIT: _____

DISPLN: _____ PRIMARY OF SYS/TYPE: _____ SECONDARY OF FNCTN: _____ SEQUENCE No: _____ REVISION No: _____



LEGEND

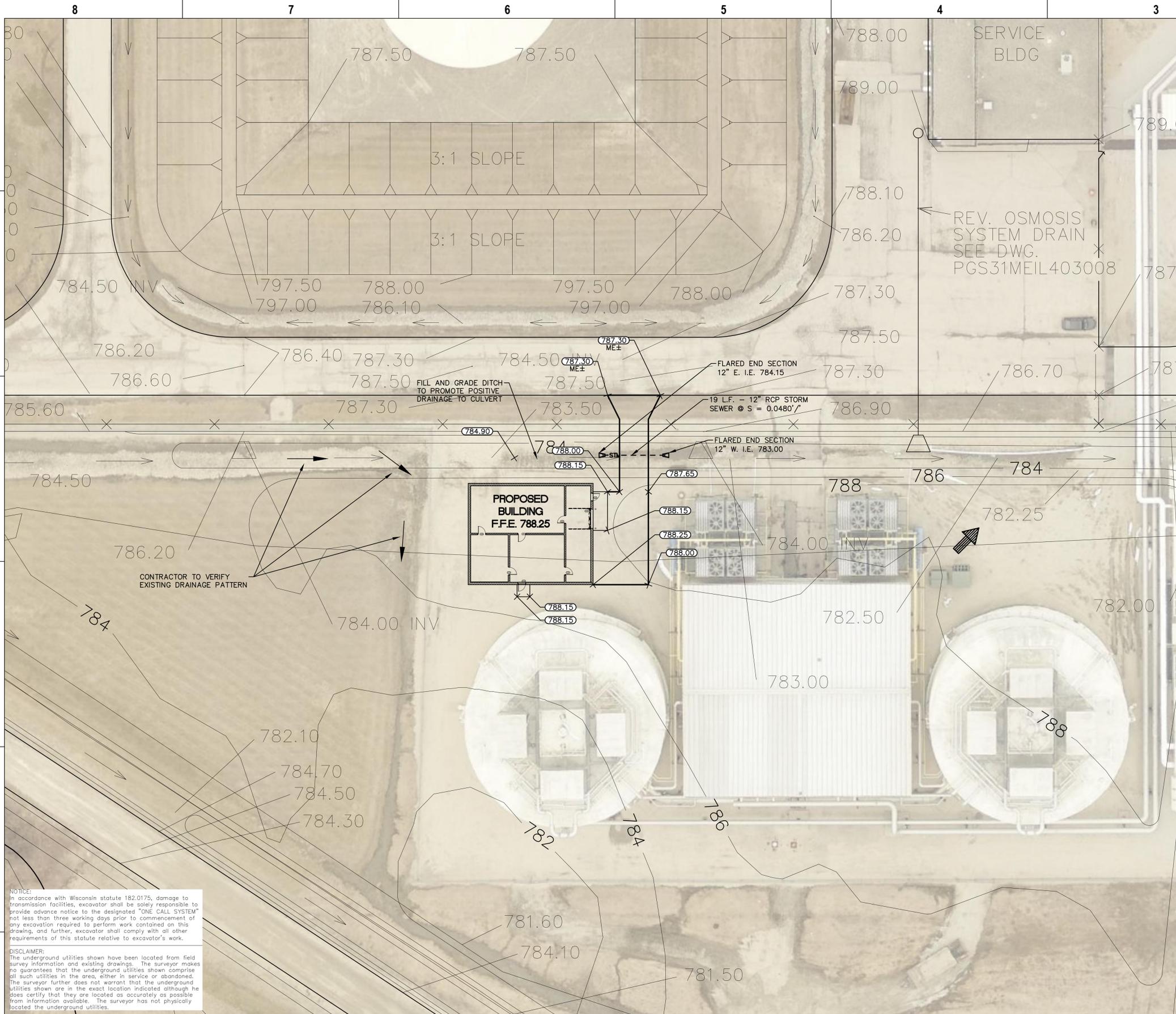
- EXISTING CONTOUR
- CONTOUR
- STORM SEWER
- FLARED END SECTION
- SPOT ELEVATION
- MATCH EXISTING ELEVATION

GENERAL NOTES

1. THE BASE SURVEY IS A COMPOSITE OVERLAY OF A PROPOSED GRADING PLAN PROVIDED BY WE ENERGIES AND AN AERIAL PHOTO FROM THE KENOSHA COUNTY GIS. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
3. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.



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MICROFILM NO.	
VENDOR NO.	
DRAWN	DATE
Author	11/04/16
CHECKED	DATE
Checker	11/04/16
APPROVED	DATE
Approver	11/04/16

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FILE:

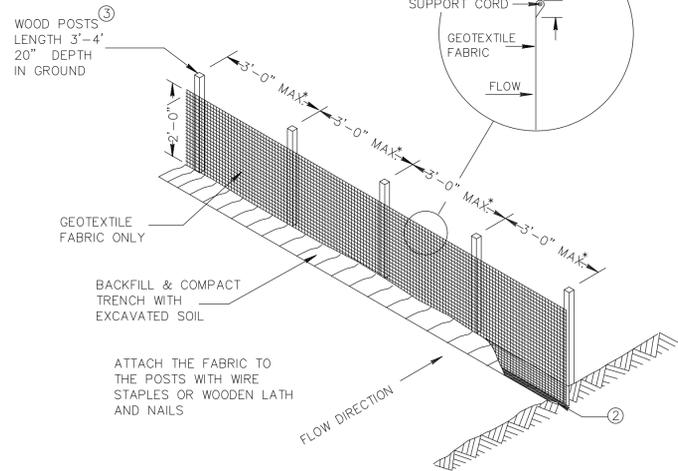
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SITE GRADING AND UTILITY PLAN

SHEET NUMBER:
C400

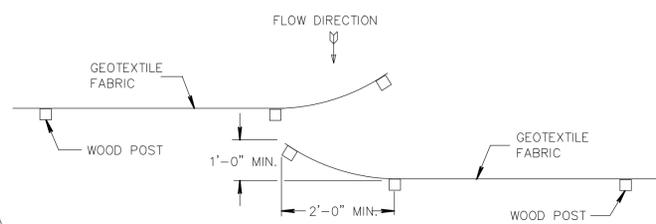
GENERAL NOTES

- ① HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- ② TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- ③ WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY.
- ④ SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- ⑤ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS

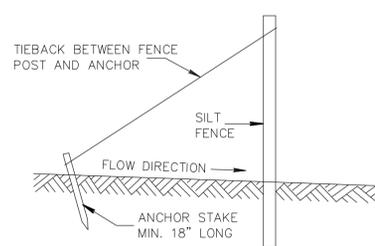


* NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

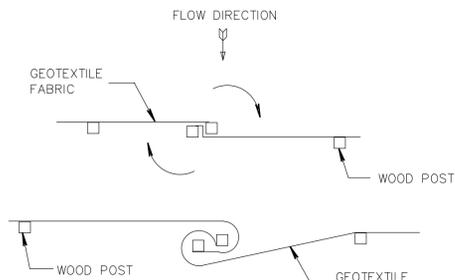


HOOK METHOD

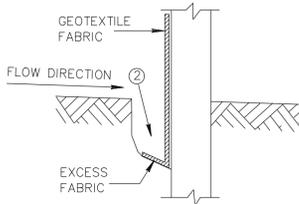
JOINING TWO LENGTHS OF SILT FENCE ⑤



SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)



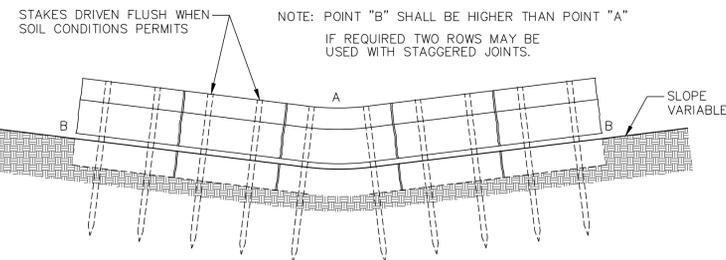
TWIST METHOD



TRENCH DETAIL



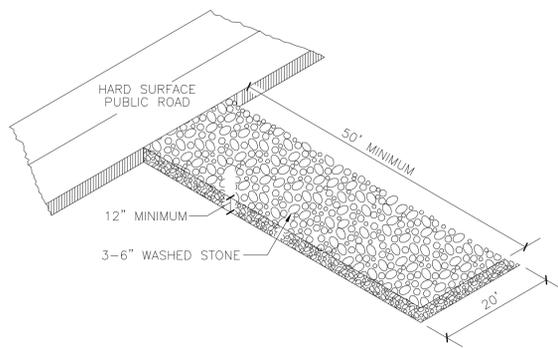
PLAN VIEW



FRONT ELEVATION

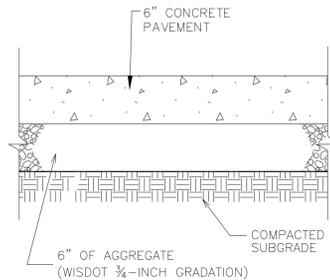
EROSION BALES ACROSS DITCH BOTTOM

N.T.S.



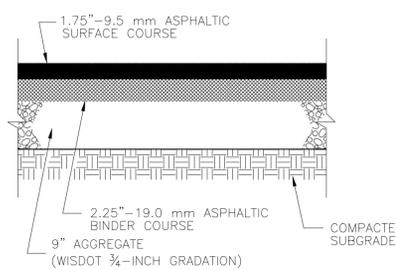
STONE CONSTRUCTION ENTRANCE

N.T.S.



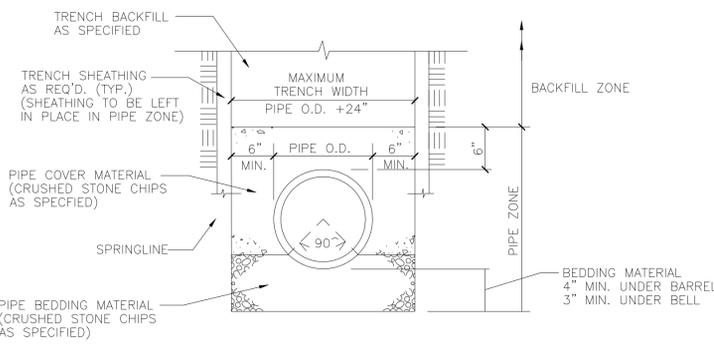
CONCRETE PAVEMENT

N.T.S.



HEAVY DUTY ASPHALT PAVEMENT

N.T.S.



CLASS "C" BEDDING DETAIL FOR RIGID SEWER

N.T.S.

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GRAEF

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414 / 259 0037 fax

www.graef-usa.com

PROJECT NUMBER:
2016-0237.00

PROJECT NAME:
WE ENERGIES PGSG MAIN DATA FACILITY

335 172ND AVE.
UNION GROVE, WI 53182

REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	REVISION BLOCK 2	WR. NO.	DRAWN	CHKD.	APVD.	REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	REVISION BLOCK 1	WR. NO.	DRAWN	CHKD.	APVD.	MICROFILM NO.	VENDOR NO.	DRAWN	DATE	ORDER NO.	CHECKED	DATE	WR. NO.	APPROVED	DATE	SCALE	FILE:	SHEET TITLE:	SHEET NUMBER:	



SHEET TITLE: SITE CONSTRUCTION DETAILS

SHEET NUMBER: C900

GENERAL NOTES:

- 8" CMU MADE WITH LIMESTONE AGGREGATE WILL PROVIDE A 2HR RATING.
- SEE SHEET S-001 FOR STRUCTURAL GENERAL NOTES AND TYPICAL MASONRY DETAILS.

OCCUPANT LOADS:

- #1 DCS SERVER ROOM
100 GROSS x 461 SQ.FT. = 4.6
5 OCCUPANTS
 - #2 ENGINEERING ROOM
100 GROSS x 343 SQ.FT. = 3.5
4 OCCUPANTS
 - #3 IT
100 GROSS x 898 SQ.FT. = 8.9
9 OCCUPANTS
 - #4 GARAGE
200 GROSS x 486 SQ.FT. = 2.5
3 OCCUPANTS
- TOTAL OCCUPANT LOAD = 21
SINGLE MEANS OF EGRESS IS ALLOWED
TWO MEANS OF EGRESS ARE PROVIDED

HARDWARE SET 1

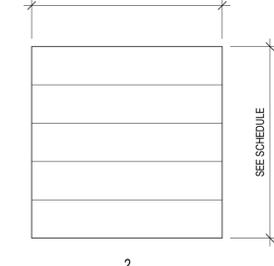
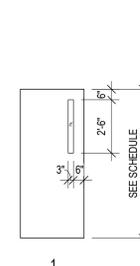
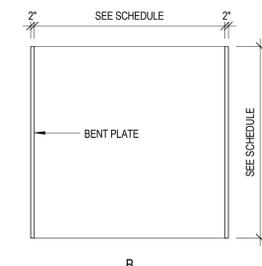
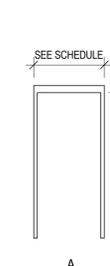
- 1 1/2 PAIRS HINGES 4 1/2" x 4 1/2" x FBB
- 1 EACH ADA STOREROOM LOCKSET
- 1 EACH CLOSER WITH WIND STOP
- 1 EACH ELECTRIC STRIKE (FAIL SECURE)
- 1 EACH 8"x34" SS KICK PLATE
- 1 EACH WEATHER STRIP
- 1 EACH SWEEP
- 1 EACH DRIP
- 1 EACH THERMALLY BROKEN ADA THRESHOLD

HARDWARE SET 2

- 1 1/2 PAIRS HINGES 4 1/2" x 4 1/2" x FBB
- 1 EACH ADA STOREROOM LOCKSET
- 1 EACH CLOSER WITH DELAY AND WIND STOP
- 1 EACH ELECTRIC STRIKE (FAIL SECURE)
- 1 EACH 8"x34" SS ARMOR PLATE
- 1 EACH WEATHER STRIP
- 1 EACH SWEEP
- 1 EACH DRIP
- 1 EACH THERMALLY BROKEN THRESHOLD

HARDWARE SET 3

- 1 1/2 PAIRS HINGES 4 1/2" x 4 1/2" x FBB
- 1 EACH ADA STOREROOM LOCKSET
- 1 EACH CLOSER
- 1 EACH ELECTRIC STRIKE (FAIL SAFE)
- 1 EACH 8"x34" SS KICK PLATE
- 1 EACH FLOOR STOP



