



Planning, Development & Extension Education Committee  
Agenda  
Kenosha County Center  
Wednesday, May 8, 2019

NOTE: UNDER THE KENOSHA COUNTY BOARD RULES OF PROCEDURE ANY REPORT, RESOLUTION, ORDINANCE OR MOTION APPEARING ON THIS AGENDA MAY BE AMENDED, WITHDRAWN, REMOVED FROM THE TABLE, RECONSIDERED OR RESCINDED IN WHOLE OR IN PART AT THIS OR AT FUTURE MEETINGS. NOTICE OF SUCH MOTIONS TO RECONSIDER OR RESCIND AT FUTURE MEETINGS SHALL BE GIVEN IN ACCORDANCE WITH SECTION 2 C OF THE COUNTY BOARD RULES. FURTHERMORE, ANY MATTER DEEMED BY A MAJORITY OF THE BOARD TO BE GERMANE TO AN AGENDA ITEM MAY BE DISCUSSED AND ACTED UPON DURING THE COURSE OF THIS MEETING AND ANY NEW MATTER NOT GERMANE TO AN AGENDA ITEM MAY BE REFERRED TO THE PROPER COMMITTEE. ANY PERSON WHO DESIRES THE PRIVILEGE OF THE FLOOR PRIOR TO AN AGENDA ITEM BEING DISCUSSED SHOULD REQUEST A COUNTY BOARD SUPERVISOR TO CALL SUCH REQUEST TO THE ATTENTION OF THE BOARD CHAIRMAN

Notice is hereby given that a meeting will be held by the Kenosha County Planning, Development & Extension Education Committee on **Wednesday, May 8, 2019, at 6:00p.m. in Conference Room B followed by a public hearing at 7:00 p.m. in the Public Hearing Room** at the Kenosha County Center, 19600 75th Street, Bristol, Wisconsin on the following requests:

1. **CERTIFICATION OF COMPLIANCE WITH WISCONSIN OPEN MEETINGS LAW**
2. **FEATURE PROGRAM: "COOKING AT SHALOM CENTER"**
3. **UW-EXTENSION EDUCATOR/PROGRAM UPDATES**
4. **UW-EXTENSION DIRECTOR UPDATES**

**7:00 p.m. - LAND USE ITEMS HEARINGS - KCC PUBLIC HEARING ROOM**

5. **CLEM STEIN III (OWNER) - CONDITIONAL USE PERMIT - TOWN OF WHEATLAND**

Clem Stein III, 5700 312th Ave., Salem WI 53168 (Owner), requesting a Conditional Use Permit to allow an event barn and a bed and breakfast on Tax Parcel #95-4-219-364-0112 located in the E 1/2 of Section 36, T2N, R19E, Town of Wheatland

Documents:

[0112 - SUBMITTED APP.PDF](#)  
[EXHIBIT MAP.PDF](#)

6. **THOMAS H. & MARY PAIGE THELEN (OWNER), TIMOTHY K. GAFFRON (AGENT) - REZONE - TOWN OF RANDALL**

Thomas H. & Mary Paige Thelen, 34202 116th St, Twin Lakes, WI 53181-9582 (Owner), Timothy K. Gaffron, 10615 336th Ave, Twin Lakes, WI 53181 (Agent), requesting a rezoning from A-1 Agricultural Preservation Dist. & C-1 Lowland Resource Conservancy Dist. to A-1 Agricultural Preservation Dist., R-1 Rural Residential Dist. & C-1 Lowland Resource Conservancy Dist. on Tax Parcel # 60-4-119-273-0503, located in the SW ¼ of Section 27, T1N, R19E, Town of Randall

Documents:

[0503 - SUBMITTED APP.PDF](#)  
[EXHIBIT MAP.PDF](#)

**7. THOMAS H. & MARY PAIGE THELEN (OWNER), TIMOTHY K. GAFFRON (AGENT) -  
CERTIFIED SURVEY MAP - TOWN OF RANDALL**

Thomas H. & Mary Paige Thelen, 34202 116th St, Twin Lakes, WI 53181-9582 (Owner), Timothy K. Gaffron, 10615 336th Ave, Twin Lakes, WI 53181 (Agent), requesting a Certified Survey Map (dated April 9, 2019 by William J. Vanderstappen of Vanderstappen Land Surveying), to create one (1) 5.337-acre parcel from Tax Parcel # 60-4-119-273-0503, located in the SW ¼ of Section 27, T1N, R19E, Town of Randall

Documents:

[0503 - SUBMITTED APP CSM.PDF](#)

**8. APPROVAL OF MINUTES**

**9. CITIZEN COMMENTS**

**10. ANY OTHER BUSINESS ALLOWED BY LAW**

**11. ADJOURNMENT**

**NOTICE TO PETITIONERS**

**The petitioners:** Clem Stein III (Owner), Thomas H. & Mary Paige Thelen (Owner), Timothy K. Gaffron (Agent)

**NOTICE TO TOWNS**

The Towns of Randall and Wheatland are asked to be represented at the hearing on **Wednesday, May 8, 2019, at 7:00 p.m.**, at the Kenosha County Center Public Hearing Room, 19600 75th Street, Bristol, Wisconsin. You are request to either attend or send in your recommendation to the committee.



# COUNTY OF KENOSHA

Department of Planning and Development

# CONDITIONAL USE PERMIT PROCEDURES

8-28-18  
Adopted



KENOSHA COUNTY

DEPARTMENT OF PLANNING  
AND DEVELOPMENT



# COUNTY OF KENOSHA

## Department of Planning and Development

### CONDITIONAL USE PERMIT PROCEDURES

- ☐ 1. Contact the Department of Planning and Development and check with staff to determine if your proposed use is a permitted use, an accessory use or a conditional use. If it is a conditional use, then a conditional use permit must be applied for and received prior to occupying or using the site for that use. Note: If the proposed conditional use is part of a proposed land division see the Certified Survey Map Information and Procedures. If the proposed conditional use is part of a proposed rezoning petition see the Rezoning Application Form.

- ☐ 2. Contact the Department of Planning and Development and schedule a pre-conference meeting, which is required for all conditional use permit requests.

Meeting Date: \_\_\_\_\_

10-10-18

- ☐ 3. Complete and submit the Kenosha County Conditional Use Permit Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

- ☐ 4. Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

- ☐ 5. Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.

Town Planning Commission meeting date (tentative): \_\_\_\_\_

Town Board meeting date (tentative): \_\_\_\_\_

- ☐ 6. Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.

Kenosha County Planning, Development & Extension Education Committee meeting date: \_\_\_\_\_  
(tentative)

- ☐ 7. If denied by the Kenosha County Planning, Development & Extension Education Committee you have thirty (30) days to file an appeal with circuit court.

- ☐ 8. If approved you may proceed with obtaining site plan approval (site plan layout, stormwater, landscaping, lighting, parking/paving etc...).

- ☐ 9. Apply for and obtain any necessary zoning permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with the Kenosha County Department of Planning and Development.

- ☐ 10. Apply for any obtain any necessary building permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with your respective township.

- ☐ 11. Complete any obligations for foundation survey, waiver of liability of foundation survey, stormwater as-built requirement and/or certificate of occupancy.





December 2012

# COUNTY OF KENOSHA

## Department of Planning and Development

RECEIVED

APR 08 2019

### CONDITIONAL USE PERMIT APPLICATION

Kenosha County  
Planning and Development

(a) Property Owner's Name:

Clem Stein III

Print Name: Clem Stein III

Signature: \_\_\_\_\_

Mailing Address: 5700 312th Avenue

City: Salem

State: WI

Zip: 53168

Phone Number: 312-371-1155 E-mail (optional): Clem@SteinFarms.com

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Business Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone Number: \_\_\_\_\_ E-mail (optional): \_\_\_\_\_

(c) Architect's Name (if applicable):

Print Name: Jim Jendusa

Signature: \_\_\_\_\_

Business Name: Jendusa Design & Engineering

Mailing Address: 4615 Vettelson Rd. Suite 200

City: Hartland

State: WI

Zip: 53209

Phone Number: 262-370-7138 E-mail (optional): Jim@Jendusaeng.com

(d) Engineer's Name (if applicable):

Print Name: Al Coss

Signature: \_\_\_\_\_

Business Name: United Mechanical

Mailing Address: 1500 12th St.

City: Racine

State: WI

Zip: 53403

Phone Number: 414-940-2437 E-mail (optional): ACoss.WI.ER.com

## IMPORTANT TELEPHONE NUMBERS

Kenosha County Center

Department of Planning & Development  
19600 - 75<sup>th</sup> Street, Post Office Box 520  
Bristol, Wisconsin 53104-0520

Division of County Development (including Sanitation & Land Conservation) .....857-1895  
Facsimile #.....857-1920

Public Works Division of Highways.....857-1870

Administration Building

Division of Land Information .....653-2622

Brighton, Town of .....878-2218

Paris, Town of .....859-3006

Randall, Town of .....877-2165

Salem, Town of .....843-2313

Utility District .....862-2371

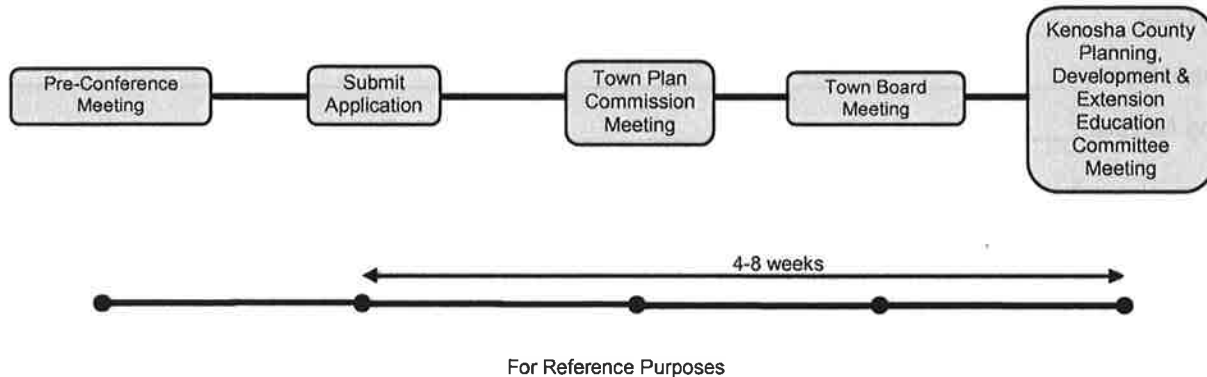
Somers Town of .....859-2822

Wheatland, Town of .....537-4340

Wisconsin Department of Natural Resources - Sturtevant Office .....884-2300

Wisconsin Department of Transportation - Waukesha Office .....548-8722

## Conditional Use Permit Timeline



CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

95-4-219-364-0107

Address of the subject site:

5700 312th Avenue

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

See Attached

Proposed operation or use of the structure or site:

See Attached

Number of employees (by shift): \_\_\_\_\_

Hours of Operation: \_\_\_\_\_

Any outdoor entertainment? If so, please explain: \_\_\_\_\_

Any outdoor storage? If so, please explain: \_\_\_\_\_

Zoning district of the property: \_\_\_\_\_

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

## CONDITIONAL USE PERMIT APPLICATION

For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

(h) The Kenosha County Department of Planning and Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.