FRAME TYPES

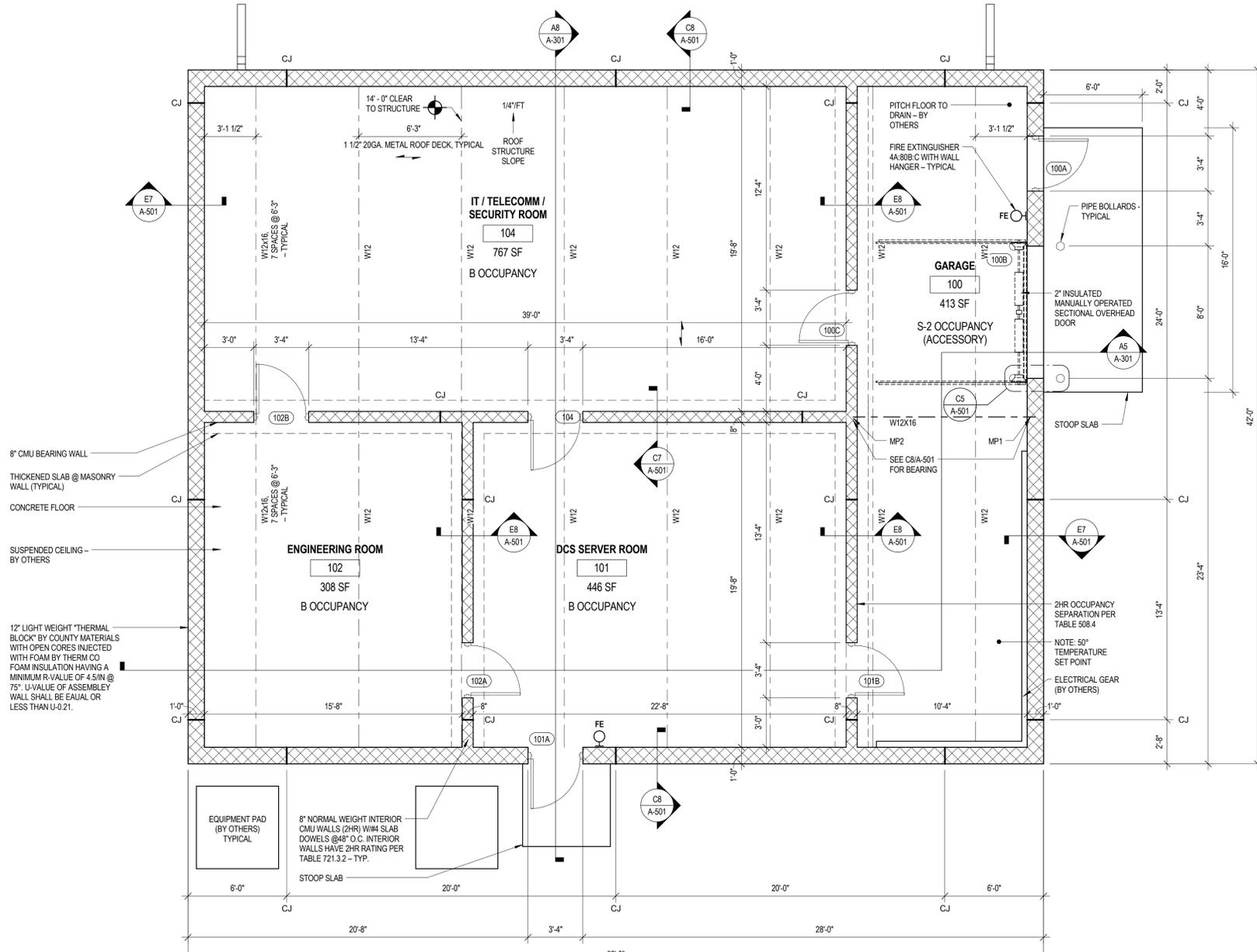
DOOR TYPES

DOOR AND FRAME SCHEDULE																
DOOR NO	DOOR			FRAME					FIRE RATING LABEL	HARDWARE SET NO	NOTES					
	WIDTH	HEIGHT	THICKNESS	TYPE	GLAZING	MATL	FINISH	TYPE				MATL	FINISH	HEAD	JAMB	SILL
100A	3'-0"	7'-0"	1 3/4"	1	CLR	HMM	PT	A	STL	PT	A501A3	A501A3	A501A3	1.5HR	2	
100B	8'-0"	8'-0"	2"	2							A501C4	A501C5	A501A4	---	---	HIGH CLEARANCE TRACK, MANUALLY OPERATED, R.8.3
100C	3'-0"	7'-0"	1 3/4"	1	CLR	HMM	PT	A	STL	PT	A501A3	A501A3	---	1.5HR	3	
101A	3'-0"	7'-0"	1 3/4"	1	CLR	HMM	PT	A	STL	PT	A501A3	A501A3	A501A3	1.5HR	1	
101B	3'-0"	7'-0"	1 3/4"	1	CLR	HMM	PT	A	STL	PT	A501A3	A501A3	---	1.5HR	3	
102A	3'-0"	7'-0"	1 3/4"	1	CLR	HMM	PT	A	STL	PT	A501A3	A501A3	---	1.5HR	3	
102B	3'-0"	7'-0"	1 3/4"	1	CLR	HMM	PT	A	STL	PT	A501A3	A501A3	---	1.5HR	3	
104	3'-0"	7'-0"	1 3/4"	1	CLR	HMM	PT	A	STL	PT	A501A3	A501A3	---	1.5HR	3	

ROOM FINISH SCHEDULE													
ROOM NO	ROOM NAME	FLOOR	BASE	WALLS				CEILING				NOTES	
				NORTH	SOUTH	EAST	WEST	MATL	HEIGHT				
100	GARAGE	SEALED	---	PT	PT	PT	PT	PT	PT	PT	PT	10' - 0"	
101	DCS SERVER ROOM	EPOXY	VB	PT	PT	PT	PT	PT	PT	PT	PT	10' - 0"	
102	ENGINEERING ROOM	UCT	VB	PT	PT	PT	PT	PT	PT	PT	PT	SUSPENDED	10' - 0"
104	IT / TELECOMM / SECURITY ROOM	EPOXY	VB	PT	PT	PT	PT	PT	PT	PT	PT	10' - 0"	

FINISH SCHEDULE NOTES:

1. PAINT CEILING STRUCTURE USING DRY-FALL PAINT IN ROOMS NOT RECEIVING A SUSPENDED CEILING.



B8 ARCHITECTURAL FLOOR PLAN
1/4" = 1'-0"

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DRAWN										ORDER NO.											
CHECKED										WR NO.											
APPROVED										SCALE											
REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	REVISION BLOCK 2	WR NO.	DRAWN	CHKD.	APVD.	REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	REVISION BLOCK 1	WR NO.	DRAWN	CHKD.	APVD.	APPROVED	TJE	DATE	SCALE

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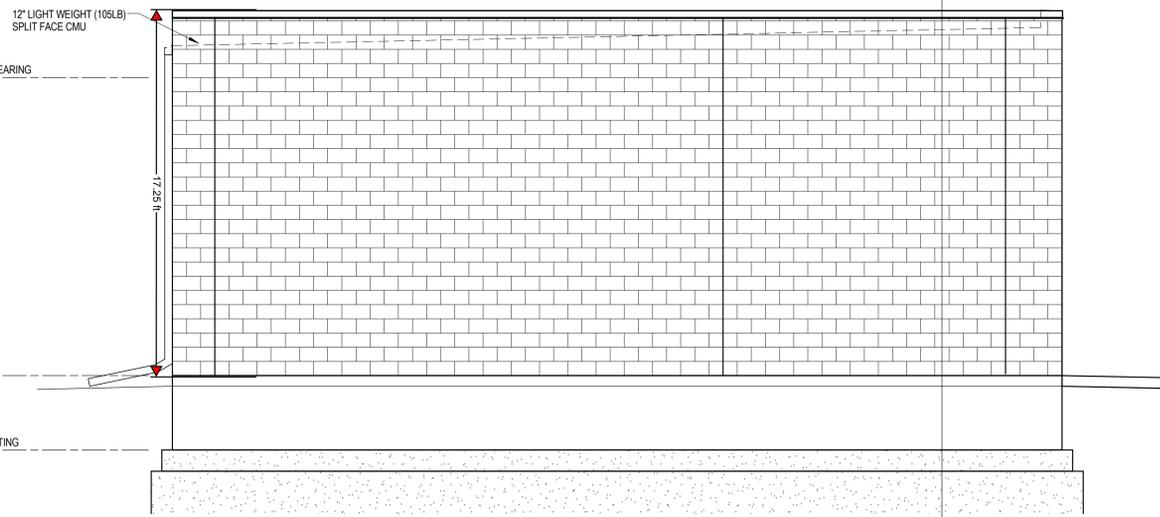
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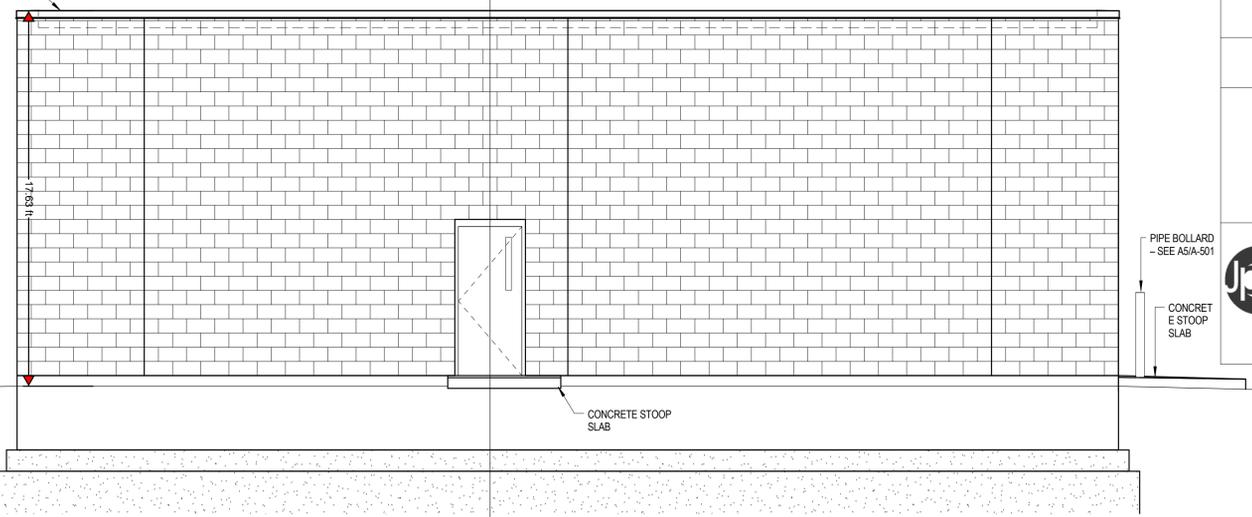
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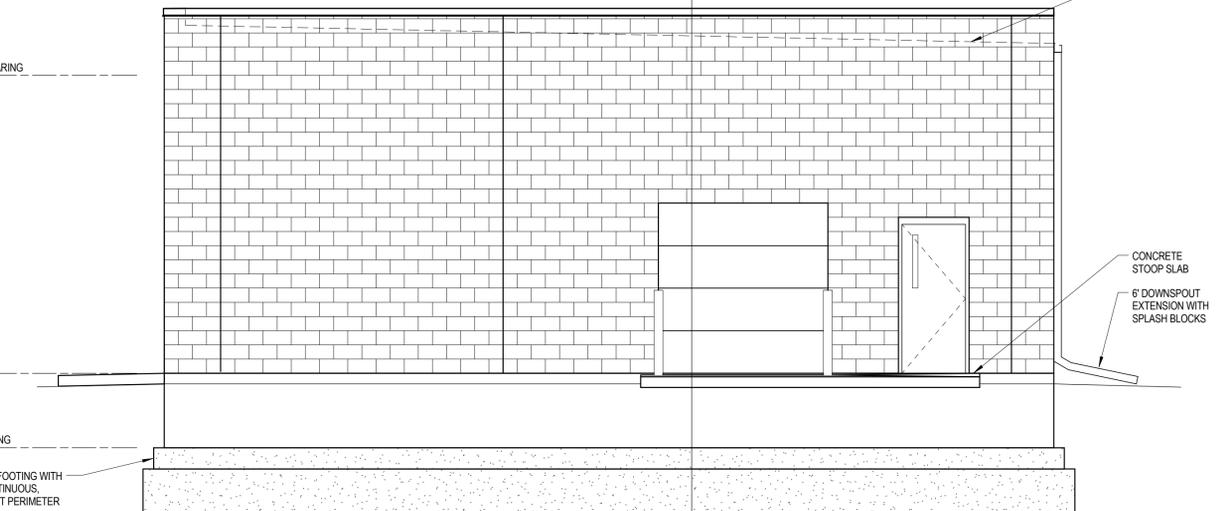
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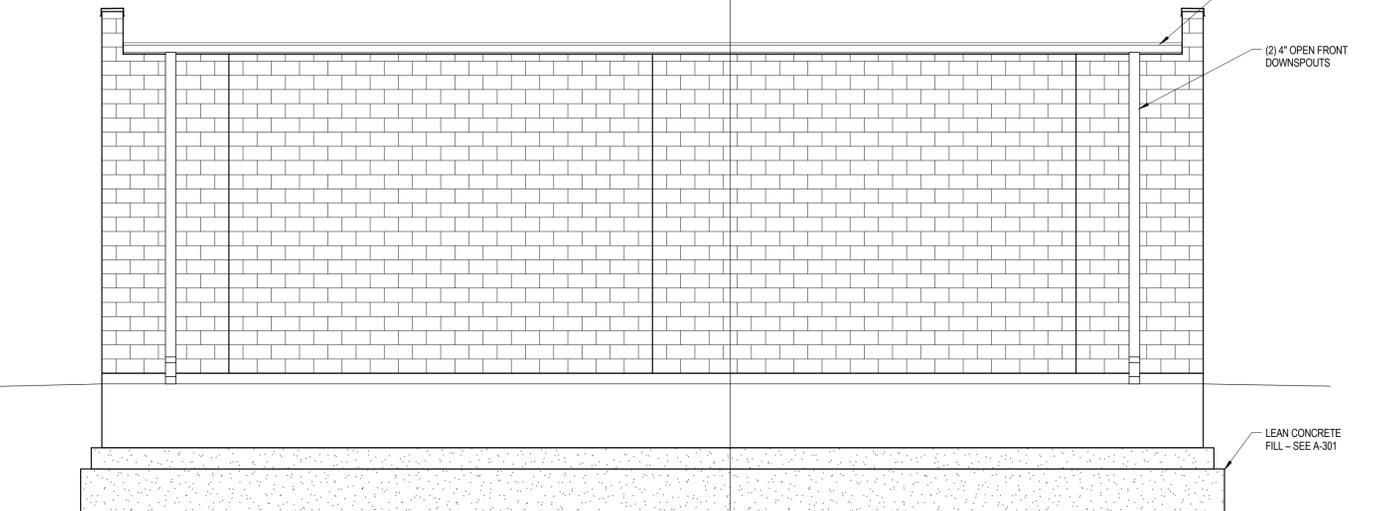
D8 WEST ELEVATION
1/4" = 1'-0"



D6 SOUTH ELEVATION
1/4" = 1'-0"



A8 EAST ELEVATION
1/4" = 1'-0"



A6 NORTH ELEVATION
1/4" = 1'-0"