Request for Conditional Use Permit ..... \$750.00

(For other fees see the Fee Schedule)

\$780<sup>00</sup>

# TOWN OF WHEATLAND

34315 Geneva Road · P.O. Box 797 · New Munster, Wisconsin 53152-0797  
Phone: (262) 537-4340 · Fax (262) 537-4261  
E-mail: [smsiegler@townwheatland.com](mailto:smsiegler@townwheatland.com)

- Chairman - William M. Glembocki
- Supervisor - Andrew J. Lole
- Supervisor - Kelly A. Wilson
- Clerk - Shelle M. Siegler
- Treasurer - Deborah K. Vos

February 12, 2019

Clem Stein  
5708 312th Ave.  
Salem, WI 53168

Dear Clem:

Re: Stein Farms Events Barn - Building Revisions & Approvals

I am following up on our phone conversation of February 11, 2019 with this correspondence. We discussed the status of your progress in regard to obtaining the state approvals needed to meet the requirements of using your property for an "events barn" and the corresponding building permit inspections and fire department inspections for public occupancy of your buildings.

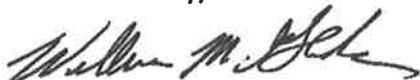
As you are aware, last year the Wheatland Volunteer Fire Department performed fire watch services for you for most of your 2018 events. That will not happen this year and we want to reiterate that point to you. You must meet all the approvals and inspections *prior* to opening for 2019.

We do caution that you get the state approvals needed *before* you do any construction/installing/remodeling. For your reference, we are attaching a copy of the July 12, 2017 "Conditional Approval" issued by the Wisconsin State Building Inspector, Division of Industry Services with items that need to be addressed as well as a copy of the April 26, 2018 letter from Wheatland Building Inspector Tim Popanda.

Fire Chief Lou Denko also reports he has informed you of issues around the exterior of your buildings in regard to access for fire and rescue response. These must also be addressed before you will be cleared for events.

We stand ready to assist you if there is something needed on our part but you must take care of this. It also cannot be piecemeal, it ALL needs to be addressed so you can open for business in 2019.

Yours truly,



William M. Glembocki  
Town Board Chairman

WMC:sms



July 13, 2017

CUST ID No. 826034

ATTN: Buildings & Structures Building Inspector

JAMES F JENDUSA  
JENDUSA DESIGN & ENGINEERING INC  
4615 VETTELSON RD ST  
HARTLAND WI 53029

BUILDING INSPECTION  
TOWN OF WHEATLAND  
PO BOX 797  
NEW MUNSTER WI 53152

## CONDITIONAL APPROVAL

(Please forward a copy of this letter to the fire department conducting inspections of this project.)

### PLAN APPROVAL EXPIRES:

#### SITE:

Stein Farms  
5708 312TH Ave  
Town of Wheatland  
Kenosha County

#### FOR:

Facility: 773789 STEIN FARMS  
5708 312TH AVE

Identification Numbers.
Transaction ID No. 2945921
Site ID No. 838273
Please refer to both identification numbers, above, in all correspondence with the agency.

Tenant Name or Addn/Alt Description: Banquet Hall Change of use/Alteration  
Object Type: Building ICC Regulated Object ID No.: 1707211 Code Applies Date: 05/18/17  
Alteration Level: 3; Major Occupancy: Assembly; Type VB Combustible Unprotected class of construction; Alteration plan; 8,500 project sq ft; Completely Sprinklered NFPA 13 Occupancy: A-2 Dining & Drinking, S-1 Storage Moderate-Hazard

DEPT OF S  
DPS

### SITE REQUIREMENTS

- Contact both the State Inspector and the local municipality PRIOR to the start of construction.
- A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A department electronic stamp and signature shall be on the plans which are used at the job site for construction.

The following conditions shall be met during construction or installation and prior to occupancy or use:

### KEY ITEM(S)

- IBC 903.2.1.2/SPS 362.0903(2) - Provide an automatic fire sprinkler system throughout a Group A-2 fire area where the fire area exceeds 5,000 sq. ft., or the fire area has an occupant load of 100 or more, or the fire area is located on a floor other than a level of exit discharge serving such occupancies. The banquet hall and lodge are connected by the canopy, so the whole building shall be protected by a fire sprinkler system.
- SPS 361.02 The building was not previously approved as a commercial building so any plan sheet references to IEBC do not apply, T1.0. SPS 361.04 (5) IBC 2009 applies.

### SUBMIT

SPS 361.30(3) - Submit, prior to installation, four (4) sets of fire sprinkler plans, calculations substantiating the design, and a completed SBD-118 application form including this transaction number as a previous transaction and appropriate fees to the



Industry Services office that reviewed the building plans if reviewed in the Green Bay, Madison or Waukesha offices. If the building plans were reviewed in the Hayward or Holmen Industry Services offices, the designer may choose the Green Bay, Madison or Waukesha offices. A review appointment and simplified application completion may be made in advance by using the online plan review request retrieval feature and the next available appointment feature from our web page at: <http://165.189.64.111/Default.aspx?Page=f617ff79-0c6c-42c7-9c1f-0da69cfa7e16>

- SPS 361.30(3) - Submit, prior to installation, four (4) sets of fire alarm plans, calculations substantiating the design, and a completed SB-118 application form including this transaction number as a previous transaction and appropriate fees to the Industry Services office that reviewed the building plans if reviewed in the Green Bay, Madison or Waukesha offices. If the building plans were reviewed in the Holman or Hayward Industry Service offices, the designer may choose the Green Bay, Madison or Waukesha offices. A review appointment and simplified application completion may be made in advance by using the online plan review request retrieval feature and the next available appointment feature from our web page at: <http://165.189.64.111/Default.aspx?Page=f617ff79-0c6c-42c7-9c1f-0da69cfa7e16> Note that per SPS 361.30(4), the submission and approval of fire alarm system plans is not required for a project involving 20 or fewer alarm devices located in an existing fire alarm system.
- SPS 361.30(3) - This approval does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans, calculations, and appropriate fees are required to be submitted for review and approval prior to installation. Building Designer should coordinate with HVAC design to avoid problems with clearance to combustibles, dampers etc. The submitted HVAC plans and calculations shall match the approved building plans. Building Designer is requested to provide a complete set of plans, Energy Calculations and the Building plan review Transaction I.D. number to the HVAC Designer to help coordinate review. Note as per SPS 302.10 installation of HVAC without approved plans could result in double plan review fees.

## ALSO ADDRESS

- IBC 1011.1 - Exits and exit access doors shall be marked by an approved exit sign readily visible from any direction of egress travel. The path of egress travel to exits and within exits shall be marked by readily visible exit signs to clearly indicate the direction of egress travel in cases where the exit or the path of egress travel is not immediately visible to the occupants. Intervening means of egress doors within exits shall be marked by exit signs. Exit sign placement shall be such that no point in an exit access corridor is more than 100 feet from the nearest visible exit sign. Address the need for 90 minute continued illumination in case of power loss. *The North/south new doors from the lodge are the required exits.*
- IBC 715.4.8 - Fire doors shall be self-closing or automatic-closing in accordance with this section. Fire pump room.
- IBC 1006.1 - Provide emergency illumination power in egress paths per this section. Each interior exit area designated in the code shall be addressed. In addition, each of the exterior exit discharge areas adjacent to exit discharge doorways shall be addressed if two or more exits are required. IBC 1006.2 - Provide Means of Egress illumination level which shall not be less than 1 foot-candle at the walking surface.
- IBC 1008.1.10 - Doors serving rooms or spaces with an occupant load of 50 or more shall be provided with panic hardware, this includes the existing doors.
- IBC 1011 Identify the exit doors with exit signs
- IBC 906.1/IBC 906.2 - Provide fire extinguishers per IFC 906. Fire extinguishers shall be selected, installed and maintained in accordance with IFC 906 and NFPA 10.
- IBC 1009.4.2 The existing stairs shall comply with this code section.
- IBC 1009.12 - Stairways shall have handrails on each side. Handrails shall be adequate in strength and attachment in accordance with Sections 1012 & 1607.7. Where glass is used, handrails shall comply with Section 2407. The existing stairs shall comply. Protect the single step condition with handrails on each side.
- IBC 1004.3 - Every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space. Posted signs shall be of an approved legible permanent design and shall be maintained by the owner or authorized agent. The changing room shall not have more than 49 occupants. The combined occupant load of the banquet hall and lodge shall not exceed 300 occupants.
- IBC 1103 Provide access to the platforms.

- The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed above under **REQUIRED SUBMITTAL(S)**, may also be required.
- All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams.
- This plan has not been reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.
- In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.
- Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. The compliance statements are available on our website. <http://verification.dps.wi.gov/IndustryServices/CommercialBuildings-Compliance/DSPSMainForm.aspx>

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,

Fee Required \$ 600.00



Teresa L. Black  
State Building Inspector, Division of Industry Services  
(715) 634-8114, Fax: (715) 634-5150, Friday, 7:45 a.m. - 4:30 p.m.  
[teresa.black@wisconsin.gov](mailto:teresa.black@wisconsin.gov)

This Amount Will Be Invoiced. When You  
Receive That Invoice, Please Include a Copy  
With Your Payment Submittal.

cc: Betty J Wiese, State Building Inspector, (414) 852-3694, Monday 7:45 A.M. - 4:30 P.M.  
Town of Salem - Municipal Clerk  
Clem Stein, Stein Farms - Oak Island Events LLC



# TOWN OF WHEATLAND

34315 Geneva Road · P.O. Box 797 · New Munster, Wisconsin 53152-0797  
Phone: (262) 537-4340 · Fax (262) 537-4261  
E-mail: [smsiegler@townwheatland.com](mailto:smsiegler@townwheatland.com)

• Chairman- William M. Glenbocki  
• Supervisor - Andrew J. Lole  
• Supervisor - Kelly A. Wilson  
• Clerk - Sheila M. Siegler  
• Treasurer - Deborah K. Vos

April 26, 2018

Clem Stein  
Stein Farms  
5708-312<sup>TH</sup> Ave.  
Salem, WI. 53168

Re: Tax Parcel- 95-4-219-364-0107  
Premises- 5700-312<sup>th</sup> Ave.  
Project- Addn/Alteration of Banquet hall

Dear Mr. Stein,

Following up on our conversation of Wednesday April 18, 2018, at which time you and I discussed the need for you and your design professional to comply with the conditions contained within the State of Wisconsin review letter dated July 13, 2017.