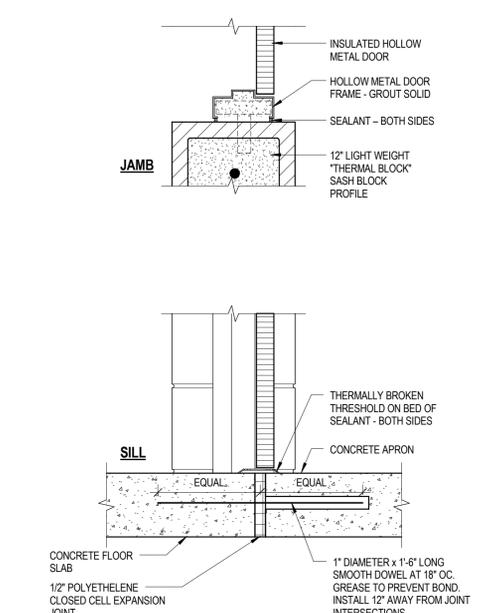
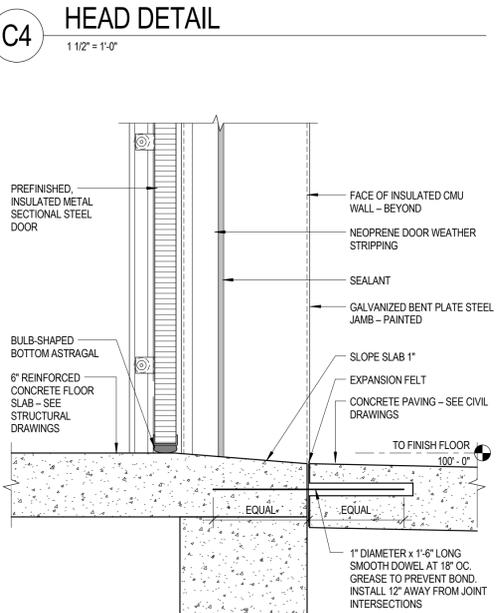
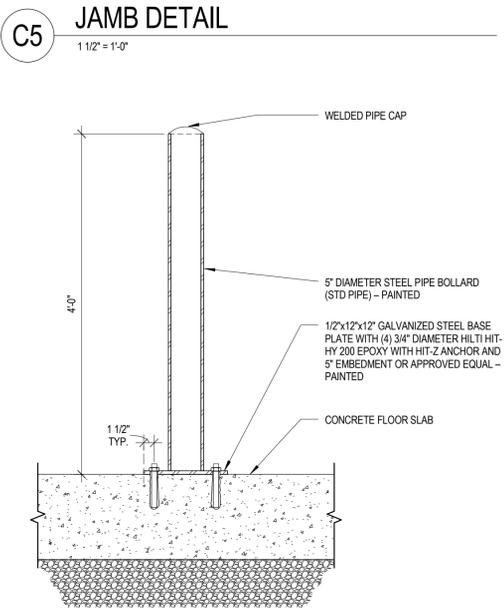
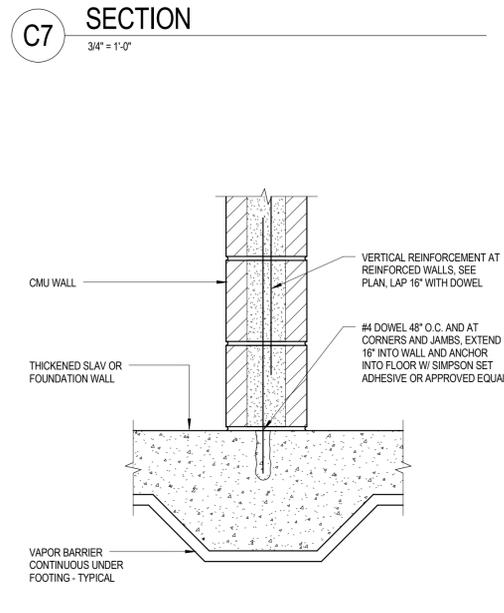
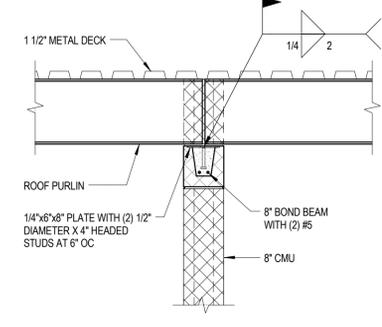
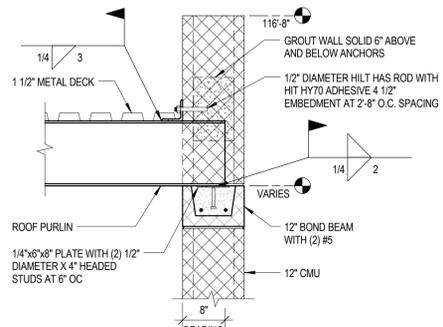
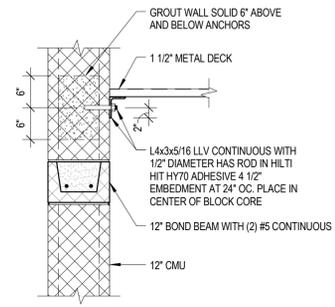
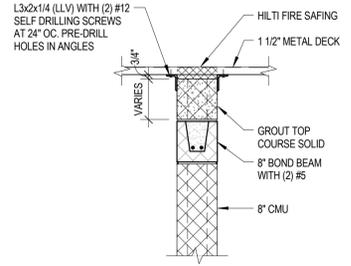
REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION

WR. NO.	DRAWN	CHKD.	APVD.	REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION

WR. NO.	DRAWN	CHKD.	APVD.	REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION

MICROFILM NO.			
VENDOR NO.	DATE	ORDER NO.	SCALE
DRAWN MAB	10/25/16		
CHECKED TJE	10/25/16		
APPROVED TJE	10/25/16		

we energies		SHEET TITLE: EXTERIOR ELEVATIONS		SHEET NUMBER: A-201	
FILE:					
SIZE	SITE or PLANT	LOCATION or UNIT	DISPLN	PRIMARY or SYS/TYPE	SECONDARY or FNCTN



A7 SECTION
1 1/2" = 1'-0"

CONCRETE BLOCK WALL BASE DETAIL

A5 SECTION
1" = 1'-0"

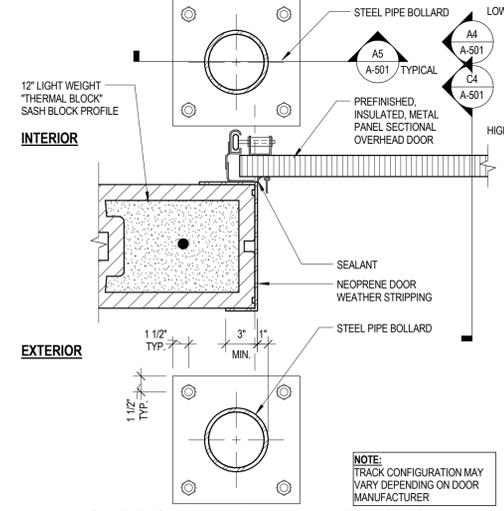
PIPE BOLLARD INSTALLATION DETAIL

A4 SECTION
1 1/2" = 1'-0"

OVERHEAD SECTION DOOR SILL DETAIL

A3 SECTION
1 1/2" = 1'-0"

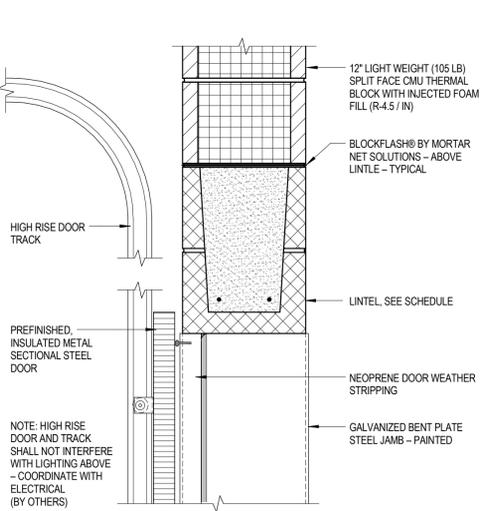
DOOR SILL, JAMB & HEAD DETAILS



C5 SECTION
1 1/2" = 1'-0"

PIPE BOLLARD PLAN DETAIL & OVERHEAD SECTION DOOR JAMB DETAIL

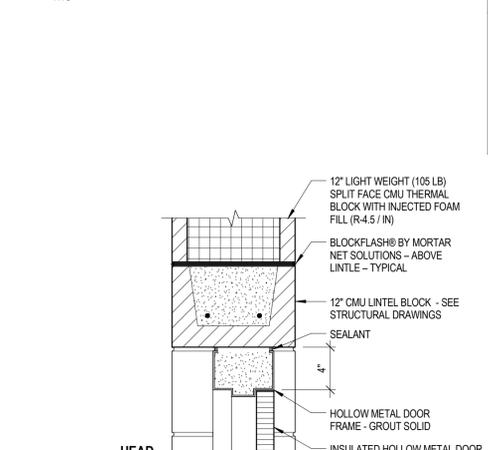
NOTE: TRACK CONFIGURATION MAY VARY DEPENDING ON DOOR MANUFACTURER



C4 SECTION
1 1/2" = 1'-0"

OVERHEAD SECTION DOOR HEAD DETAIL

CONCRETE BLOCK JAMB DETAIL
NTS



C4 SECTION
1 1/2" = 1'-0"

OVERHEAD SECTION DOOR HEAD DETAIL

REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION

REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION

VENDOR NO.		DATE		ORDER NO.	
DRAWN		DATE		WR NO.	
CHECKED		DATE		WR NO.	
APPROVED		DATE		SCALE	

SHEET TITLE:		SHEET NUMBER:	
STRUCTURAL & ARCHITECTURAL DETAILS		A-501	

DESIGN SPECIFICATIONS

- DESIGN IS IN ACCORDANCE WITH THE STATE OF WISCONSIN AND THE 2009 INTERNATIONAL BUILDING CODE.
- MINIMUM 28 DAY CONCRETE CYLINDER STRENGTH SHALL BE:

FOOTINGS	3000 PSI
SLABS ON GROUND	3500 PSI
FOUNDATION WALLS	3000 PSI
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60.
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 TYPE II NORMAL WEIGHT UNITS.
- CONCRETE MASONRY BRICK SHALL CONFORM TO ASTM C55 GRADE SW.
- MORTAR SHALL CONFORM TO ASTM C270 TYPE S.
- MASONRY GROUT SHALL CONFORM TO ASTM C476. MINIMUM COMPRESSIVE STRENGTH SHALL BE $f_c = 3000$ PSI.
- MINIMUM COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE MASONRY CONSTRUCTION SHALL BE $f_m = 1500$ PSI.
- MINIMUM COMPRESSIVE STRENGTH OF REINFORCED CONCRETE MASONRY CONSTRUCTION SHALL BE $f_m = 1500$ PSI.
- STRUCTURAL STEEL W-SHAPES SHALL CONFORM TO ASTM A992 GRADE 50.
- STRUCTURAL STEEL PLATES, ANGLES, CHANNELS, AND OTHER ROLLED MEMBERS SHALL CONFORM TO ASTM A36.
- ADHESIVE ANCHORS SHALL BE HILTI HIT-HY 200.
- MINIMUM REQUIRED BEARING CAPACITY FOR SPREAD FOOTINGS IS 2000 PSF.
- DESIGN LOADS:

FLOOR LIVE LOADS (IBC 2009)	OFFICES	50 PSF
MINIMUM ROOF LIVE LOAD		20 PSF
LIVE LOAD REDUCTION PER IBC 2009 SECTION 1607.9 IS INCLUDED		
ROOF SNOW LOAD (ASCE 7-05)	OCCUPANCY CATEGORY	III
	IMPORTANCE FACTOR	$I_s = 1.10$
	GROUND SNOW LOAD	$P_g = 30$ PSF
	FLAT ROOF SNOW LOAD	$P_f = 25$ PSF
	EXPOSURE FACTOR	$C_e = 0.9$
	THERMAL FACTOR	$C_t = 1.0$
WIND LOAD (ASCE 7-05)	OCCUPANCY CATEGORY	III
	IMPORTANCE FACTOR	$I_w = 1.15$
	BASIC WIND SPEED	$V = 90$ MPH
	EXPOSURE	C
	INTERNAL PRESSURE COEFFICIENT	$GCF_i = +/- 0.18$
	COMPONENTS AND CLADDING	REFER TO TABLE THIS SHEET
SEISMIC LOAD (IBC 2009)	OCCUPANCY CATEGORY	III
	IMPORTANCE FACTOR	$I_p = 1.25$
	SPECTRAL RESPONSE ACCELERATIONS	$S_S = 0.105g$
		$S_1 = 0.44g$
	SPECTRAL RESPONSE COEFFICIENTS	$SDS = 0.112g$
		$SD1 = 0.070g$
		$CS = 0.70$
	SEISMIC RESPONSE COEFFICIENT	$R = 2$
	RESPONSE MODIFICATION FACTOR	D
	SOIL SITE CLASS	B
	SEISMIC DESIGN CATEGORY	B
	BASIC SEISMIC FORCE RESISTING SYSTEM	ORDINARY SHEAR WALLS
- RESISTANCE TO LATERAL LOADS ON STRUCTURE IS PROVIDED BY MASONRY SHEAR WALLS AND ROOF DIAPHRAGMS. CONTRACTOR SHALL PROVIDE SUFFICIENT TEMPORARY BRACING UNTIL ALL LATERAL SUPPORT SYSTEMS ARE IN PLACE AND FUNCTIONAL.
- ALL STRUCTURAL FRAMING AND CONNECTIONS HAVE BEEN DESIGNED FOR THE FINAL COMPLETED CONDITION AND HAVE NOT BEEN INVESTIGATED FOR POTENTIAL LOADINGS ENCOUNTERED DURING ERECTION AND CONSTRUCTION. ANY INVESTIGATION OF THE STRUCTURAL FRAMING AND CONNECTIONS FOR ADEQUACY DURING THE ERECTION AND CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND JOB SITE SAFETY.

GENERAL NOTES

EARTHWORK

- FOOTINGS SHALL BE CAST ON UNDISTURBED SUBSOIL. IF DESIGN CAPACITY IS NOT ENCOUNTERED AT THE ELEVATIONS SHOWN, FOOTINGS MUST BE LOWERED. CONSULT CONTRACTOR'S GEOTECHNICAL ENGINEER BEFORE PROCEEDING.
- PREVIOUS GEOTECHNICAL REPORTS INDICATE 5 TO 8 FEET OF FILL AT THIS SITE. CONTRACTOR TO REMOVE FILL SOILS AND REPLACE WITH LEAN MIX CONCRETE UNDER ALL FOOTINGS AND THICKENED SLABS AS DIRECTED BY CONTRACTOR'S GEOTECHNICAL ENGINEER.
- NO HOLES, TRENCHES OR DISTURBANCES OF THE SOIL SHALL BE ALLOWED WITHIN THE VOLUME DESCRIBED BY 45 DEGREE LINES SLOPING FROM THE BOTTOM EDGE OF THE FOOTING. IF SUCH ARE REQUIRED, FOOTINGS MUST BE LOWERED.
- BACKFILL EVENLY ON EACH SIDE OF FOUNDATION WALLS.
- TOPSOIL AND FILL BELOW SLABS ON GROUND SHALL BE REMOVED. AGGREGATE BASE COURSE UNDER SLABS ON GROUND SHALL BE 12" BANK RUN GRAVEL COMPACTED TO 6-INCH LAYERS.
- BACKFILL AGAINST INTERIOR FOUNDATION WALLS SHALL BE BANK RUN GRAVEL COMPACTED TO MAXIMUM 6-INCH LAYERS OR MATERIAL APPROVED BY CONTRACTOR'S GEOTECHNICAL ENGINEER.
- BACKFILL AGAINST EXTERIOR FOUNDATION WALLS SHALL BE BANK RUN GRAVEL COMPACTED TO MAXIMUM 6-INCH LAYERS.

CONCRETE

- FORMWORK SHALL BE DESIGNED IN ACCORDANCE WITH THE ACI "MANUAL OF CONCRETE PRACTICE", LATEST EDITION.
- REINFORCING STEEL SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH THE ACI "MANUAL OF CONCRETE PRACTICE", LATEST EDITION, UNLESS OTHERWISE NOTED.
- LAP ALL WALL BARS 30 DIAMETERS UNLESS OTHERWISE DETAILED. LAP WELDED WIRE MESH 6 INCHES.
- CONCRETE PROTECTION FOR REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", ACI 318-08.
- SLABS ON GRADE SHALL BE CAST ALLOWING A SUFFICIENT NUMBER OF JOINTS TO ADEQUATELY CONTROL SHRINKAGE CRACKING. SAWCUTTING SHALL BE DONE AS SOON AS SAWCUT WILL NOT RAVEL CONCRETE OR WITHIN 24 HOURS MAXIMUM OF INITIAL POURING OPERATION. JOINTS SHALL BE SPACED 2.5 x THICKNESS NO GREATER THAN 15x15' ASPECT RATIO OF 1:1.5 MAXIMUM.
- SLABS ON GRADE SHALL BE 6 INCHES THICK AND REINFORCED WITH 6#6 W2.0/W2.0 WELDED WIRE FABRIC.
- ALLOW AT LEAST 24 HOURS BEFORE POURING ADJACENT WALL SECTIONS BETWEEN CONSTRUCTION JOINTS. MAXIMUM LENGTH OF POUR TO BE 40 FEET.
- DO NOT PLACE OR CUT HOLES IN CONCRETE SLABS, BEAMS, WALLS OR COLUMNS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- EXTERIOR EXPOSED CONCRETE SHALL BE AIR-ENTRAINED. AIR CONTENT SHALL BE 6 PERCENT (+/-1 PERCENT).
- PIPES AND CONDUITS EMBEDDED IN OR PASSING THROUGH STRUCTURAL MEMBERS MUST BE APPROVED BY THE STRUCTURAL ENGINEER. PIPE AND CONDUITS EMBEDDED IN CONCRETE SHALL NOT BE LARGER THAN 2 INCHES IN OUTSIDE DIAMETER AT THEIR WIDEST POINT OR FITTING OR 1/3 OF THE THICKNESS OF THE SLAB, BEAM OR WALL.
- ELECTRICAL CONDUIT OR PIPES EMBEDDED IN OR PASSING THROUGH SLABS, BEAMS OR WALLS SHALL BE LOCATED AND PLACED SO THAT:
 - THEY ARE NOT CLOSER THAN THREE DIAMETERS ON CENTER.
 - THE CONCRETE COVER IS NOT LESS THAN [1-INCH | 2 INCHES].
 - THEY RUN BETWEEN REINFORCING AND DO NOT DISPLACE IT IN ANY MANNER.
- ALUMINUM CONDUITS SHALL NOT BE PLACED IN CONCRETE.
- CHAMFER ALL EXPOSED CONCRETE CORNERS. SEE ARCHITECTURAL/STRUCTURAL DRAWINGS FOR REQUIREMENTS.
- PROPER CURING PROCEDURES SHALL BE USED FOR SLAB ON GRADE TO PREVENT CURLING.
- CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MIXES.

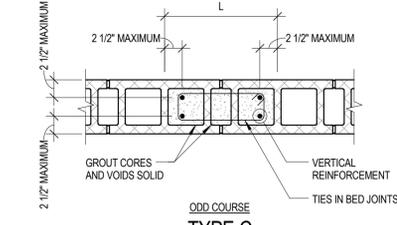
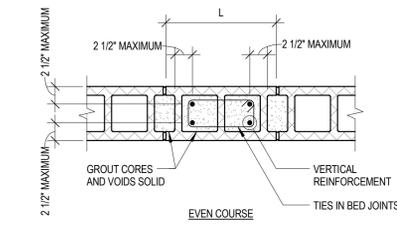
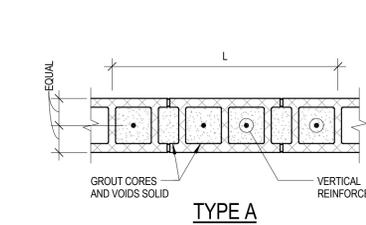
CONCRETE MASONRY

- PRODUCTION AND CONSTRUCTION OF CONCRETE MASONRY SHALL BE IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES", ACI 530-08, AND THE NCM "TEK MANUAL FOR CONCRETE MASONRY DESIGN AND CONSTRUCTION", LATEST EDITION.
- HOT AND COLD WEATHER CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE IMAC (INTERNATIONAL MASONRY INDUSTRY ALL-WEATHER COUNCIL) "RECOMMENDED PRACTICES AND GUIDE SPECIFICATIONS FOR HOT AND COLD WEATHER MASONRY AND CONSTRUCTION".
- CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED.
- MASONRY WALLS SHALL BE ADEQUATELY BRACED TO RESIST WIND FORCES UNTIL PERMANENT DESIGN SUPPORTS ARE IN PLACE AND FUNCTIONAL.
- PROVIDE DOWELS INTO FOUNDATION THE SAME SIZE AND NUMBER AS WALL REINFORCING.
- LAP REINFORCING BARS 48 DIAMETERS.
- CONCRETE MASONRY WALLS SHALL BE REINFORCED AT EVERY OTHER BED JOINT WITH 9 GAGE TRUSS TYPE JOINT REINFORCEMENT.
- VERTICAL BARS SHOWN ON THE DESIGN DRAWINGS SHALL BE PLACED IN A CONTINUOUS UNOBTSTRUCTED CELL OF NOT LESS THAN 3 INCHES BY 4 INCHES.
- ALL BOND BEAMS SHALL BE REINFORCED AS SHOWN ON THE DESIGN DRAWINGS AND FILLED WITH GROUT.
- ALL DOOR AND WINDOW JAMBS SHALL BE GROUTED SOLID 8 INCHES WIDE UNLESS SHOWN OTHERWISE.
- WHERE NOT SHOWN OTHERWISE, MINIMUM SOLID GROUTED MASONRY BELOW BEAM REACTIONS SHALL BE 16 INCHES DEEP BY 32 INCHES LONG.
- WHERE NOT SHOWN OTHERWISE, MINIMUM SOLID GROUTED MASONRY BELOW LINTEL REACTIONS SHALL BE 16 INCHES DEEP BY 16 INCHES LONG.

STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISC "STEEL CONSTRUCTION MANUAL", THIRTEENTH EDITION, AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", MARCH 18, 2005 EDITION.
- STEEL DECK FABRICATION AND ERECTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE STEEL DECK INSTITUTE.
- ALL WELDING SHALL COMPLY WITH AWS D1.1 USING E70XX ELECTRODES. ALL WELDING TO BE DONE BY AWS PREQUALIFIED WELDERS, CERTIFIED FOR WELDS MADE. PROVIDE CONTINUOUS MINIMUM SIZED WELDS PER AISC REQUIREMENTS, UNLESS NOTED OTHERWISE.
- THE MINIMUM SIZE OF FILLET WELDS SHALL BE AS SPECIFIED IN TABLE J2.4 IN THE AISC "STEEL CONSTRUCTION MANUAL".
- BEAM-TO-BEAM CONNECTIONS SHALL BE MADE WITH DOUBLE ANGLES.
- MINIMUM NUMBER OF BOLTS FOR END SHEAR REACTIONS ARE AS FOLLOWS:
 - W8, W10 OR W12: 2
- BEAMS SHALL BE EQUALLY SPACED IN A BAY UNLESS NOTED OTHERWISE ON PLAN.
- STEEL ROOF DECK SHALL BE WIDE RIB PROFILE, 1 1/2-INCH DEEP AND 20 GAGE THICKNESS UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- DECK END LAPS SHALL BE 2-INCH MINIMUM AND SHALL OCCUR AT SUPPORTS.
- STEEL ROOF DECK SIDE LAPS TO BE SREWED AT MIDSPAN WITH #10 TEK SCREWS.
- STEEL ROOF DECK SHALL BE FASTENED WITH 5/8" DIAMETER PUDDLE WELDS AS FOLLOWS:
 - WITHIN 10'-0" OF BUILDING PERIMETER = 3617 WELDING PATTERN (1ST, 2ND, 4TH, 6TH & 7TH RIBS) AT NO GREATER THAN 6' O.C.
 - ELSEWHERE = 3615 WELDING PATTERN (1ST, 2ND, 4TH, 6TH & 7TH RIBS) AT NO GREATER THAN 12' O.C.
- CLEAN, PREPARE, AND SHOP PRIME INTERIOR EXPOSED STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH SSPC STANDARDS SP-1 AND SP-3.
- WHILE THE DESIGN DOCUMENTS MAY REFERENCE OSHA, THEY ARE NOT INTENDED TO SPECIFICALLY IDENTIFY ALL APPLICABLE OSHA REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND COMPLY WITH ALL APPLICABLE OSHA REQUIREMENTS.
- ALL STRUCTURAL STEEL PERMANENTLY EXPOSED TO THE WEATHER, INCLUDING MASONRY SHELF ANGLES, SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123, UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL MISCELLANEOUS STEEL.

MARK	TYPE	SIZE (L)	VERTICAL REINFORCEMENT	TIES	REMARKS
MP1	C	12"x24"	(4) #4	1/4@16"	
MP2	A	8"x24"	(4) #4	1/4@16"	



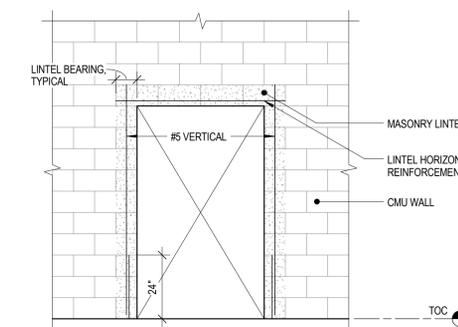
MASONRY PIER SCHEDULE NOTES:

- FOR WALL THICKNESS SEE MASONRY WALL SCHEDULE.
- PROVIDE DOWELS EQUAL IN SIZE AND NUMBER AS VERTICALS INTO FOUNDATION WALLS, PIERS OR FOOTINGS BELOW PER DETAILS.
- CONTINUE WALL BOND BEAM AND HORIZONTAL JOINT REINFORCEMENT THROUGH MASONRY PIER.
- EXTEND VERTICAL REINFORCEMENT FULL HEIGHT OF WALL.
- PROVIDE LAP SPLICE LENGTH PER SPECIFICATIONS. STAGGER LAPS.
- BED FACE SHELLS AND WEBS WITH MORTAR AT FILLED CORES.

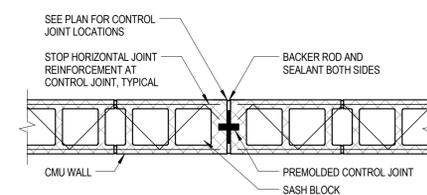
WALL THICKNESS	SPAN	CMU LINTEL		CMU LINTEL TYPE
		DEPTH	REINFORCEMENT	
8"	3'-6" OR LESS	8"	(2) #5	-
12"	3'-6" OR LESS	8"	(2) #5	-
		8'-0"	(2) #5	-

CONCRETE MASONRY LINTEL NOTES:

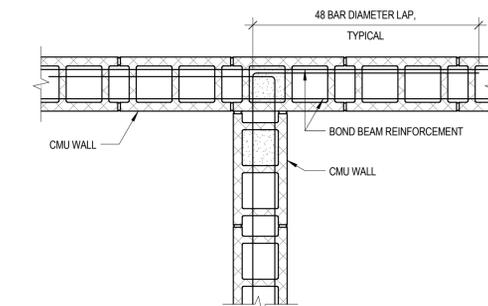
- CMU LINTEL DEPTH IN SCHEDULE REFERS TO OVERALL DEPTH OF LINTEL BLOCK UNIT.
- REINFORCEMENT IN CMU LINTEL IS TO BE PROVIDED IN ONE LAYER IN THE BOTTOM OF THE UNIT UNLESS NOTED OTHERWISE.
- CMU LINTEL WIDTH SHALL BE THE SAME AS THE WALL SUPPORTED.
- CMU LINTELS SHALL BEAR A MINIMUM OF 8" EACH END UNLESS NOTED OTHERWISE.
- FILL CMU LINTELS SOLID WITH GROUT CONFORMING TO ASTM SPECIFICATION C470.



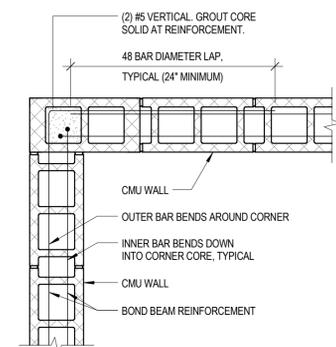
- NOTES:
- GROUT ALL CELLS SOLID CONTAINING REINFORCEMENT



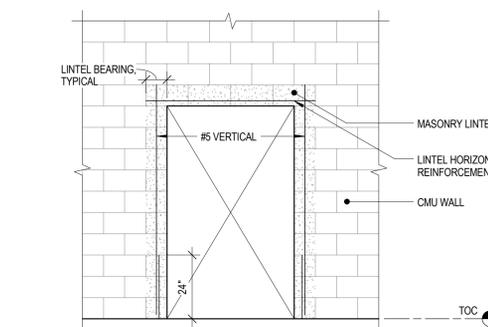
A8 CMU WALL VERTICAL CONTROL JOINT (CJ)
1" = 1'-0"



A7 BOND BEAM INTERSECTION
1" = 1'-0"



A5 BOND BEAM CORNER
1" = 1'-0"



A4 CMU WALL DOOR OPENING
3/8" = 1'-0"

One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1470
414 / 259 1500
414 / 259 0037 fax

www.graef-usa.com

PROJECT NUMBER:
20160237

PROJECT NAME:
WE ENERGIES PGSG MAIN DATA FACILITY

335 172ND AVE.
UNION GROVE, WI 53182

THE TOUGH JOB EXPERTS

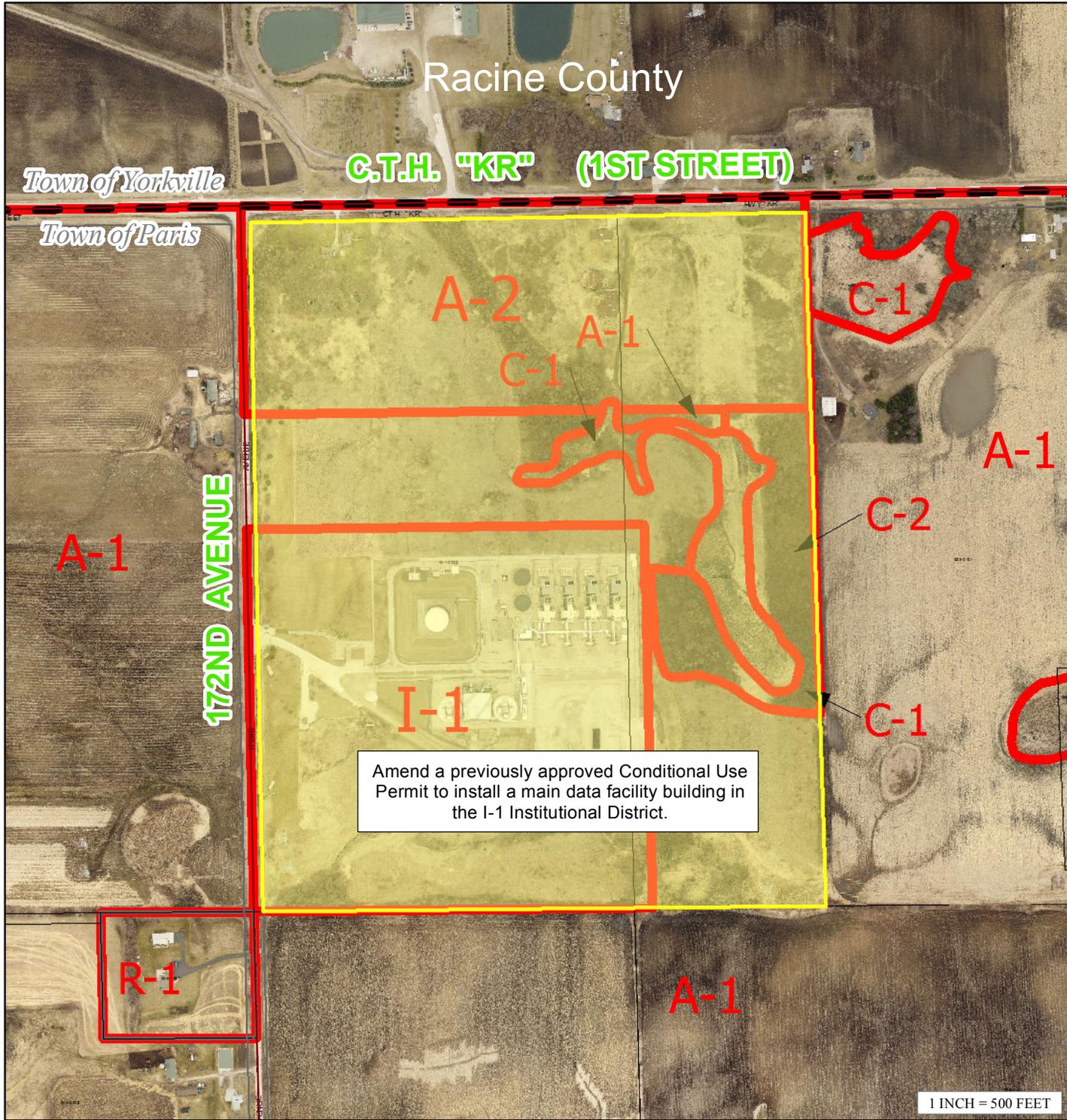
REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	REVISION BLOCK 2	WR. NO.	DRAWN	CHKD.	APVD.	REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	REVISION BLOCK 1	WR. NO.	DRAWN	CHKD.	APVD.	MICROFILM NO.	SHEET TITLE:	SHEET NUMBER:
																			GENERAL NOTES	S-001

we energies

FILE:

APPROVED MJH DATE SCALE

SIZE SITE or PLANT LOCATION or UNIT DISPLN PRIMARY or SYS/TYPE SECONDARY or FNCTN SEQUENCE No REVISION No.