In accordance with the terms of your projects conditional approval from the State of Wisconsin, an approved fire sprinkler and fire alarm system must be designed, approved and installed prior to use or occupancy of your banquet hall.

I must remind you that any use or occupancy of the buildings on the above listed premises without an approved fire sprinkler and fire alarm system is in direct violation of the State adopted building code section IBC 903.2.1.2 and SPS 361.30(3) Violation of these codes will result in the issuance of citations for each violation.

If you have any questions please feel free to contact me at the number listed below.

Sincerely,



Tim Popanda

Town of Wheatland Building Inspector

C.C. Town Board

Town Fire Chief

Teresa L. Black, Division of Industry Services

James Jendusa, Jendusa Design & Engineering

Attachments: State of Wisconsin Conditional Approval letter dated 7/13/017

## **12.20-2 A-2 GENERAL AGRICULTURAL DISTRICT**

(a) Primary purpose and characteristics.

The A-2 General Agricultural District is intended to provide for, maintain, preserve, and enhance agricultural lands historically utilized for crop production but which are not included within the A-1 Agricultural Preservation District and which are generally best suited for smaller farm units, including truck farming, horse farming, hobby farming, orchards, and other similar agricultural related farming activity. This District is also intended to provide areas for activities normally associated with rural surroundings, such as rural estate and other existing residential development, such as existing residential development abutting town and county roads along which further development may occur as essential services become available.

It is recognized that it is neither possible nor practicable to list all of the principal and accessory uses that are compatible with those listed below and therefore it is intended that the following list of principal and accessory uses only be illustrative. Any individual aggrieved by a failure to list a particular principal or accessory use in this subsection shall have the right to file a petition with the Kenosha County Department of Planning and Development pursuant to section 12.35 of this ordinance for a determination as to the similarity of the intended use with the principal and accessory uses listed below.

(b) Principal Uses.

In addition to those principal uses permitted in the A-1 Agricultural Preservation District, the following are deemed to be principal uses in the A-2 General Agricultural District:

- 1 (Reserved for future use) (8/6/02)
- 2 Community living arrangements having a capacity of 8 or fewer persons and which shall be in conformance with all state statutory requirements
- 3 Equestrian trails
- 4 Foster family homes having less than four foster children and not exceeding 8 total occupants and are in conformance with all state statutory requirements
- 5 (Reserved for future use) (8/6/02)

(c) Accessory Uses

- 1 Those accessory uses permitted in the A-1 Agricultural Preservation District
- 2 Small wind energy system
- 3 Solar energy system

(d) **Conditional Uses** (see also section 12.29-8) (8/6/02)

- 1 Air strips, landing fields and hangars for personal or agricultural related uses
- 2 Assemblies over 5000 or more individuals
- 3 Community living arrangements having 9 but not more than 15 persons and in conformance with all state statutory requirements
- 4 Concrete and asphalt batch plant temporarily located on a parcel
- 5 **Event Barns**
- 6 Housing for farm laborers or caretakers
- 7 Kennels (commercial or noncommercial)
- 8 Large wind energy system
- 9 Storage of recreational vehicles, boats and snowmobiles
- 10 Utility substations
- 11 **Bed and breakfast establishments** (8/9/94)

- 12 Borrow pits (temporary); stockpiling or filling of clean fill materials
- 13 Riding stables and indoor riding arenas (public)
- (e) Parcel Area and Width
  - 1 Parcels shall have a minimum area of ten (10) acres, and
  - 2 All such parcels shall have a frontage of not less than 300 feet in width.
- (f) Building Height and Area
  - 1 No farm building or farm related building shall exceed 100 feet in height
  - 2 No residential dwelling shall exceed 35 feet in height
  - 3 The total minimum floor area of a residential dwelling shall be 1000 square feet with a minimum first floor area of 1000 square feet
  - 4 All residential dwellings shall be attached to a permanent foundation, be properly connected to all required utilities, have a building footprint of which the dwelling unit is not less than 24-feet in width for at least fifty (50) percent of the length, have a roof pitch of not less than 5/12, and an eave extension of at least twelve (12) inches, except residences with an architectural style defined as Colonial or Greek Revival. (9/5/06)
- (g) Yards
  - 1 Street yard - not less than 65 feet from the right-of-way of all Federal, State, and County Trunk highways and not less than 40 feet from the right-of-way of all other roads (8/6/02)
  - 2 Shore yard - not less than 75 feet from the ordinary high water mark of any navigable water (11/5/86)
  - 3 Side yard - not less than 25 feet in width on each side of all structures
  - 4 Rear yard - not less than 50 feet
- (h) Authorized Sanitary Sewer System
  - 1 On-site sewage disposal absorption system
  - 2 Public sanitary sewer

- e All federal and state pollution guidelines and the performance standards set forth in this ordinance shall be complied with.
- f In the event that said generating plants make use of nuclear fuels, the generating plant shall be located not closer than ten miles to the boundaries of any city or village; furthermore, no conditional use permit for the construction of a nuclear generating plant shall be issued without the presentation of an evacuation plan for county residents.

**42 Event Barns in the A-1 and A-2 Districts. For the conversion of existing farm buildings on a farm for organized meetings and/or reception space as a gathering place for weddings, parties, and corporate events.**

- a Town Board approval shall be required prior to the issuance of a conditional use permit for an Event Barn. The Town Board shall have the authority to develop additional minimum standards.
- b Farm buildings shall be constructed prior to 1965 unless waived by the Town for good cause.
- c The minimum parcel size shall be ten (10) acres.
- d A two hundred (200) foot open buffer shall be provided on all sides of the property not abutting a public roadway. Outdoor special event/commercial business activities are not permitted within this buffer area. Where possible, agricultural crops shall remain or be grown in the buffer area, or suitable landscaping, to maintain the rural and agricultural character of the site.
- e Buffer plantings shall be provided along a property line where there is an abutting residence and which are intended to screen views, lights and noise from the operation. A buffer planting plan shall be submitted with the application and approved by the Planning & Development and Education Extension Committee.
- f Parcels shall have frontage along a paved public road for direct access.
- g Access by private easement must be formalized and be recorded or available for recording. Modification of existing easements resulting from the proposed use must be approved in writing by all easement parties.
- h All ingress/egress and parking areas shall be located in such a manner to minimize traffic hazards associated with entering and exiting the public roadway.
- i The increase in traffic generated by the proposed use shall not create a nuisance to nearby residents by way of traffic or noise.
- j Parking may be either gravel or paved. Handicapped parking spaces shall be paved and meet all State standards. Sufficient parking spaces to accommodate the proposed use

shall be provided. Overflow parking on grass or hay areas is permissible. Parking on public ways is not permitted.

- k Parking areas of any type shall not be located in the required buffer area and must meet the parking requirements of Section 12.13-3 (j) and (k).
- l Signage shall comply with Section III H.
- m Any newly proposed or changed outdoor lighting shall consist of full cut-off luminaries and shall not exceed an illumination level of 0.5 foot-candles as measured at the property line. Lighting fixtures shall be shielded or directed in such a manner so as to prevent light from shining directly onto abutting rights-of-way and adjacent properties (cut-off type luminaries only). No protruding lenses are allowed and lenses must be constructed so as to be parallel to the constructed yard grade. All security lighting shall be shielded and aimed so that illumination is directed only to the designated areas. General flood lighting fixtures shall be discouraged.
- n No on or off-premise signs, banners, or billboards shall be constructed, erected, or displayed without first obtaining proper permits from the State, County or local unit of government in which they are being located.
- o Structures shall be inspected by the Town Fire and Building Inspector prior to the Town meetings and shall meet all Town Fire and Building Code standards prior to occupancy.
- p Parcels not served by public sanitary sewer shall be served by Private Onsite Wastewater Treatment Systems (POWTS) which meet all requirements of Chapter 15 of the Kenosha County Sanitary Code and Private Sewage System Ordinance, and SPS 382 - 385 of the Wisconsin Administrative Code and their corresponding design manuals regarding POWTS.
- q It is the responsibility of the applicant to comply with all State and local regulations regarding public health. This includes proper and adequate toilet and hand washing facilities, showering facilities, proper food preparation and serving conditions, adequate tested potable water, proper disposal of refuse and food by-products on a timely basis. The Kenosha County Division of Health requires permits and inspections to assure the event is conducted within laws of proper sanitation and health. The applicant shall obtain all necessary health-related permits and assure that all necessary tests and inspections are conducted.
- r Food vendors shall be licensed by the Health Department.
- s Amplified music and dancing are permitted only within the barn structure. County noise ordinance shall be complied with. Outside amplified music is not permitted.
- t The sale and consumption of alcohol beverages on the premises are subject to Town licensing requirements and County cabaret licensing.

- a Those requirements set forth for the granting of a conditional use permit for arenas and stadiums in the B-3 District shall be met for arenas, stadiums coliseums, auditoriums and gymnasiums located in the PR-1 District.
- 11 Assemblies over 5,000 in the A-2 and PR-1 Districts.
  - a Standards set forth in the Kenosha County Activity Control Ordinance, shall be met.
- 12 Auto-truck body and engine repair and painting in the M-1 and M-2 Districts.
  - a All outside storage of vehicles shall be properly screened, fenced and secured. Fences shall be of uniform design and height and be properly maintained for aesthetic purposes.
  - b The premises shall not be used for storage of wrecked and/or dismantled vehicles.
- 13 Automotive Body Repair in the B-3 District.
  - a Those requirements set forth for the granting of a conditional use permit for auto-truck body and engine repair and painting in the M-1 and M-2 Districts shall be met.
- 14 Automotive Sales, Service and Repairs in the B-2, B-3, and B-5 Districts. (8/9/94)
  - a All servicing and repair work shall be within an enclosed structure. Repair materials, new, used or junk parts shall not be stored outside unless the storage area has a solid fence enclosure. Junk materials shall be removed at least once a month to avoid unsightliness of the site. Fences shall be of uniform design and height and be properly maintained for aesthetic purposes.
  - b No cars shall be parked within the vision triangle and all parking lots shall meet all yard requirements.
  - c Lights shall not be beamed directly onto adjoining property.
- 15 Beaches and Public Swimming Pools in the PR-1 District.
  - a Standards such as those required in section 12.17 of this ordinance may be required.
  - b Provision for lifeguards shall be required.
- 16 Bed and breakfast establishments in the A-1, A-2, A-4, R-1, R-2, R-3, R-4, and C-2 Districts. (8/9/94)
  - a A site plan and plan or operation shall be submitted to the Planning, Development & Extension Education Committee. The site plan shall include a parking plan.

- b All requirements set forth in Section 50.51(b) of the Wisconsin Statutes and Chapter HSS 197 of the Wisconsin Administrative Code shall be fully complied with. Necessary state permits and licenses shall have been secured.
  - c All requirements of the Kenosha County Sanitary Code shall be fully complied with. Existing onsite soil absorption sewage disposal systems shall be evaluated prior to the issuance of a conditional use permit.
  - d The owner of the bed and breakfast establishment shall reside in the establishment. No bedrooms shall be permitted to be located in an accessory structure.
  - e No more than four bedrooms shall be rented.
  - f Dwellings being considered for conversion to bed and breakfast establishments shall exhibit unique architectural or historic characteristics.
  - g Individual rentals shall not exceed five (5) consecutive days in length.
  - h No retail sales shall occur in a bed and breakfast establishment.
  - i One exterior advertising sign, not exceeding four (4) square feet in area, may be erected on the premises.
- 17 Borrow pits (temporary); stockpiling or filling of clean fill materials in the A-1, A-2 and A-4 Districts. (8/6/02)
- a A detailed site plan, drawn to scale, showing the boundaries of the site, the proposed area to be filled or excavated, the location and dimensions of proposed stockpiles, circulation routes and parking, and any other specific operations areas.
  - b A detailed stormwater management and erosion control plan prepared according to best management practices by a Wisconsin registered civil engineer.
  - c A restoration plan showing topography at two-foot intervals, drainage patterns, and proposed end use(s).
  - d An irrevocable letter of credit, cash, bond or other security in an amount adequate to secure the obligation of the operator to restore the site to a safe, useful and aesthetically pleasing condition shall be required.
  - e Stockpiling or filling in wetlands and floodplain areas is prohibited.
  - f Fill material shall consist of clean fill only, not to include concrete, asphalt or construction debris.
- 18 Bridges and Approaches in the FPO Floodplain Overlay District. (3/1/94)



## Conditional Use Permit

### Architectural Drawings & Current Status

Page 1-1A	<u>Business Narrative</u>
Page 2.	<u>Project Detail - Title Sheet</u>
Page 3.	<u>Site Plan - (Parking Lot &amp; Lighting Detail)</u>
Page 4.	<u>Barn Demo Plan</u>
Page 5.	<u>Lodge Demo Plan</u>
Page 6.	<u>Barn Floor Plan</u>
Page 7.	<u>Lodge Floor Plan</u>
Page 8.	<u>East Elevation</u>
Page 9.	<u>North Elevation</u>
Page 10-11	<u>Sections &amp; Details</u>
Page 12.	<u>Foundation &amp; Structural Plan</u>
Page 13-17	<u>Structural Details</u>
Page 18.	<u>Lodge Bathrooms (ADA Compliant)</u>
Page 19.	<u>Floor Plan of Barn &amp; Lodge</u>
Page 19A.	<u>Fire Sprinkler Layout</u>
Page 19B.	<u>Soil Evaluation Report Map</u>
Page 20.	<u>HVAC Floor Plan</u>
Page 21-23.	<u>Fire Alarm System (Record of Completion)</u>
Page 24.	<u>Health Department Approval for Lodging</u>



Stein Farms is a family farm located in Wheatland, WI. on highway NN & Highway K. Stein Farms has been operating since 1973 as a tree nursery, and owned and operated by Clem Stein. The 2 buildings located on the farm are known as the “barn” and the “lodge” The barn is a 2500 sqft. steel wall and ceiling with a concrete floor. In the past the lodge was a tavern called the “Pit Tavern” and was built back in the early 60’s and was in operation for 4 years from 1964 - 1969. This building is 2280 sqft and has 2 bathrooms (womens and mens) with 2 stalls & sink in both. The lodge has kitchen, walk-in cooler, stage, bar & fireplace. We have been using this space since 1980 for many events including weddings, fundraising, graduation parties, family reunions, etc... The lodge/barn has an existing asphalt parking lot with enhanced area lighting.

**Current Status:** We have completed 98% of project requirements, and nearing full completion of required work. A basic fire alarm system is required, however we installed a comprehensive smoke alarm system which adds another layer of safety. Fire lanes are in place allowing fire trucks clear access around the barn and lodge. Fire watch was currently handled by Wheatland fire department, and was hired for every event last Summer until sprinkler is operational. A knox box has been ordered and will be installed immediately.

**Zoning:** Stein Farms is zoned A-2 with 1 acre G-2 Class Commercial

**Operating hours:** General business hours - 9:00 a.m. - 8:00 p.m. Event hours and different for each event, but are generally between 9:00 a.m. & 11:30 p.m.

**Sanitation:** The lodge bathroom toilets and drainage lead to a new elaborate septic system. See attached System Information and inspection report - Page 19B. Each bathroom is equipped with hand sanitizers, automatic paper towel dispenser & proper venting. Beer lines are cleaned between events and a schedule is available upon request. The 2 buildings thoroughly cleaned between events.

**Employees:** Depending on the size of the event, we normally have 3-5 part-time employees, who clean during the events and remove waste.

**Parking Lot & Outdoor lighting:** The parking lot is located on the north side of the lodge. We are currently installing 9 area lights with 20 foot steel square poles that will be installed with 24” concrete cylinder buried 4 feet deep and 3 feet above ground. After footings are poured the light pole will stand 23 feet. The lighting will be strategically position not to conflict with traffic moving on 312th Ave. We are installing lighting that will use passive infrared sensor (PIR)These lights will illuminate at a steady 30%, and increase to 100% when motion is detected. We have also installed Bollards in areas near

entrance of Lodge and location of Propane tanks. See site plan for exact location & area light location. See site plan image  
- Page 3.

**Traffic:** Traffic will arriving from highway K and highway NN

**Buildings:** Lodge is 2280 sqft. cinder block structure and the barn is 2500 sqft reinforced steel framing with x-bracing, ceiling & wall insulated with Closed-cell spray foam with 5/8" FR rated drywall. All electric in the barn is new and was completed with extreme details.

**Signage:** Stein Farms sign is located on the Corner of highway K & highway NN, located on the north-west corner, and has been in place since 1980.

**Trash Removal:** A dumpster is located remote area from the event and is emptied when necessary. The dumpster is in a remote area.

**Noise:** The event space is located in the country and building do not face any homes so noise does not affect neighboring homes. With the added insulation the barn is very quiet on the on-side.

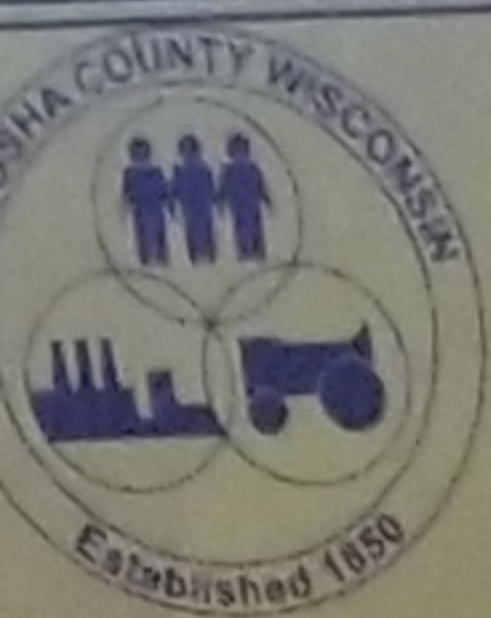
**Public Safety:** First aid kits and fire extinguishers are available on premise. Fire extinguishers checks are performed by Fox River Fire & Safety. Comprehensive smoke detections system is in place, adequate exits more than required, are in place. The prep kitchen has a 4 compartment sink in place along with Health sink. Grease trap is in place.

**Public Services:** Public services will not be needed except for emergencies.

**Insurance:** Adequate insurance is in place and is through State Farm and Illinois Casualty Company. Wedsafe.com is recommended to our clients for insurance and each Wedding is customized based on attendance and wedding dates.

**Lodging Facility:** The Cheret House offers a unique and relaxing Weekend Getaway. The Cheret House, sleeps 12-14, and is located only steps away from the wedding and ceremony sites. The luxurious home makes guests feel like they're on vacation. Within the house is decor from all around the world, highlighted by posters created by french lithographer, Jules Cheret. In addition there is a premium sound system that is bluetooth enabled, that allows you, or your guest to play music of your choice. You are welcome to enjoy the relaxing outdoor patio, where there is a area for socializing, grilling area, basketball hoop, outdoor sound system, and plenty of space for outdoor yard games. The house is tastefully decorated and fully furnished with linens, dishes, utilities, internet and more. See health department permit for lodging on Page 24.





## KENOSHA COUNTY DIVISION OF HEALTH

### License, Permit or Registration

The person, firm, or corporation whose name appears on this certificate has complied with the provisions of the Wisconsin statutes and is hereby authorized to engage in the activity as indicated below.

ACTIVITY	EXPIRATION DATE	I.D. NUMBER
<b>Tourist Rooming House (LTR), Rooms: 4</b>	30-Jun-2019	BWOK-AML PST
LICENSEE MAILING ADDRESS	NOT TRANSFERABLE	BUSINESS / ESTABLISHMENT ADDRESS
CLEM STEIN 5708 312TH AVE SALEM WI 53168		STEIN FARMS 5708 312TH AVE SALEM WI 53168

All Permits expire on June 30th; it is the responsibility of the licensee to make sure all applicable fees are received by the department before July 1st or a late payment fee will be assessed.

If you do not receive a renewal form prior to June 30th from your licensing authority, you should send in your payment for renewing your permit to the following address:

KENOSHA COUNTY DIVISION OF HEALTH  
8600 SHERIDAN RD SUITE 600  
KENOSHA, WI 53143-6515  
(262)605-6700

\* Include the name of your facility and the ID number.



# STEIN FARMS

# BANQUET REMODEL

5708 312th Ave.  
Salem, WI 53168

ARCHITECT & STRUCTURAL ENGINEER

JENDUSA DESIGN & ENGINEERING, INC  
4615 VETTELSON RD, SUITE 200  
HARTLAND, WI 53029  
PH: 262 264-6340  
FAX: 866 326-1552

DRAWING INDEX

T1.0	TITLE SHEET
C1.0	SITE PLAN
D1.0	DEMO PLAN
D1.1	DEMO PLAN LODGE
A1.0	FLOOR PLAN
A1.1	FLOOR PLAN LODGE
A2.0	EAST ELEVATION
A2.1	NORTH ELEVATION LODGE
A4.0	SECTION & DETAILS
A4.1	SECTION & DETAILS
S1.0	FOUNDATION PLAN & STRUCTURAL
S2.0	STRUCTURAL DETAILS

Project Information

- OCCUPANCY TYPE: A-2 ASSEMBLY, S-1 STORAGE - NON - SEPARATED

- CONSTRUCTION TYPE: VB

- BUILDING IS FULLY SPRINKLED
- NUMBER OF STORIES: 1 STORY

A-2 AREA6,373 SQ. FT.

S-1 AREA2,134 SQ. FT.