CONDITIONAL USE SITE MAP

PETITIONER(S):

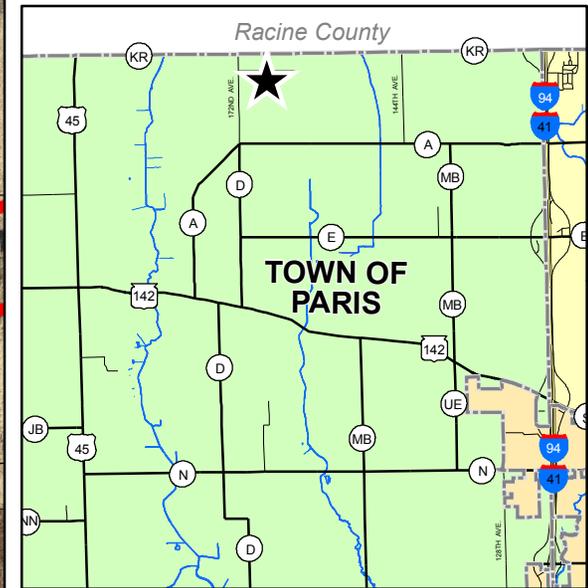
Wisconsin Electric Power Co.
d/b/a WE Energies (Owner),
Brian Forston (Agent)

LOCATION: NE 1/4 of Section 4,
Town of Paris

TAX PARCEL(S): #45-4-221-041-0225

REQUEST:

Requesting to amend a previously approved Conditional Use Permit to install a main data facility building in the I-1 Institutional District.





COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED

AUG 05 2016

Kenosha County
Deputy County Clerk

CONDITIONAL USE PERMIT APPLICATION

(a) Property Owner's Name:

Badtke Holdings

Print Name:

Jeff Badtke

Signature:

Mailing Address:

1520 136th

City:

Union Grove, WI

State:

-

Zip:

53182

Phone Number:

262-206-4433

E-mail (optional):

Jeff@grassmaninc.com

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable): -

Print Name:

Signature:

Business Name:

Mailing Address:

City:

State:

Zip:

Phone Number:

E-mail (optional):

(c) Architect's Name (if applicable):

To follow

Print Name:

Signature:

Business Name:

Mailing Address:

City:

State:

Zip:

Phone Number:

E-mail (optional):

(d) Engineer's Name (if applicable):

To follow

Print Name:

Signature:

Business Name:

Mailing Address:

City:

State:

Zip:

Phone Number:

E-mail (optional):

CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

45-4-221-173-0202

Address of the subject site:

To follow

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

see attached
Steel Building Plan

Proposed operation or use of the structure or site:

Building # 1 - House Paris Equipment
& Grassman lawn service offices.
Garage for equipment repair & storage
gravel for equipment being sold

Building # 2 - garage for Grassman vehicle
& machinery repair & maintenance.
yard area for bulk material storage

Number of employees (by shift):

10

Hours of Operation:

7am To 7PM - Mon - Fri

Any outdoor entertainment? If so, please explain:

No

Any outdoor storage? If so, please explain:

yes - bins w/ landscape materials

Zoning district of the property:

B-5, C-1

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

CONDITIONAL USE PERMIT APPLICATION

For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

(h) The Kenosha County Department of Planning and Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.
Request for Conditional Use Permit..... \$750.00

(For other fees see the Fee Schedule)

RECEIVED

AUG 05 2016

Kenosha County
Deputy County Clerk

Mr. Andy Buehler
Kenosha County
Division of Planning Operations
19600 75th Street, Suite 185-3
Bristol, WI 53104-9772

Re: Conditional Use Permit, Zoning and CSM
Tax Parcel: #45-4-221-~~181-0410~~ 173-0202
Paris Equipment/Grassman Lawn Service

Dear Mr. Buehler:

Pursuant to our previous meetings enclosed are documents and applications as required by Kenosha County Planning for Conceptual Conditional Use, Conceptual Site Plan Approval and Re-zoning for approximately 10 acres located in the Town of Paris on the southeast corner of Hwy 45 and Hwy 142.

We are requesting re-zoning from A-2 to B-3, B-5 and C-1. The wetlands have been delineated and will be accurately surveyed on future zoning & site plan maps. I understand that further applications will be required for the Certified Survey Map.

Recently purchased the land is now owned by Badtke Holdings. The plan for the site has two elements. First to move and combine Paris Equipment and Grassman Lawn Service from their respective locations to this site. Second to divide the property via Certified Survey Map so that the eastern portion of the site can be sold to any prospective B-5 and B-3 user.

The site plan has been set up for both uses. This CUP application is for the western parcel relocation of Paris Equipment and Grassman Lawn Service. Material handling and storage will be located in the back of the site. The yard area consists of a gravel base and bins. Building #1 will house the offices of Grassman & Paris Equipment plus shop space and storage for Paris Equipment. Building #2 will be used for repairs and maintenance of the Grassman equipment. That repair work is done on a daily basis during business hours of 7 am to 7 pm.

Area set aside for storm water management has been estimated based on the impervious surface shown. Complete Stormwater Management plan and calculations will be submitted once we have conceptual approvals.

Items submitted and attached for this request are:

- 1) Conditional Use Application with \$750.00 Submittal fee
- 2) Site Plan Approval Application
- 3) Site Plan showing the proposed buildings, and parking
- 4) Re-Zoning Application with \$750.00 submittal fees - legal to follow

We appreciate your attention to this matter and look forward to your review, comment and approval.

Respectfully Submitted,

Jeff Badtke
Badtke Holdings

Hwy 142

Landscape Bed with:
3 Pear trees, 10 Boxwoods
10 Black Eyed Susan,
12 May Night Salvia, and
10 Autumn Joy Sedum

4' tall berm with 18 (6') Spruce trees

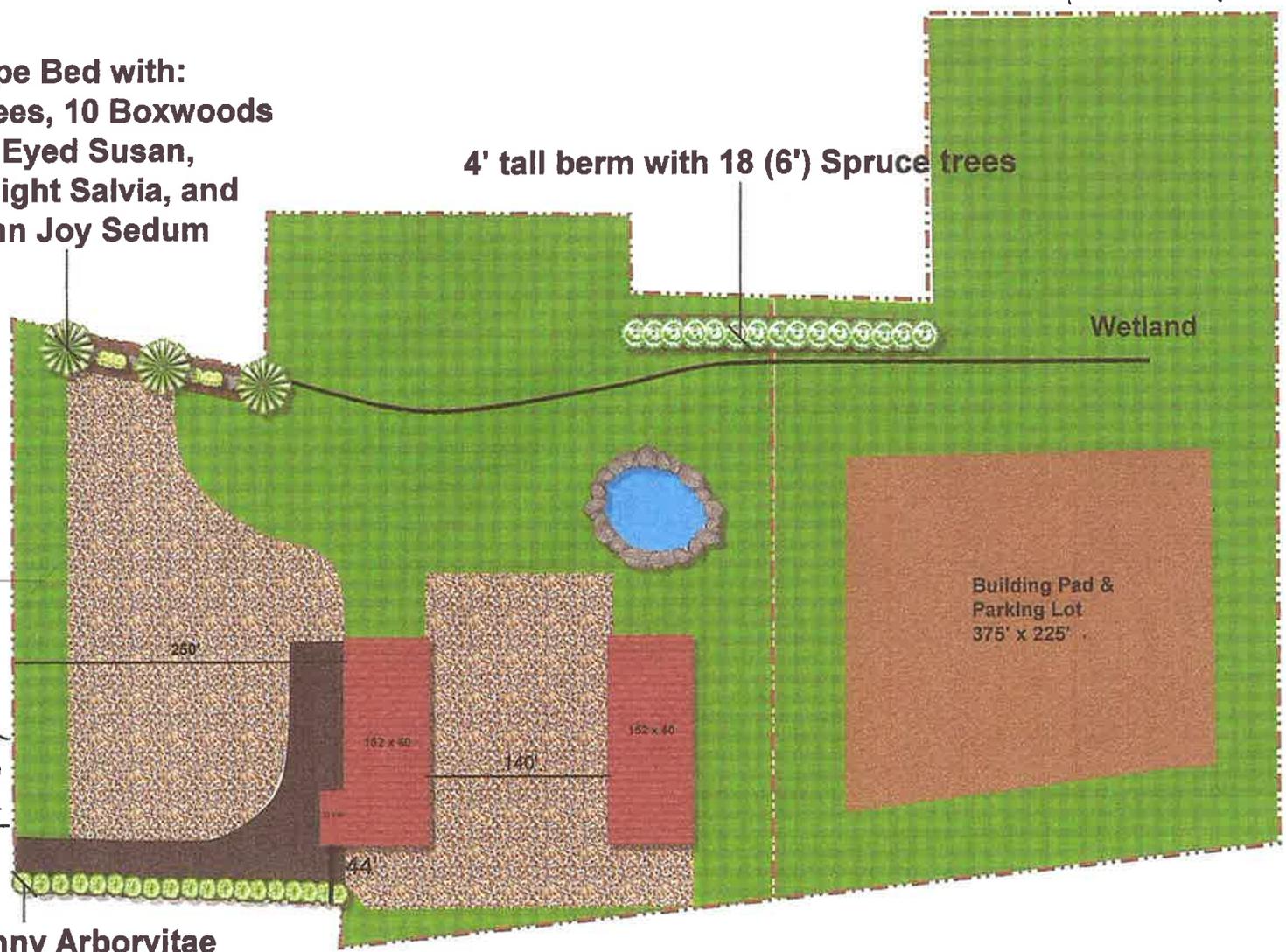
Wetland

Right Of Way

Hwy 45

Building Pad & Parking Lot
375' x 225'

40 (6') Techny Arborvitae





January 2013

COUNTY OF KENOSHA

Department of Planning and Development **RECEIVED**

AUG 05 2016

Kenosha County
Deputy County Clerk

SITE PLAN REVIEW CHECKLIST

Owner: Badtke Holdings Date 8/4/2016
 Mailing Address: 1520 136th Ave Phone # 262-206-4433
Union Grove, WI 53182 Phone # _____
 Agent: Jeff Badtke Phone # _____
 Mailing Address: same Phone # _____

Architect/Engineer: Mark Madsen Phone # 262-634-5588
Nielsen, Madsen & Barber
 Mailing Address: 1458 Horizon Blvd Phone # _____
Racine, WI 53406

Tax Parcel Number(s): 45-4-221-173-0202 Acreage of Project: 10.1
 Existing Zoning: A-2 Proposed Zoning: B-3, B-5, C-1
 Conditional Use Permit: requested with this application

Description of Project: (include the following when applicable):
 Description of project: Construction of shops & offices for Paris Equipment and Grassman Lawn Service.
 Size of existing building(s): N/A
 Size of new building(s) and/or addition(s): 10,000 sq. ft +/- Bldg. 1 Building 2 9,162 sq. ft.
 Number of current and projected full-time and part-time employees, number of shifts: 10 employees -
 Number of proposed units: N/A Description of units: N/A
 Density: N/A

Plat of Survey Submitted: Covenants and Restrictions Submitted

**SITE PLAN REVIEW
CHECKLIST**

A. BUILDING PLANS SUBMITTED? (BUILDING APPEARANCE)

- No building shall be permitted the design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
- No building shall be permitted the design or exterior appearance of which is so identical with those adjoining as to create excessive monotony or drabness.
- No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.
- Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.
- Building Rooflines and Roof Shapes. The visual continuity of roofs and their contributing elements (parapet walls, coping, and cornices) shall be maintained in building development and redevelopment.
- Since the selection of building colors has a significant impact upon the public and neighboring properties, color shall be selected in general harmony with existing neighborhood buildings.
- No building or sign shall be permitted to be sited on the property in a manner which would unnecessarily destroy or substantially damage the natural beauty of the area, particularly insofar as it would adversely affect values incident to ownership of land in that area, or which would unnecessarily have an adverse effect on the beauty and general enjoyment of existing structures on adjoining properties.
- The facade of all buildings which face upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing an existing or future street shall be finished with a combination of brick, decorative masonry material, decorative pre-cast concrete panels, decorative glass panels, wood, or decorative metal or vinyl siding. Such finished material shall extend for a distance of at least 10 feet along the sides of the structure. All buildings on corner lots shall have the required finished facade facing each street.

B. SITE PLAN SUBMITTED?

- Building locations shall maintain required setbacks from property lines and road rights-of-way.
- Buildings and uses shall provide for safe traffic circulation and safe driveway locations.
- Buildings and uses shall be provided with adequate public services as approved by the appropriate utility.

**SITE PLAN REVIEW
CHECKLIST**

- Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead doors shall face upon a street right-of-way without approval of the Planning and Zoning Administrator.
- Parking areas shall maintain required setbacks and parking spaces shall be of minimum required size (10' x 20'). Aisle widths within parking lots shall be a minimum of 24' between the ends of the parking spaces.
- Each parking space shall be on the same lot or parcel as the principal use, and all parking lots shall have the same zoning district as the principal use. Parking spaces and driveways shall be a minimum of 20 feet from the established highway right-of-way and a minimum of 10 feet from all rear and side lot lines. Curbs or barriers shall be installed so as to prevent vehicles from extending beyond designated parking or driving areas.
- Parking areas for five or more vehicles adjoining a residential use, shall be screened from such use by a solid wall, fence, evergreen planting of equivalent visual density or other effective means, and built and maintained at a minimum height of four feet at the time of planting or installation.
- Adequate access to a public or private roadway shall be provided for each parking space. For all non-residential properties, driveways for vehicular ingress and egress shall be a minimum of 10 feet in width and not exceed 35 feet in width at the property line.
- All off-street parking of more than five vehicles shall be graded and surfaced with asphalt or concrete.

C. LANDSCAPING AND LIGHTING PLAN SUBMITTED?

- Buildings and uses shall make appropriate use of open spaces. The Zoning Administrator or Land Use Committee may require appropriate landscaping and planting screens. A landscaping maintenance program, together with appropriate assurances, shall be submitted.
- Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.
- Exterior lighting used for parking lots, recreation facilities, product display, and security shall not spill-over on operators of motor vehicles, pedestrians, and/or adjacent residential property (cut-off type luminaries only).
- Appropriate buffers shall be provided between dissimilar uses.