TOTAL AREA8,507 SQ. FT.
- 1 HR FIRE SEPARATION FOR SPRINKLER PUMP ROOM
- BANQUET OCCUPANT LOAD: ASSEMBLY STANDING SPACE (1/15): 166 PERSONS

MECH/STORAGE (1/300): 3 PERSONS

WAREHOUSE (1/15): 1 PERSONS

PLATFORM (1/15): 20 PERSONS

TOTAL190 PERSONS
- LODGE OCCUPANT LOAD: ASSEMBLY STANDING SPACE (1/15): 94 PERSONS

COMMERCIAL KITCHEN (1/200): 1.53 PERSONS

MECH (1/300): 0.3 PERSONS

LOCKER ROOM (1/50): 6.46 PERSONS

PLATFORM (1/15): 7 PERSONS

TOTAL110 PERSONS

COMBINED TOTAL300 PERSONS
- BANQUET MINIMUM NUMBER OF EXITS REQUIRED: 2

- ACTUAL NUMBER OF EXITS PROVIDED: 10
- NOTE: RESTROOMS ARE BEING PROVIDED IN THE EXISTING LODGE TO ACCOMMODATE THE TOTAL OCCUPANT LOAD OF 300 IN THE LODGE AND BANQUET

- MINIMUM NUMBER OF TOILETS REQUIRED: 2 WOMENS, 1 MENS & 1 URINAL

- ACTUAL NUMBER OF TOILETS PROVIDED: 3 WOMENS, 1 MENS & 2 URINALS
- SITE AREA = 753,540 SQ. FT.

IMPERVIOUS AREA = 72,765 SQ. FT.

GREEN SPACE = 680775 SQ. FT.
- PARKING SPACES REQUIRED: 135 PROVIDED: 135
- CODE REVIEW PER IBC 2009 LEVEL 3 ALTERATION
- ALL AREAS OF BUILDING ARE ACCESSIBLE

ACCESSIBLE RESTROOM FACILITIES PROVIDED



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ARCHITECTS & ENGINEERS

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REVISIONS

STEIN FARMS  
BANQUET  
REMODEL

5708 312th Ave  
Salem, WI 53168

SHEET TITLE

TITLE SHEET

PROJECT NO.

17-4974

DATE

6/27/17

SCALE

As Noted

CHECKED BY

JFJ

DRAWN BY

BJB

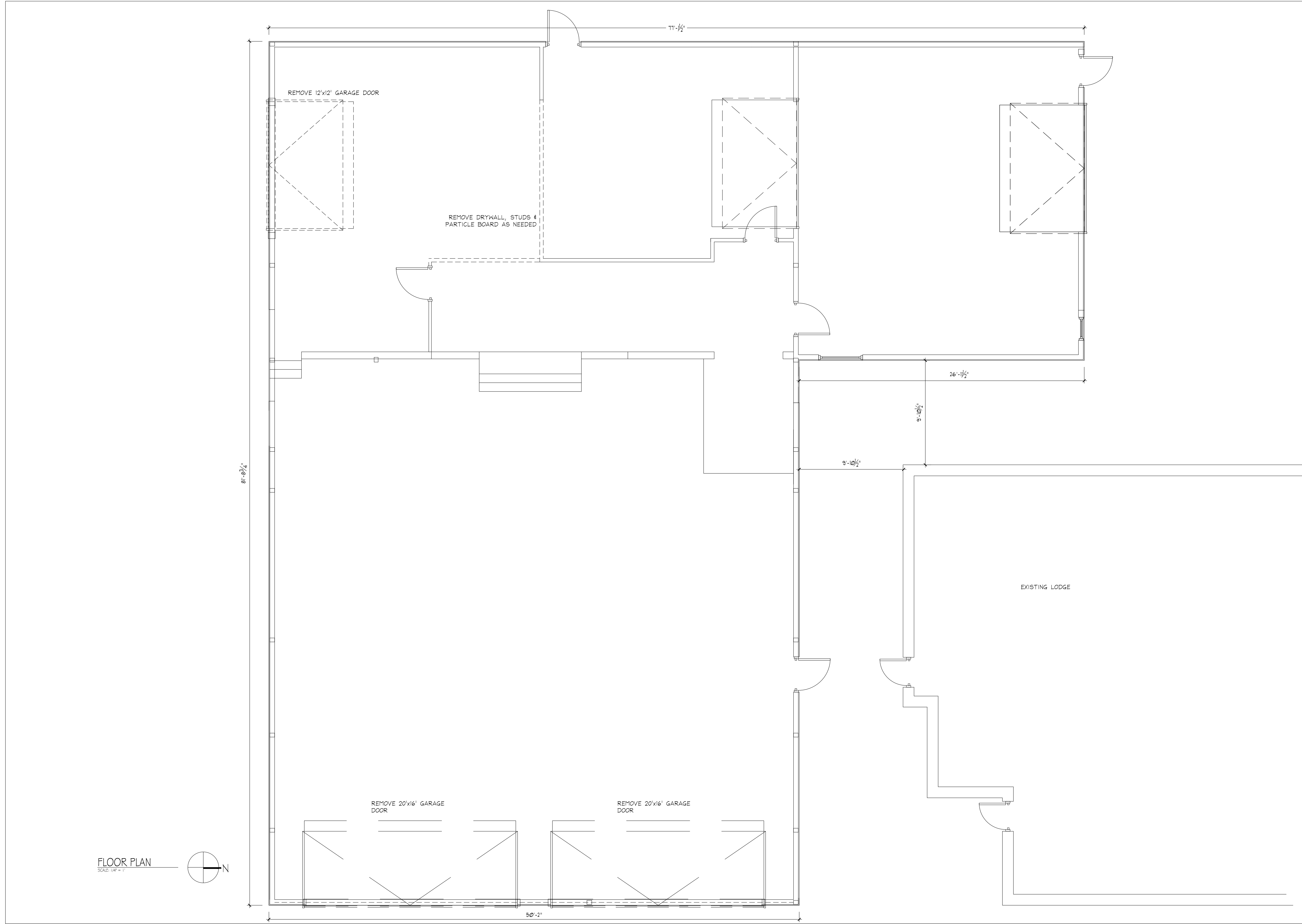
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REVISIONS	
STEIN FARMS	
5708 312th Ave Salem, WI 53168	
SHEET TITLE SITE PLAN	
PROJECT NO.	17-4974
DATE	6/27/17
SCALE	As Noted
CHECKED BY	JFJ
DRAWN BY	BJB
SHEET	C1.0



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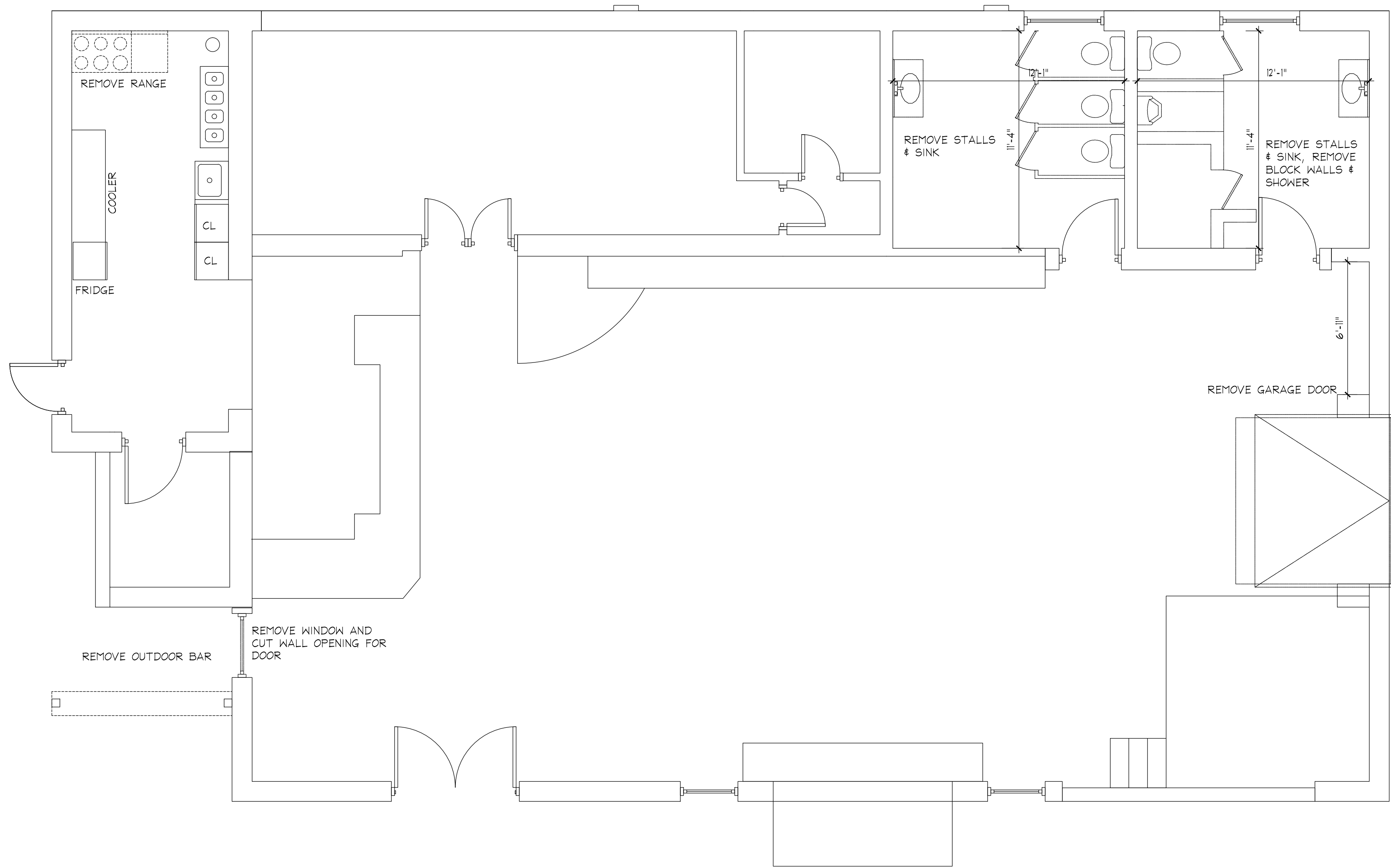
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**STEIN FARMS  
BANQUET REMODEL**

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Salem, WI 53168**

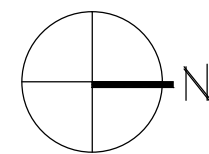
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PROJECT NO.	<b>17-4974</b>
DATE	<b>6/27/17</b>
SCALE	<b>As Noted</b>
CHECKED BY	<b>JFJ</b>
DRAWN BY	<b>BJB</b>
SHEET	<b>D1.0</b>



DEMO PLAN

SCALE: 1/4" = 1'



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## STEIN FARMS LODGE REMODEL

5708 312th Ave  
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SHEET TITLE

## DEMO PLAN LODGE

PROJECT NO.