D. SEWER VERIFICATION/SANITATION EVALUATION OR APPLICATION SUBMITTED?

E. UTILITY PLANS SUBMITTED?

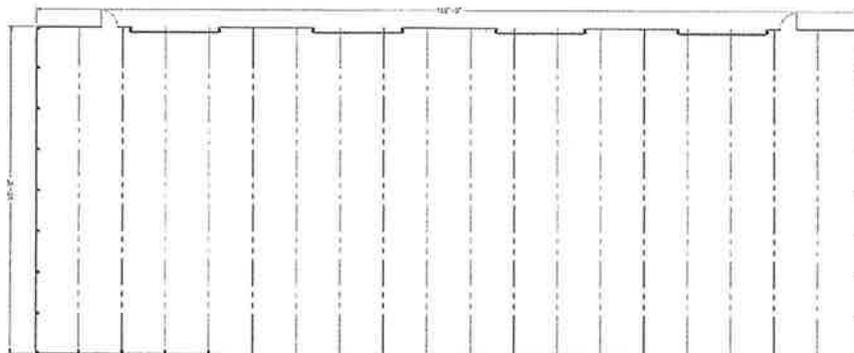
**SITE PLAN REVIEW
CHECKLIST**

F. STORMWATER DRAINAGE AND EROSION CONTROL PLAN SUBMITTED?

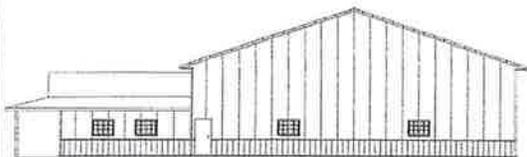
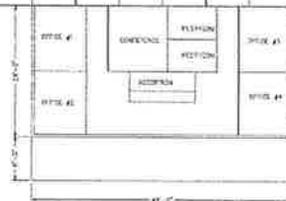
Appropriate erosion control and stormwater management measures shall be utilized in all new development. Buildings and uses shall maintain existing topography, drainage patterns, and vegetative cover insofar as is practical. The Zoning Administrator or Land Use Committee may require that drainage easements be executed.

IMPORTANT TELEPHONE NUMBERS

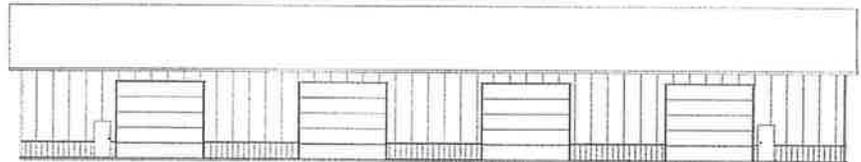
Kenosha County Center	
Department of Planning & Development	
19600 - 75 th Street, Post Office Box 520	
Bristol, Wisconsin 53104-0520	
Division of County Development (including Sanitation & Land Conservation).....	857-1895
Facsimile #.....	857-1920
Public Works Division of Highways	857-1870
Administration Building	
Division of Land Information.....	653-2622
Brighton, Town of	878-2218
Paris, Town of	859-3006
Randall, Town of.....	877-2165
Salem, Town of	843-2313
Utility District.....	862-2371
Somers Town of	859-2822
Wheatland, Town of.....	537-4340
Wisconsin Department of Natural Resources - Sturtevant Office	884-2300
Wisconsin Department of Transportation - Waukesha Office	548-8722



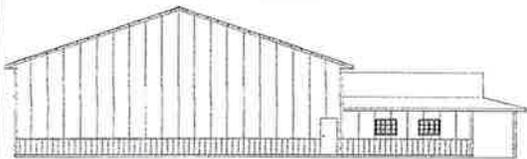
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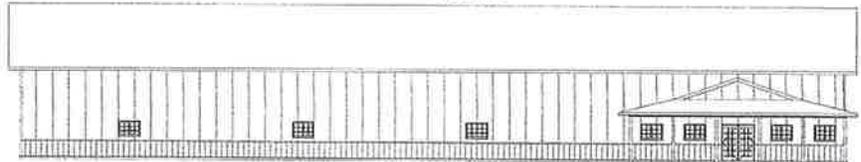
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NORTH ELEVATION:
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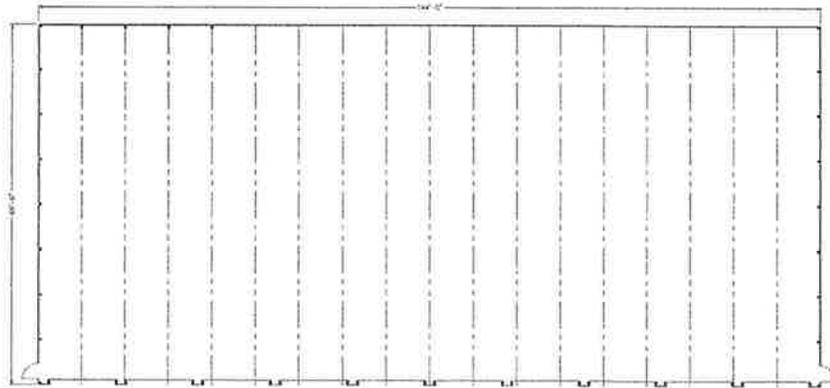


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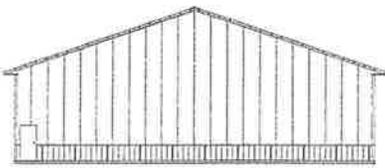
Proposed steel Building
Paris Equipment
Grassman Services

8-4-2016

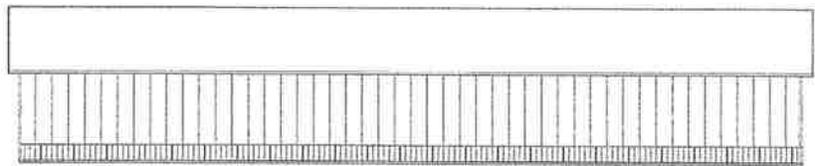
Badtke



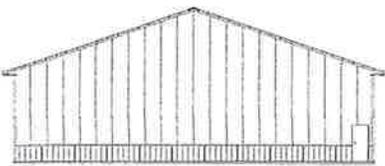
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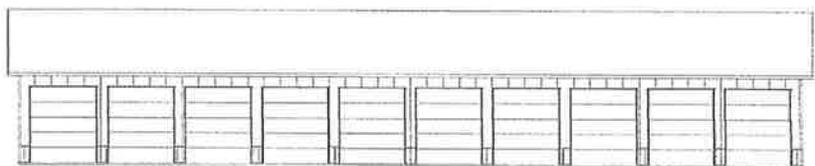
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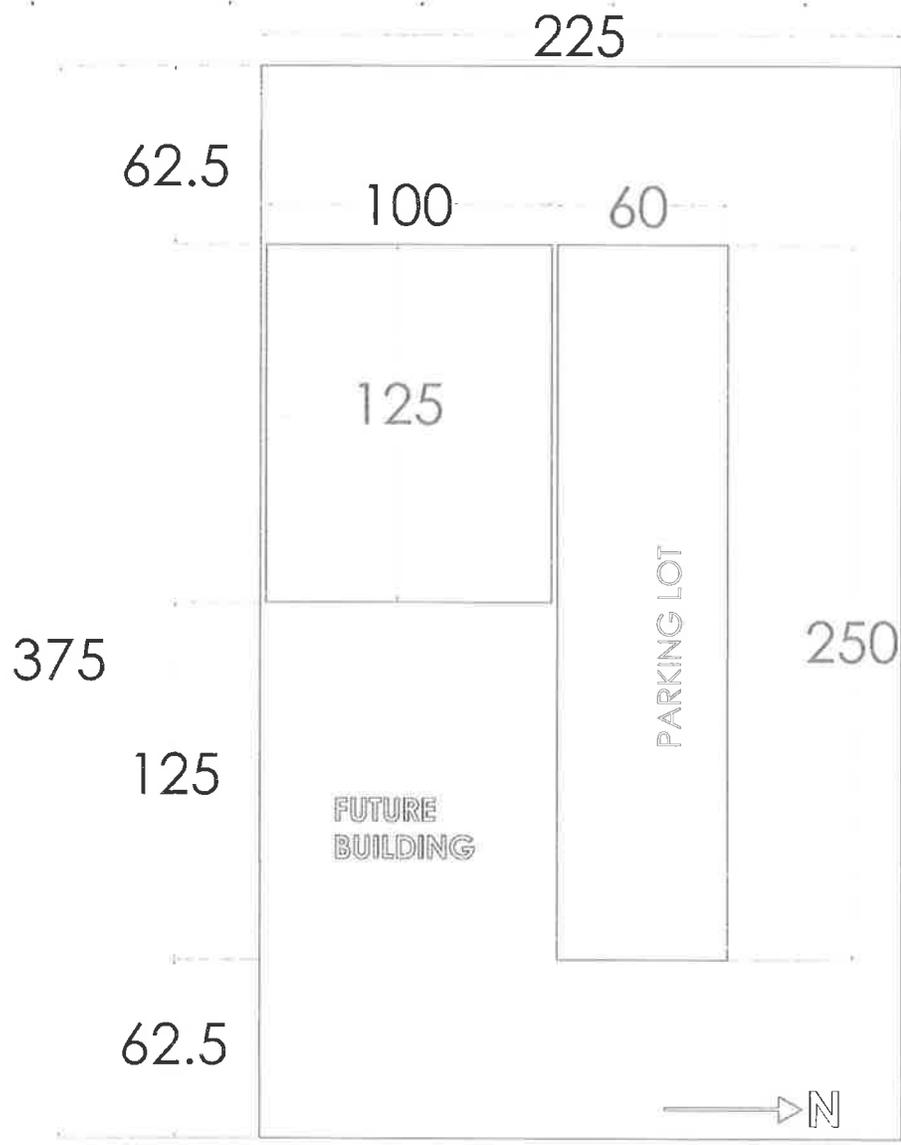


WEST ELEVATION:
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Elevations- Paris Equipment
Grassman

8-4-2016

Paris/Badtke
Hwy 142
east site

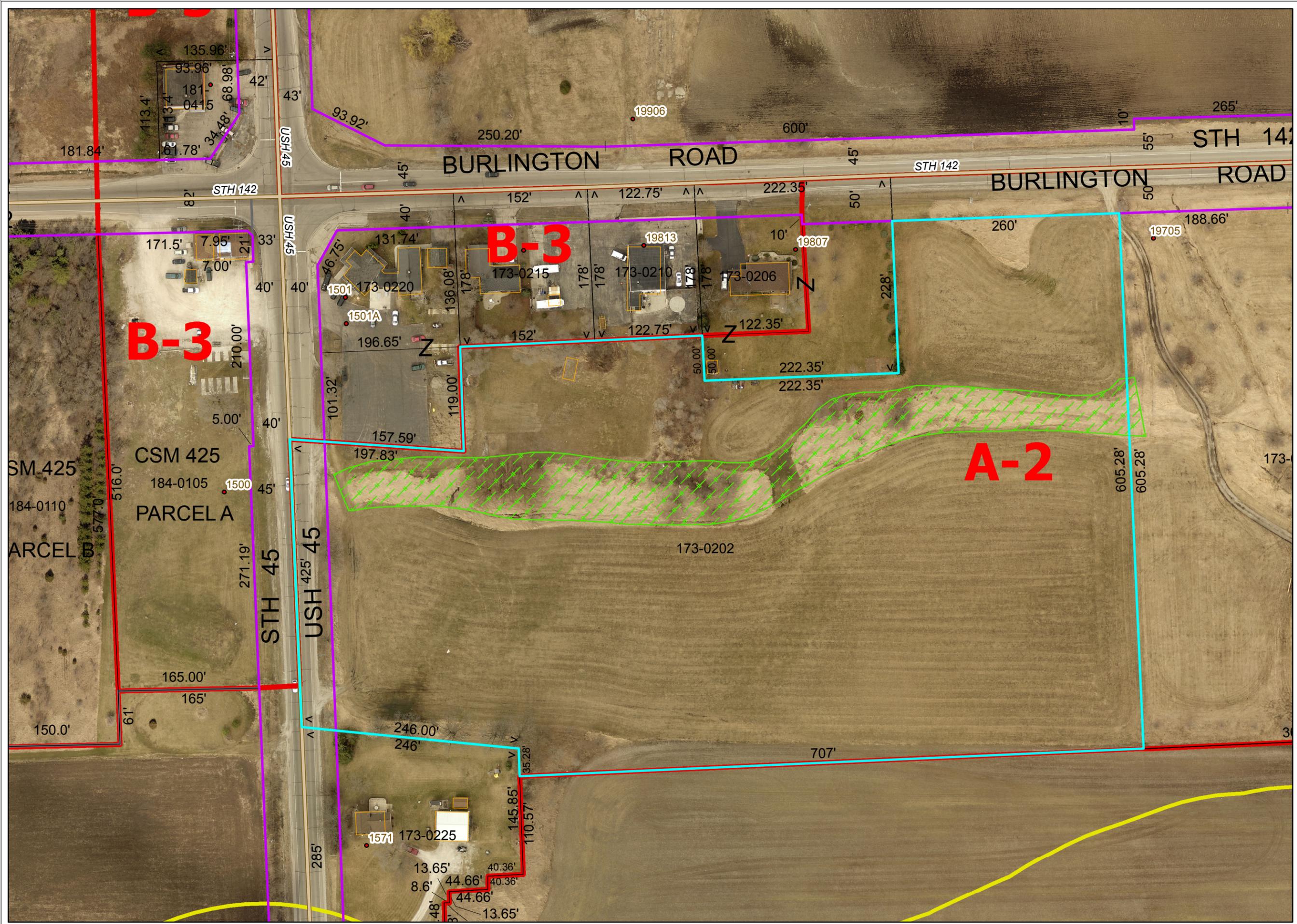


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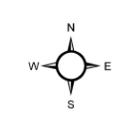
PREPARED BY: B.A. BROWN
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Potential East Side
lot layout