17-4974

DATE

6/27/17

SCALE

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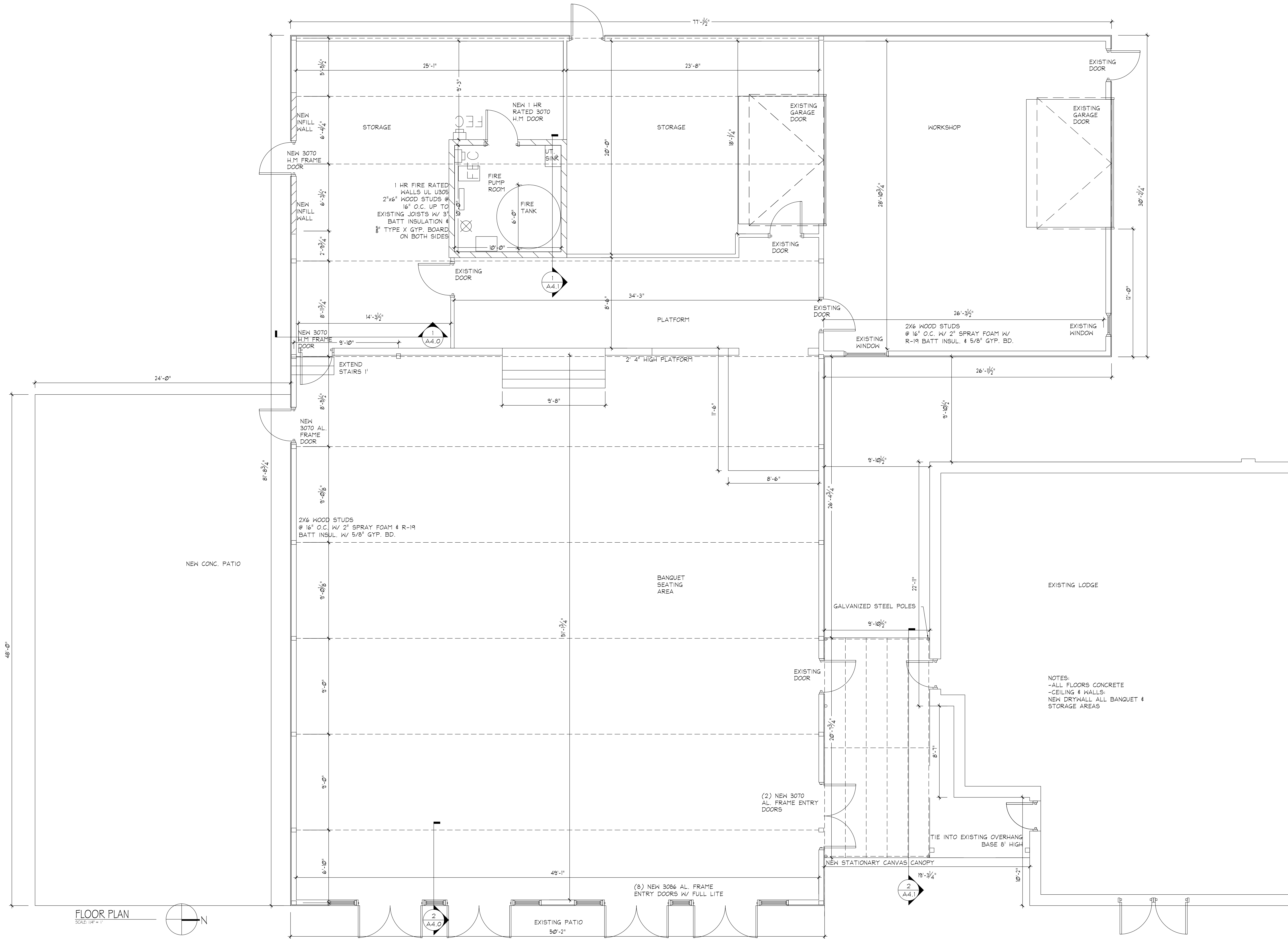
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BANQUET REMODEL

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SHEET TITLE  
FLOOR PLAN

PROJECT NO.  
17-4974

DATE  
6/27/17

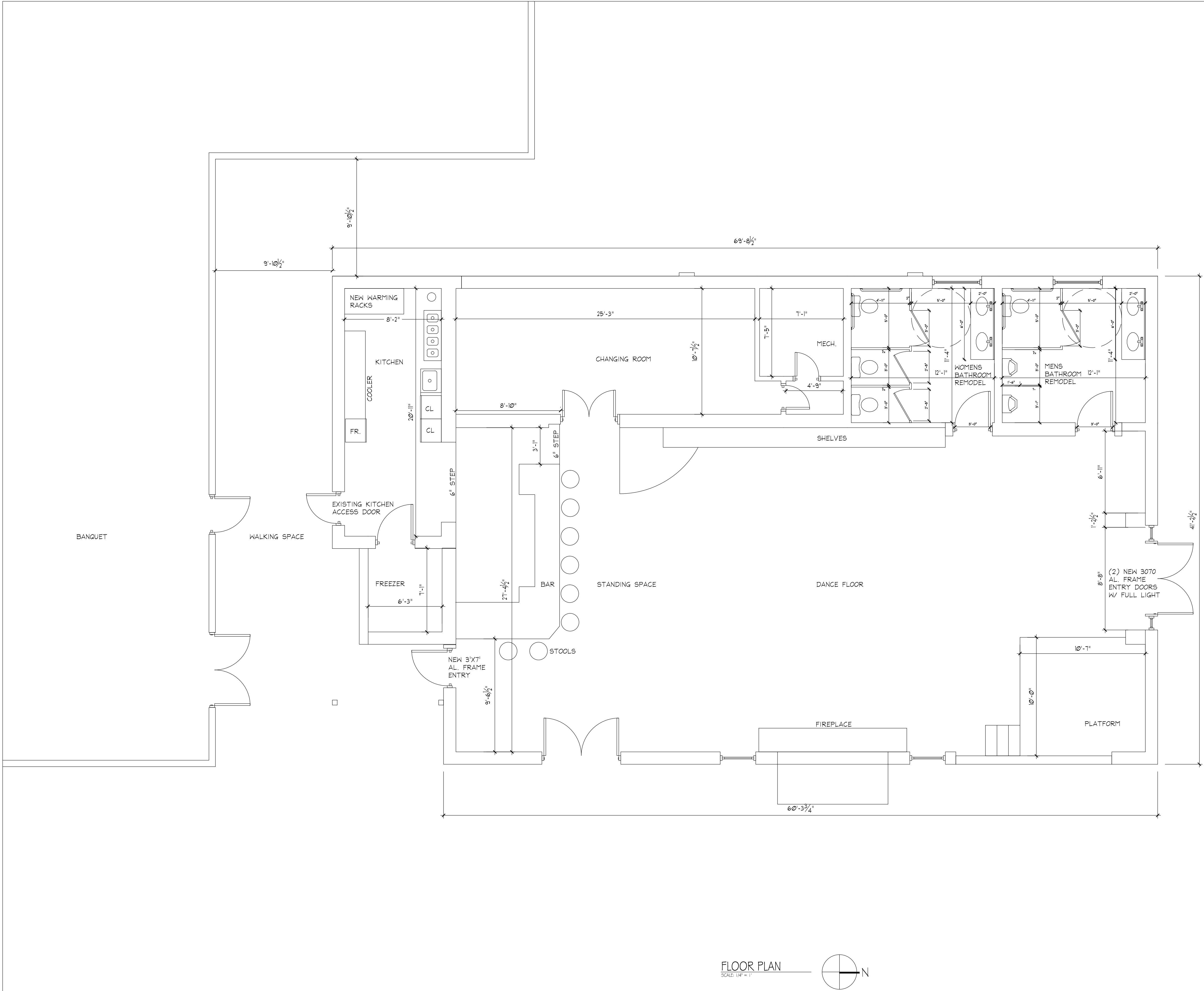
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LODGE REMODEL

5708 312th Ave  
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SHEET TITLE  
FLOOR PLAN  
LODGE

PROJECT NO.

17-4974

DATE

6/27/17

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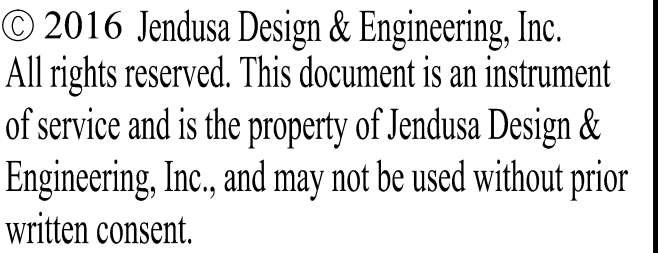
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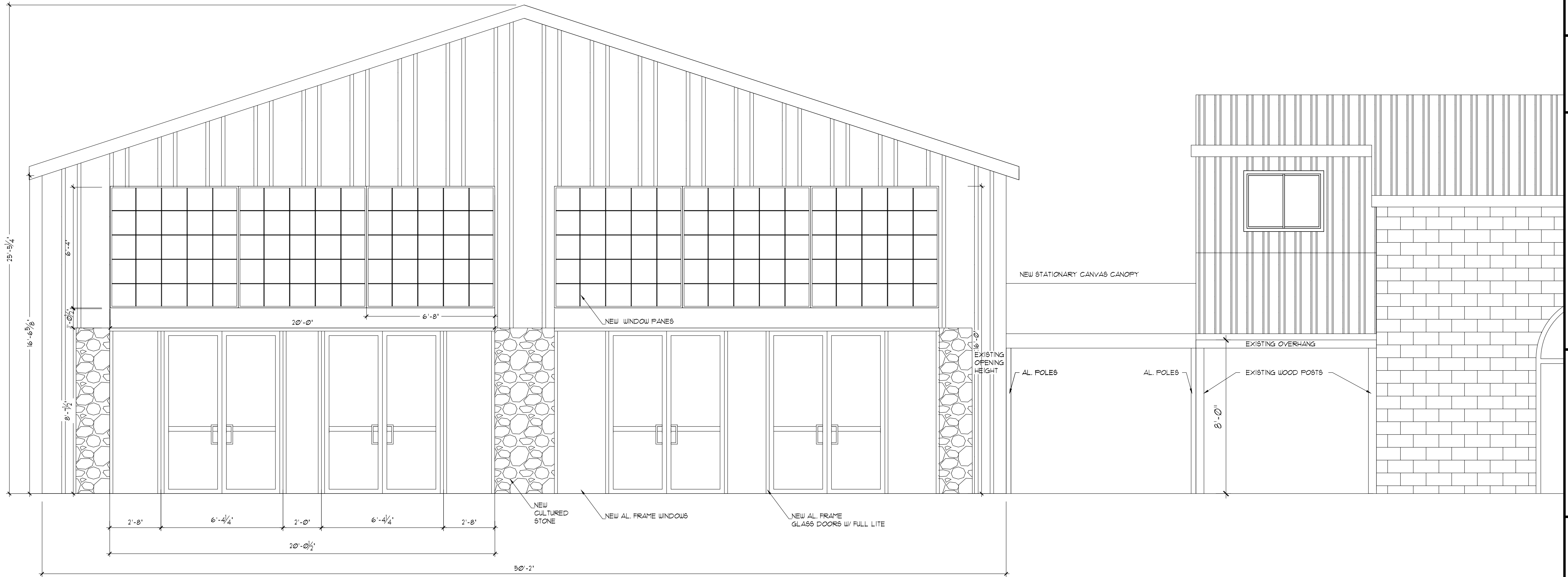
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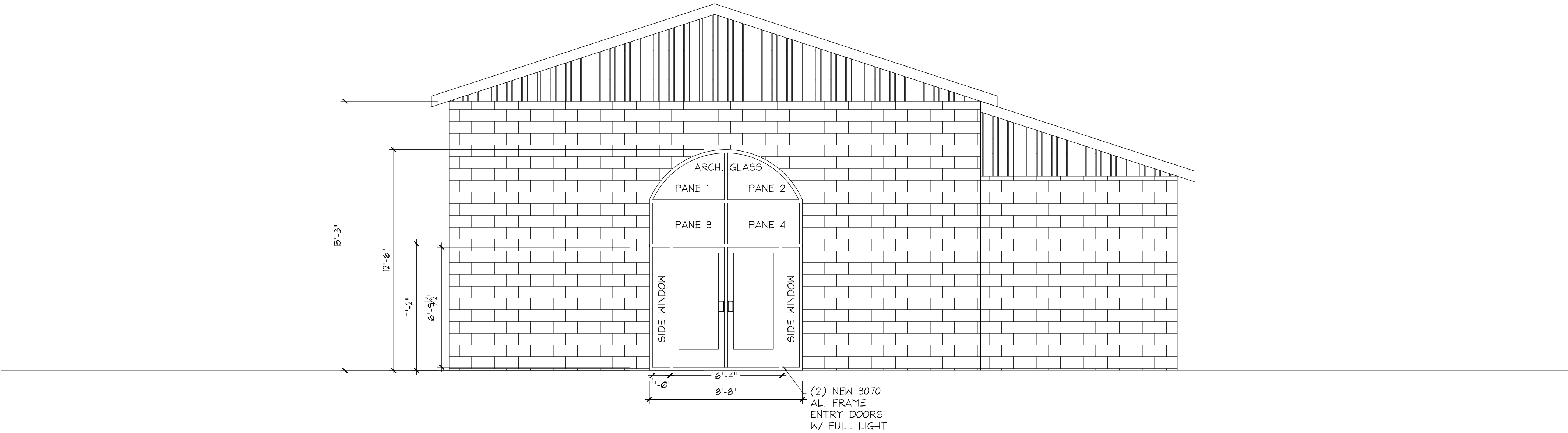
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**EAST ELEVATION**

PROJECT NO.	17-4974
DATE	6/27/17
SCALE	3/8" = 1'
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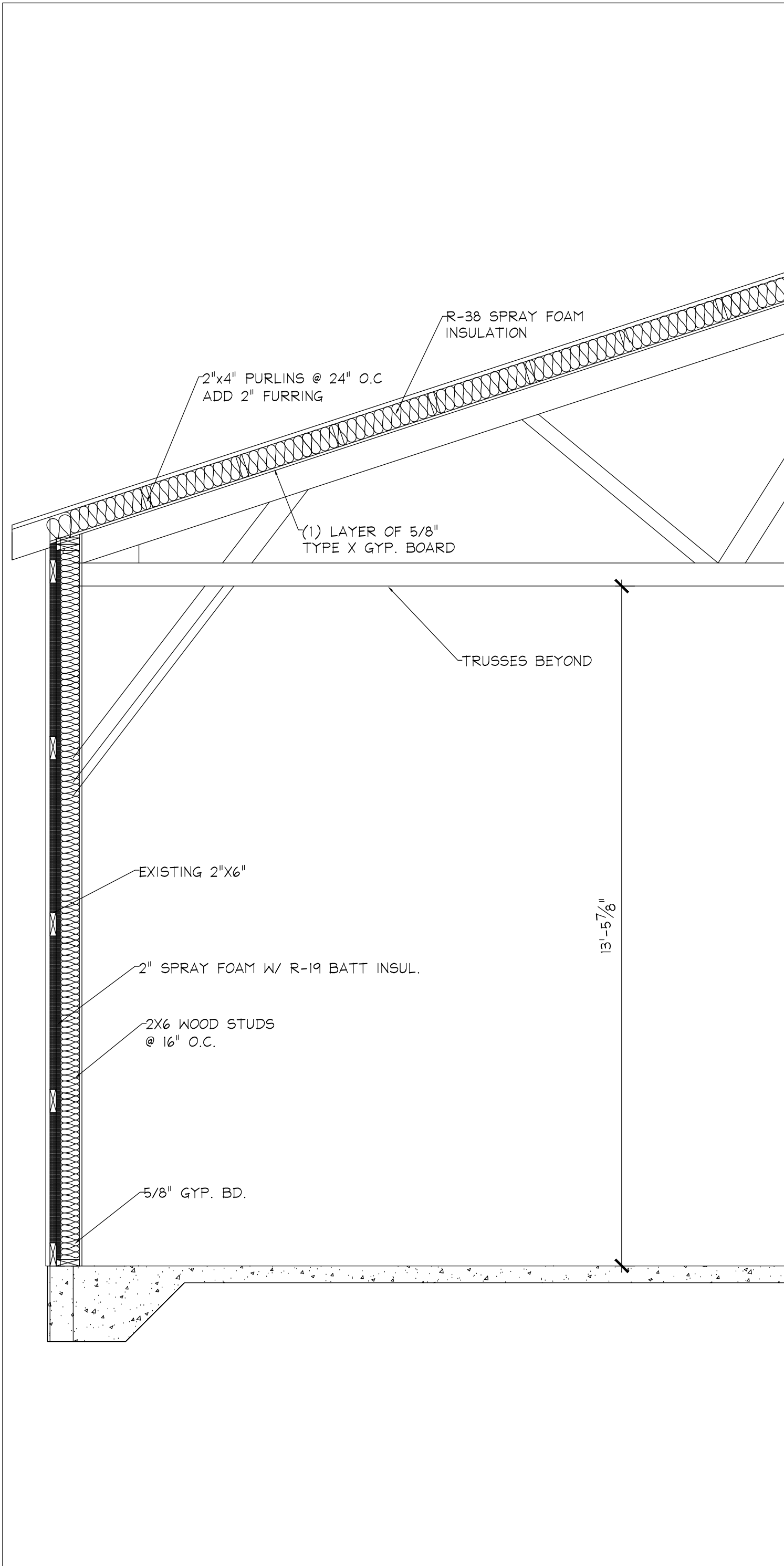
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LODGE REMODEL

5708 312th Ave  
Salem, WI 53168

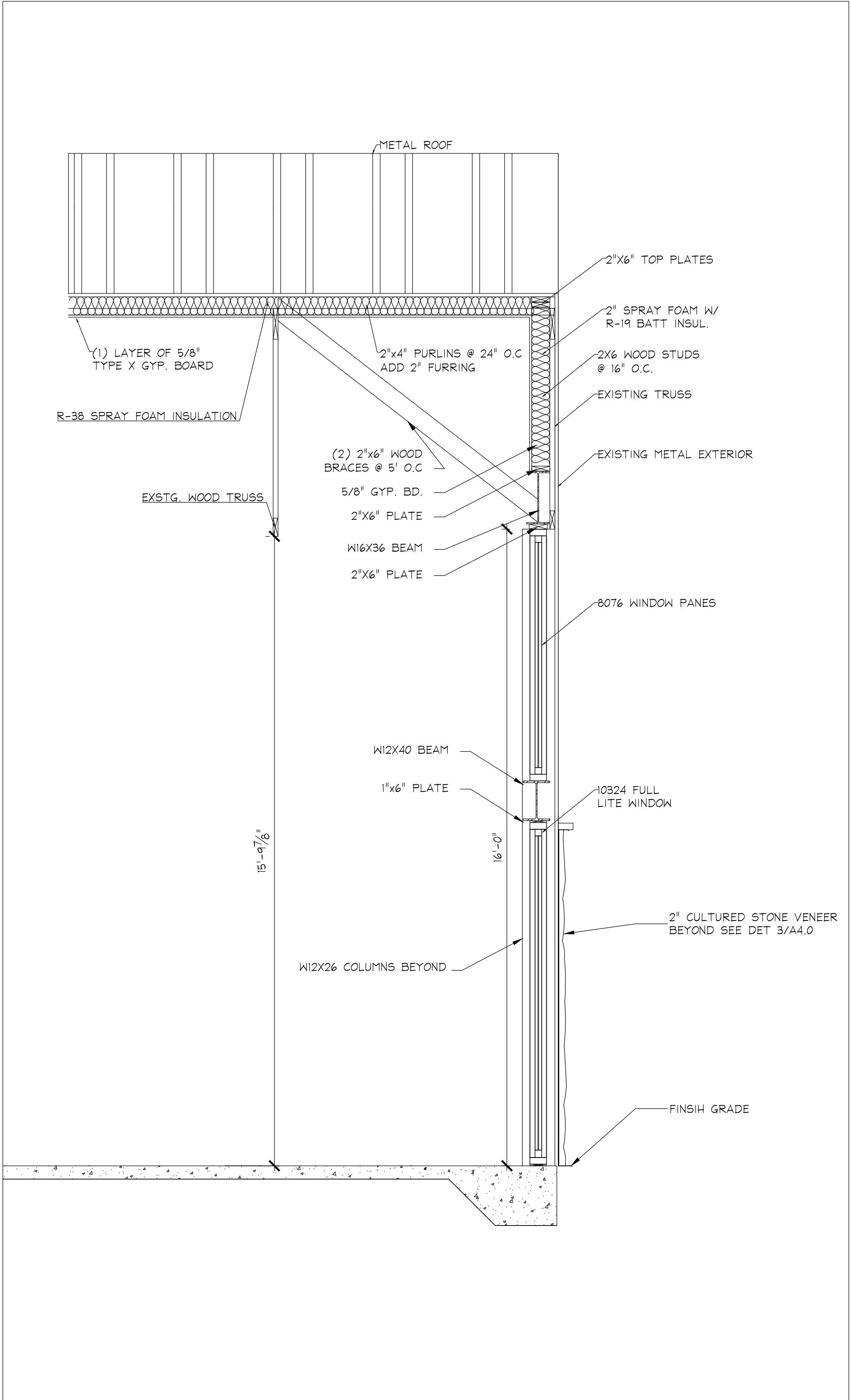
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NORTH ELEVATION  
LODGE