8-4-2016

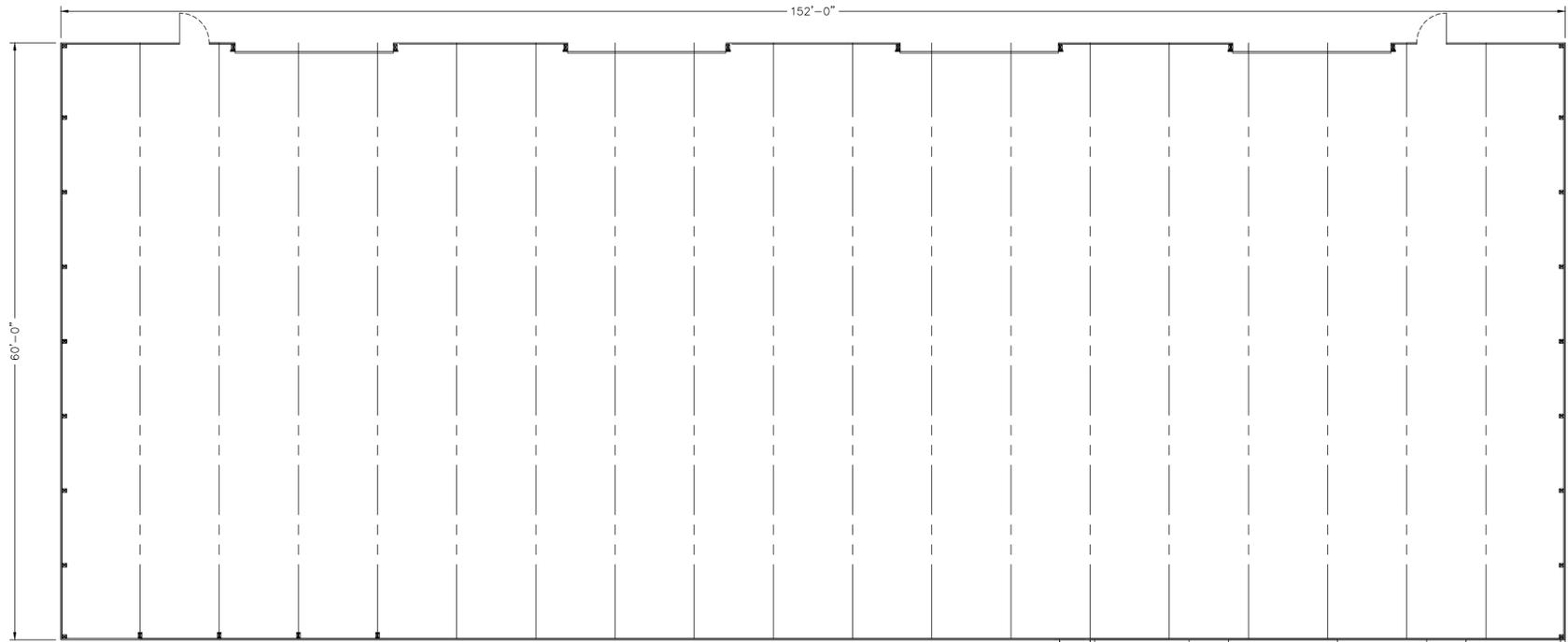


Kenosha County

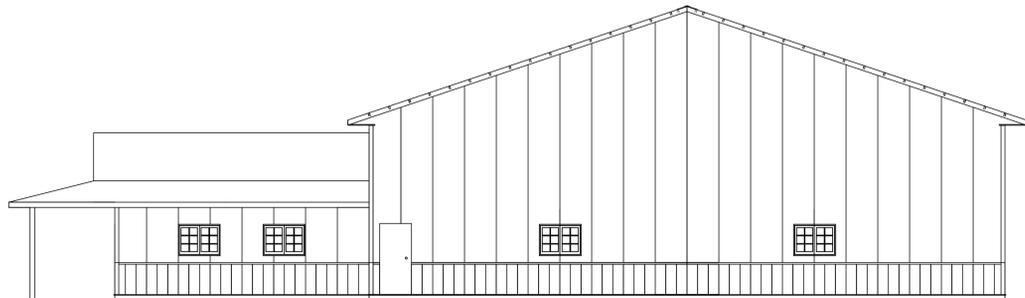
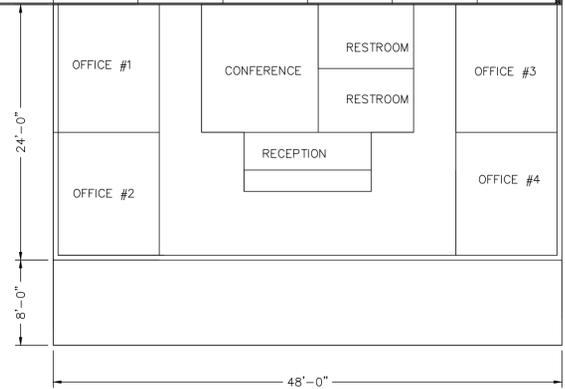


1 inch = 100 feet

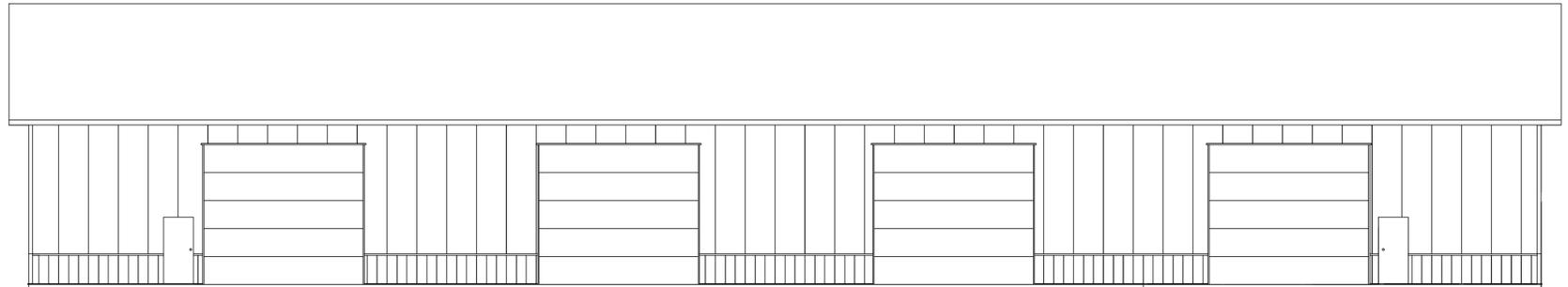
THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT THE LAND INFORMATION DIVISION.



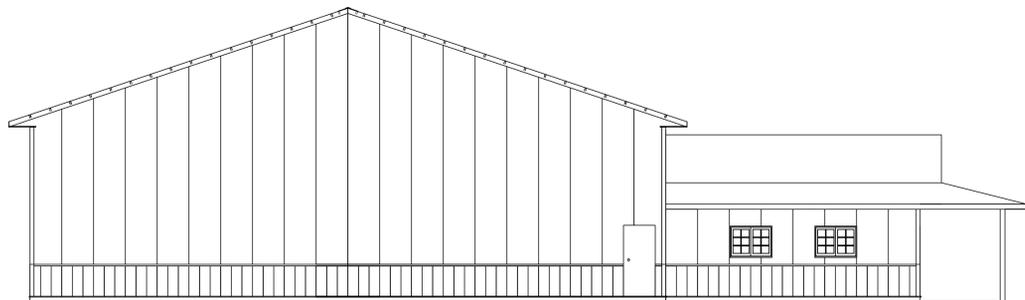
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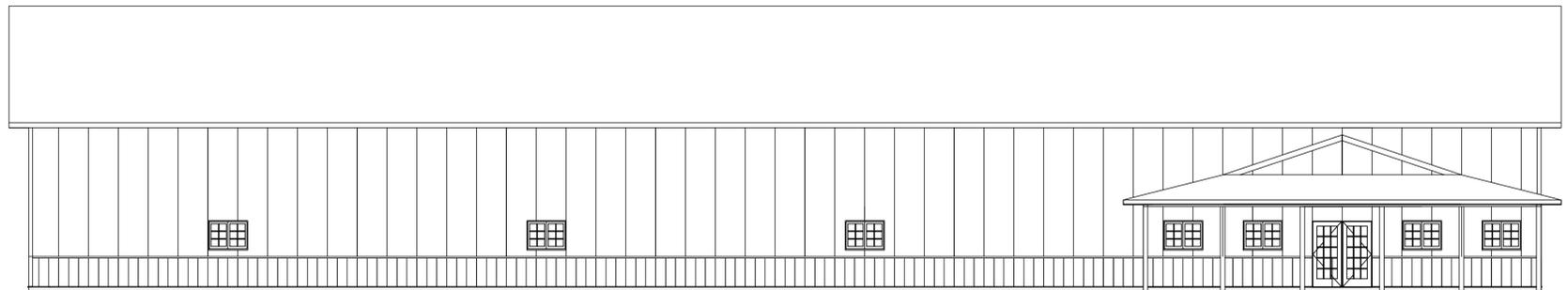
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WEST ELEVATION:
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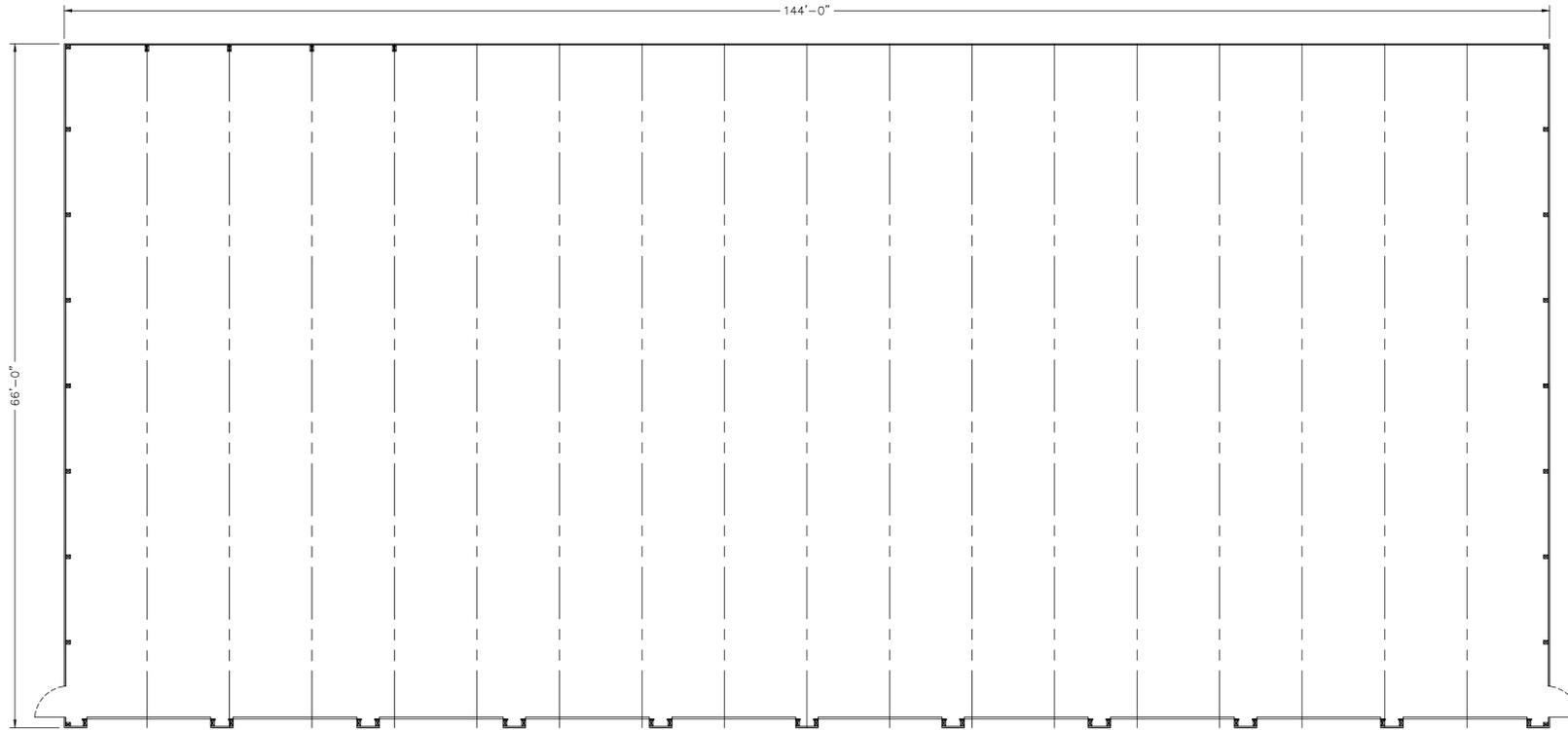
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Project: Proposed Shop
Location: Hwy 142
Dealer/Salesman:

Drawn By: Chris Bower
Date:
Revised By:
Date Revised:

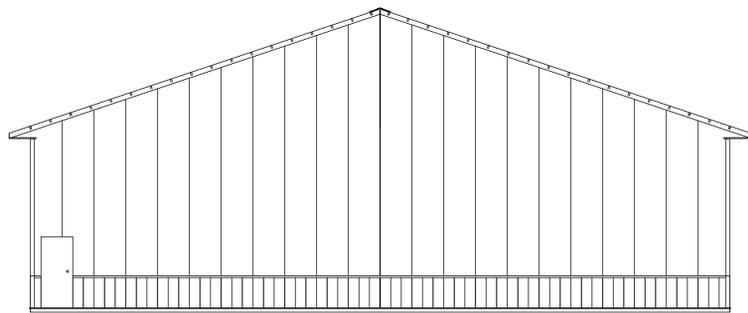
A Tradition of Building Excellence
1811 Scammon Dr.
Kansasville, WI 53139
262.534.2926
bowerdesignconst@yahoo.com



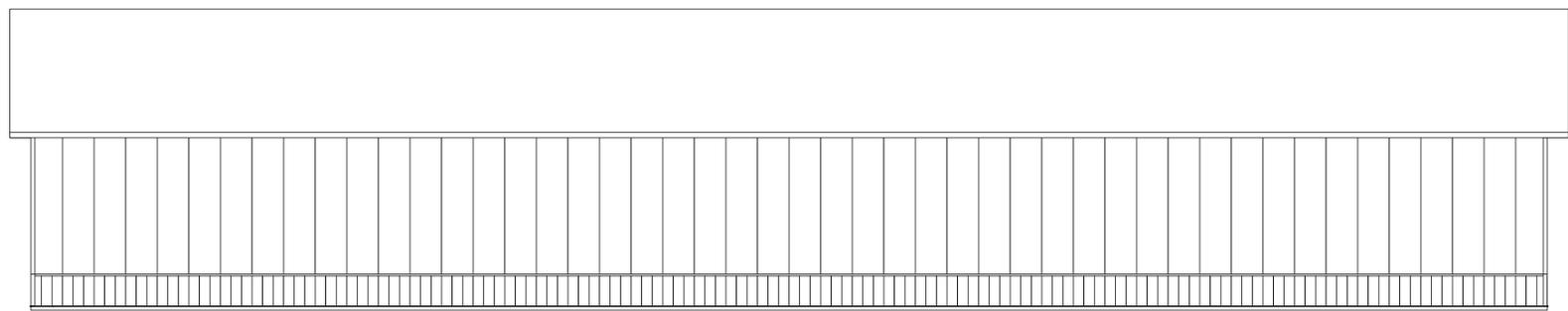
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Checked By:
Approved By:
Sheet No.:



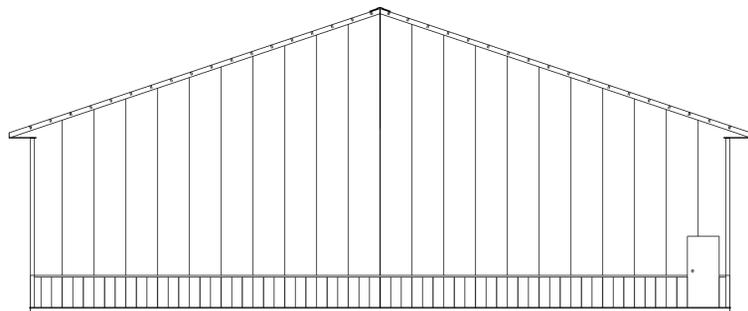
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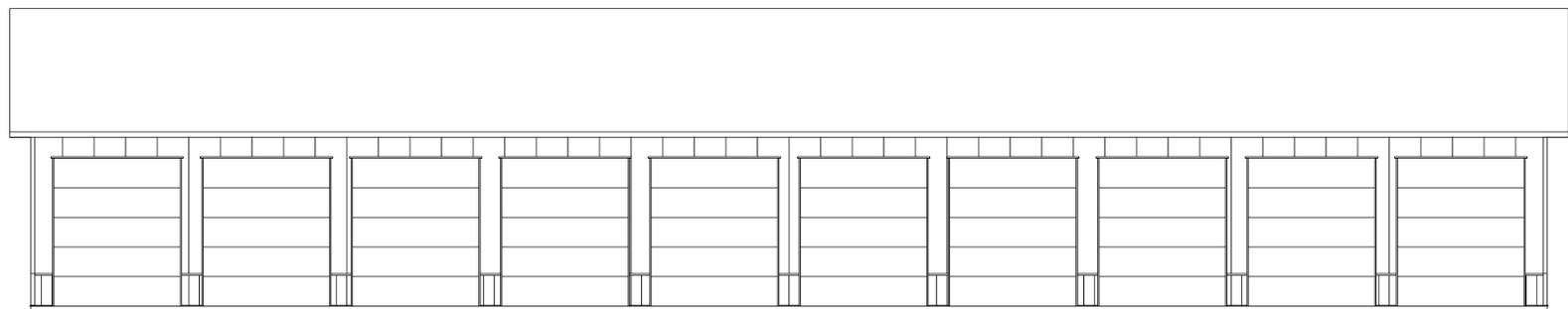
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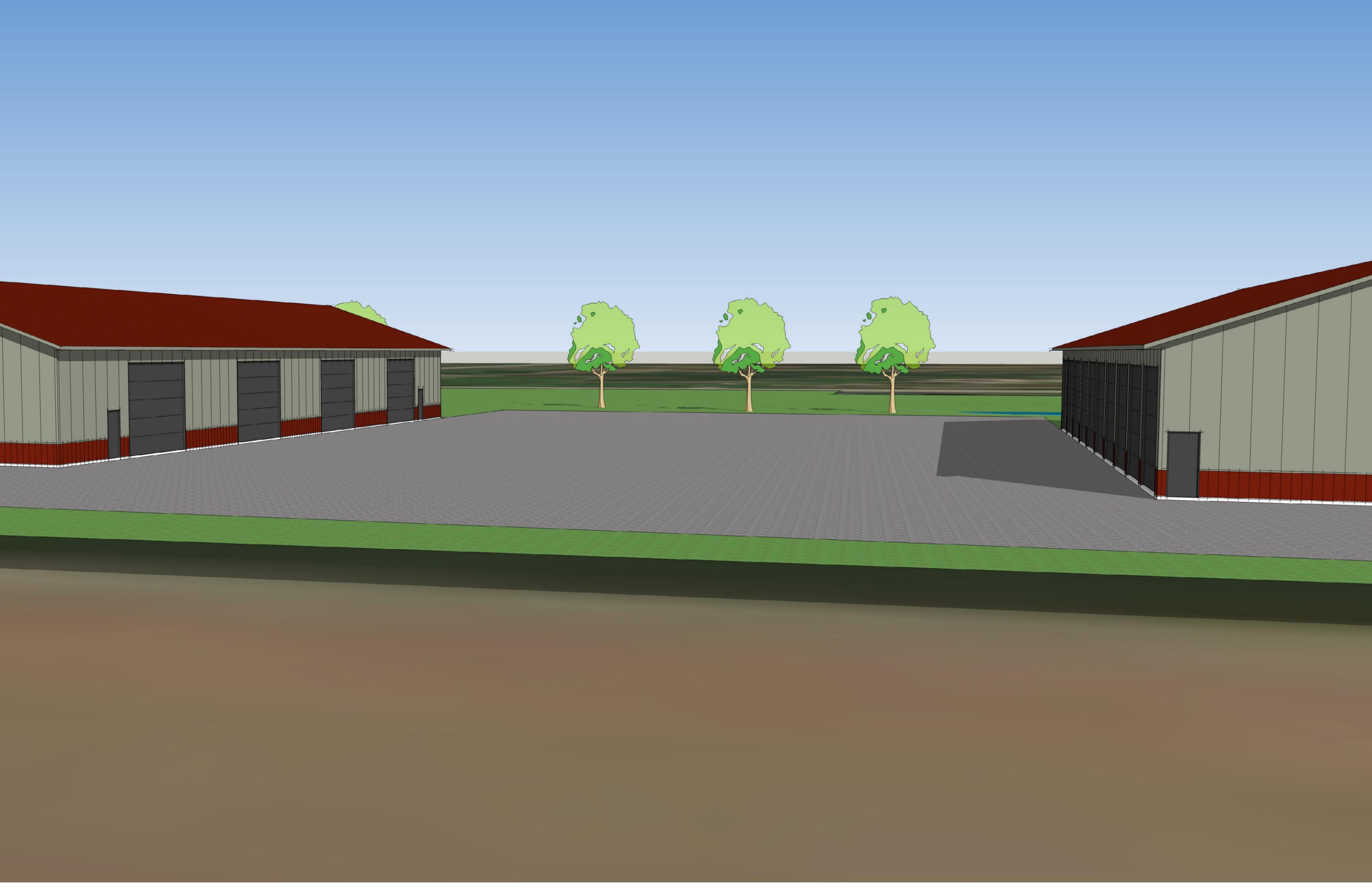


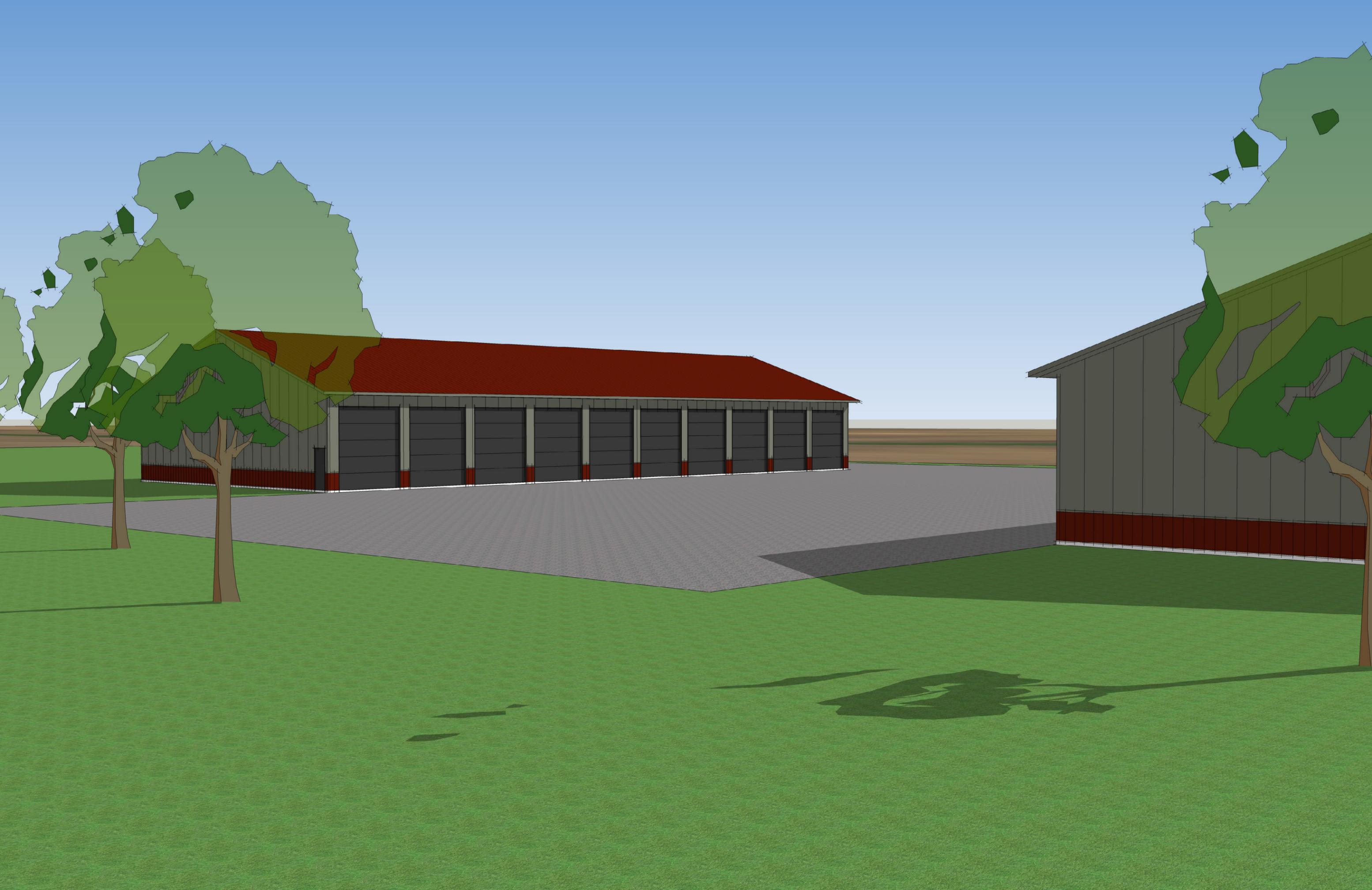




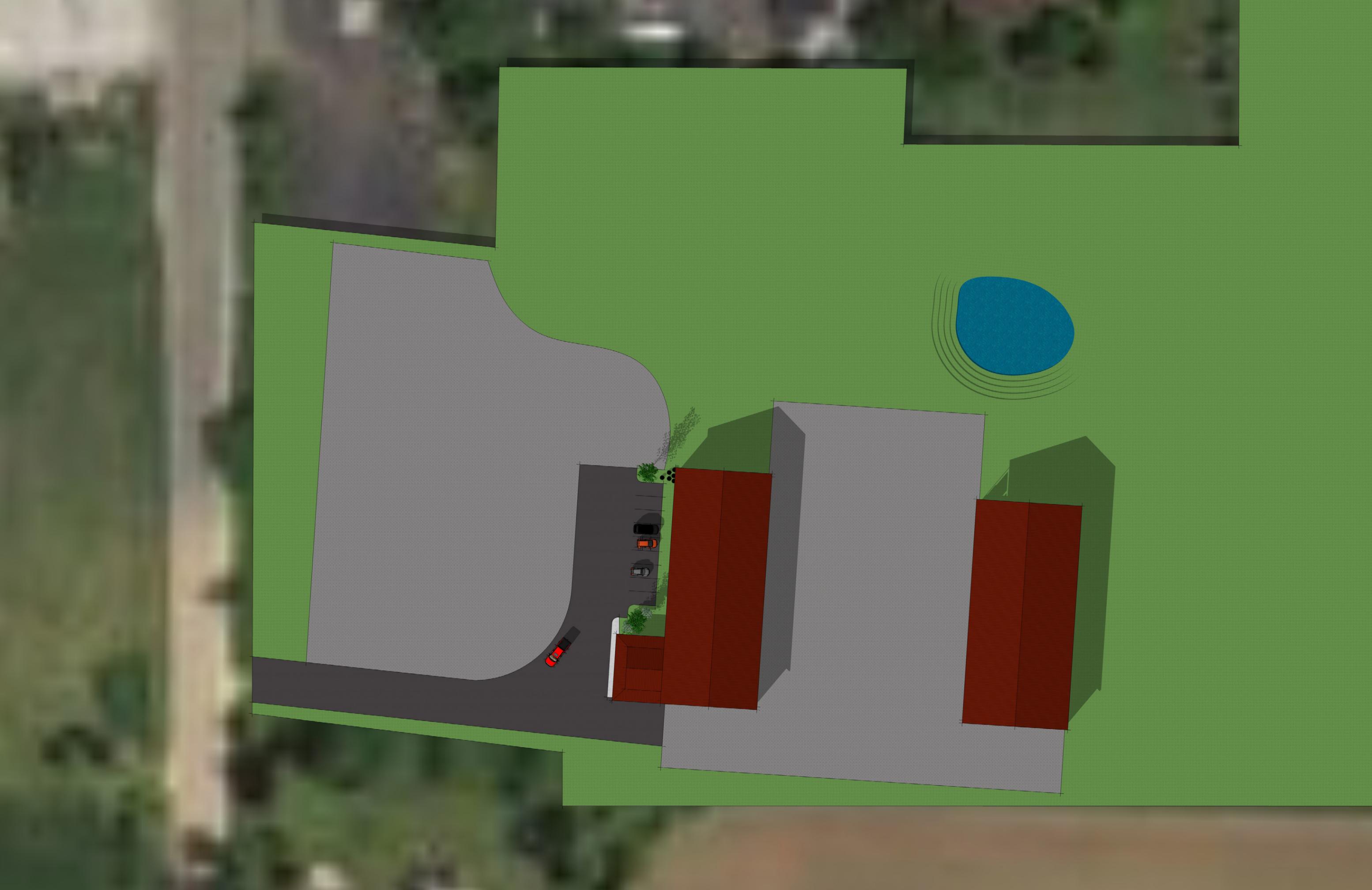


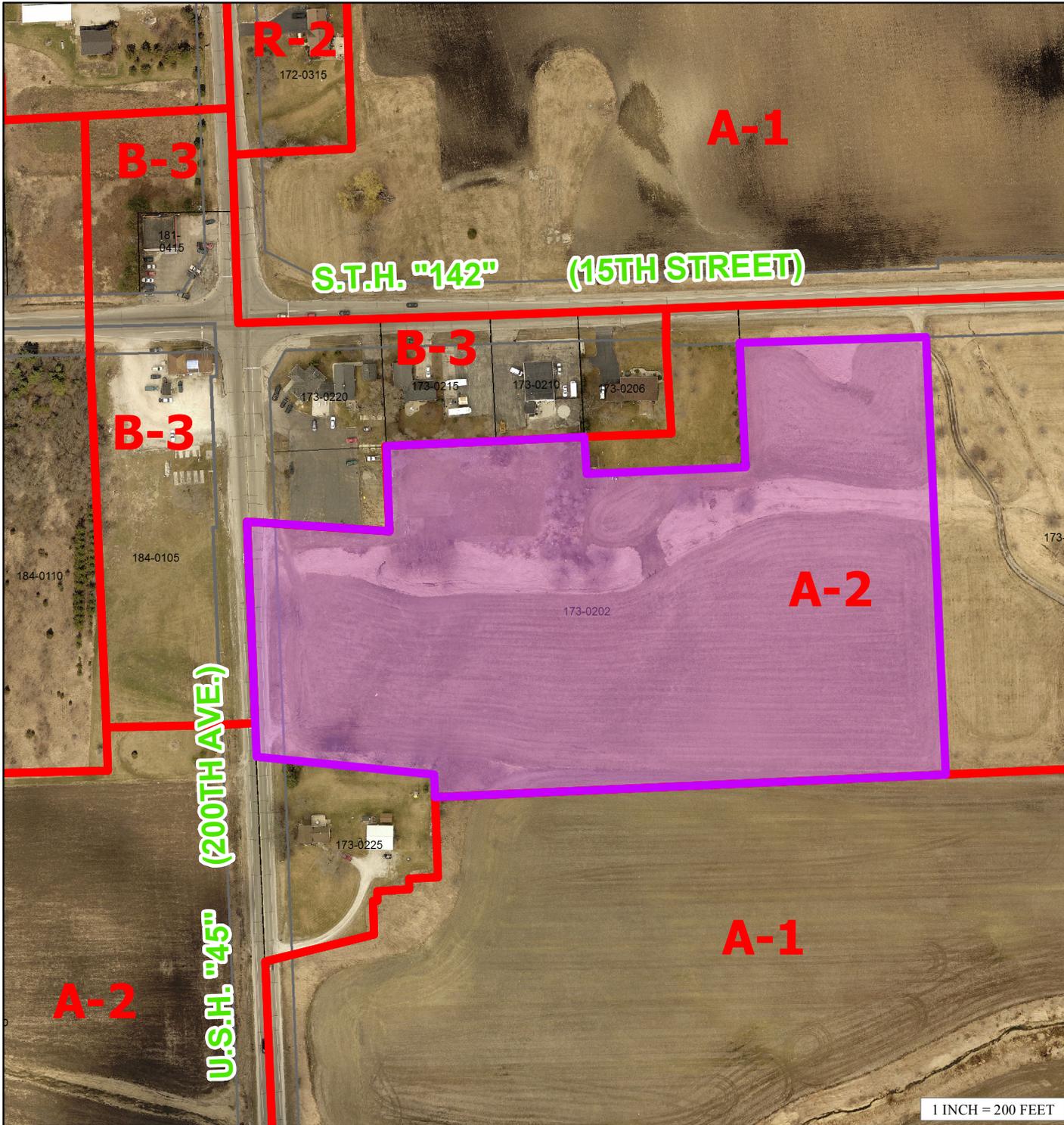












CONDITIONAL USE SITE MAP

PETITIONER(S):

Badtke Holdings LLC (Owner),
Jeff Badtke (Agent)

LOCATION: SW 1/4 of Section 17,
Town of Paris

TAX PARCEL(S): #45-4-221-173-0202

REQUEST:

Requesting a Conditional Use Permit to operate a resale lot of trucks, large and small farm equipment, and construction equipment in the B-3 Highway Business District, and to operate a landscaping and lawn care service in the B-5 Wholesale Trade and Warehousing District.