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SHEET	A2.1

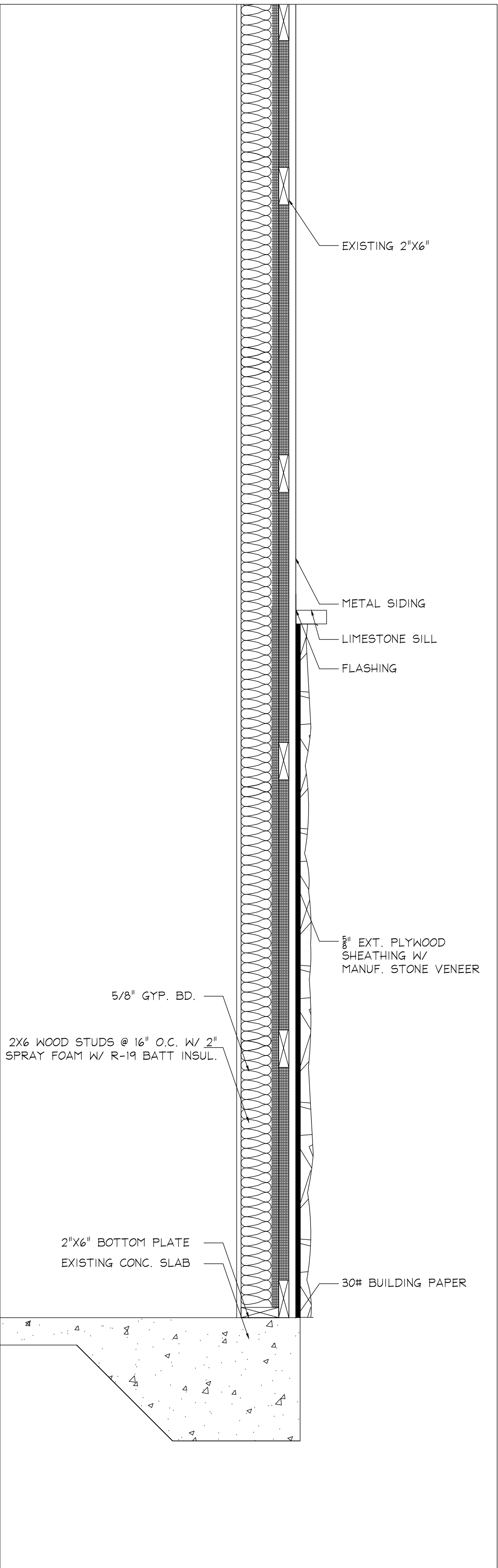




1 EXTERIOR WALL DETAIL  
SCALE: 1/2" = 1'-0"



2 EAST WINDOW DETAIL  
SCALE: 1/2" = 1'-0"



3 VENEER DETAIL  
SCALE: 1" = 1'-0"

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1

**STEIN FARMS  
BANQUET REMODEL**

**5708 312th Ave  
Salem, WI 53168**

SHEET TITLE  
**SECTION  
& DETAILS**

PROJECT NO. **17-4974**

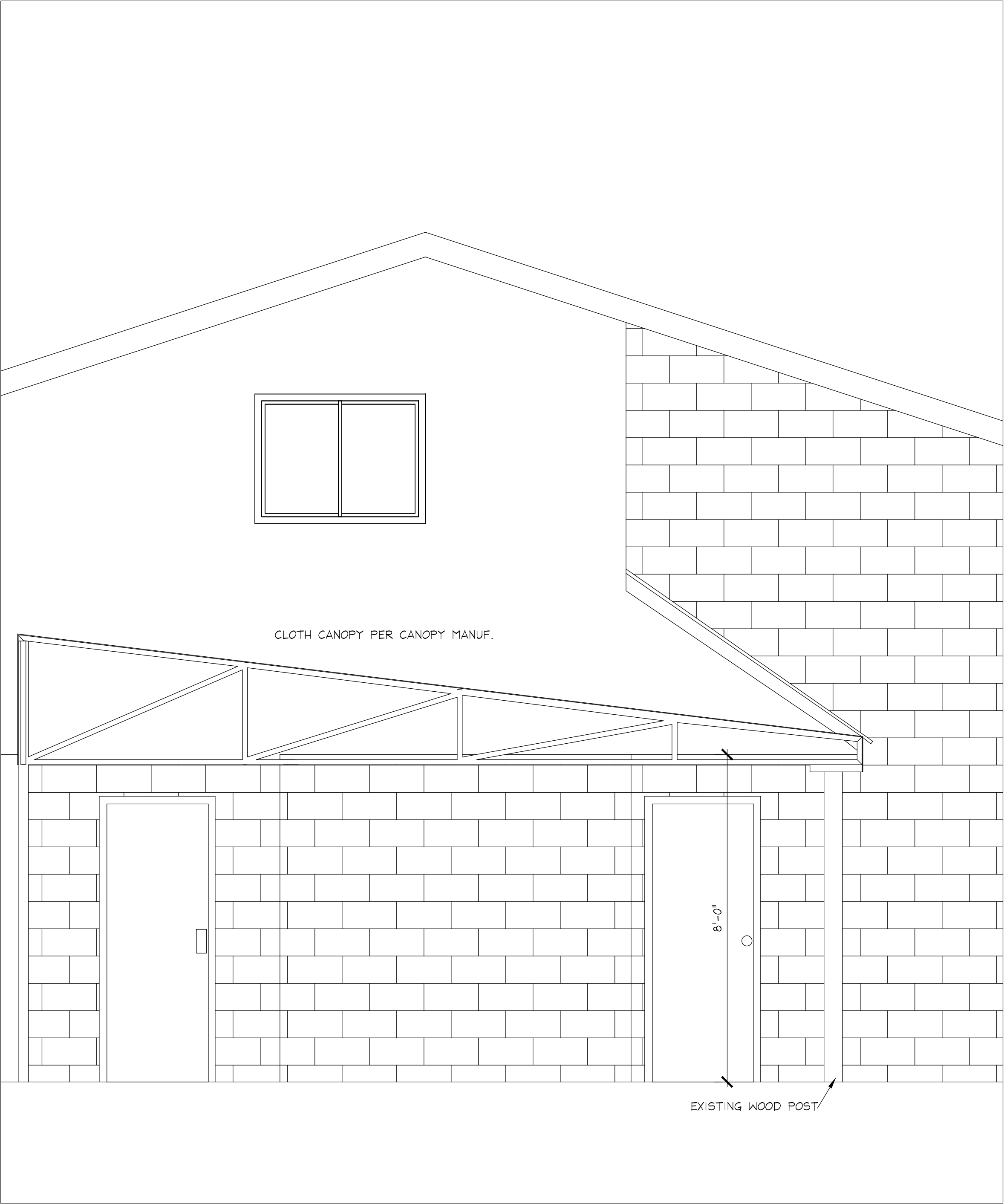
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SCALE **As Noted**

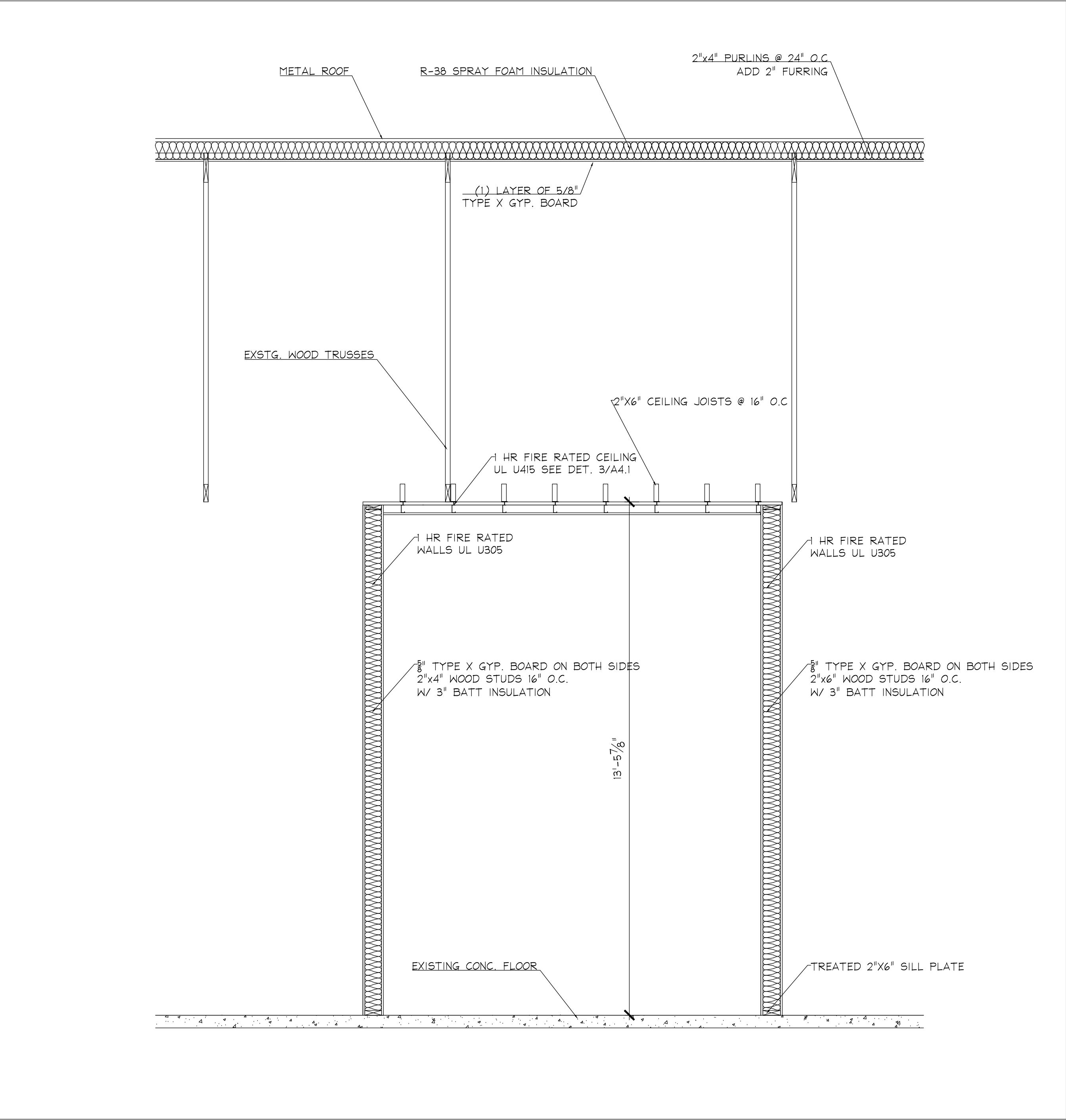
CHECKED BY **JFJ**

DRAWN BY **BJB**

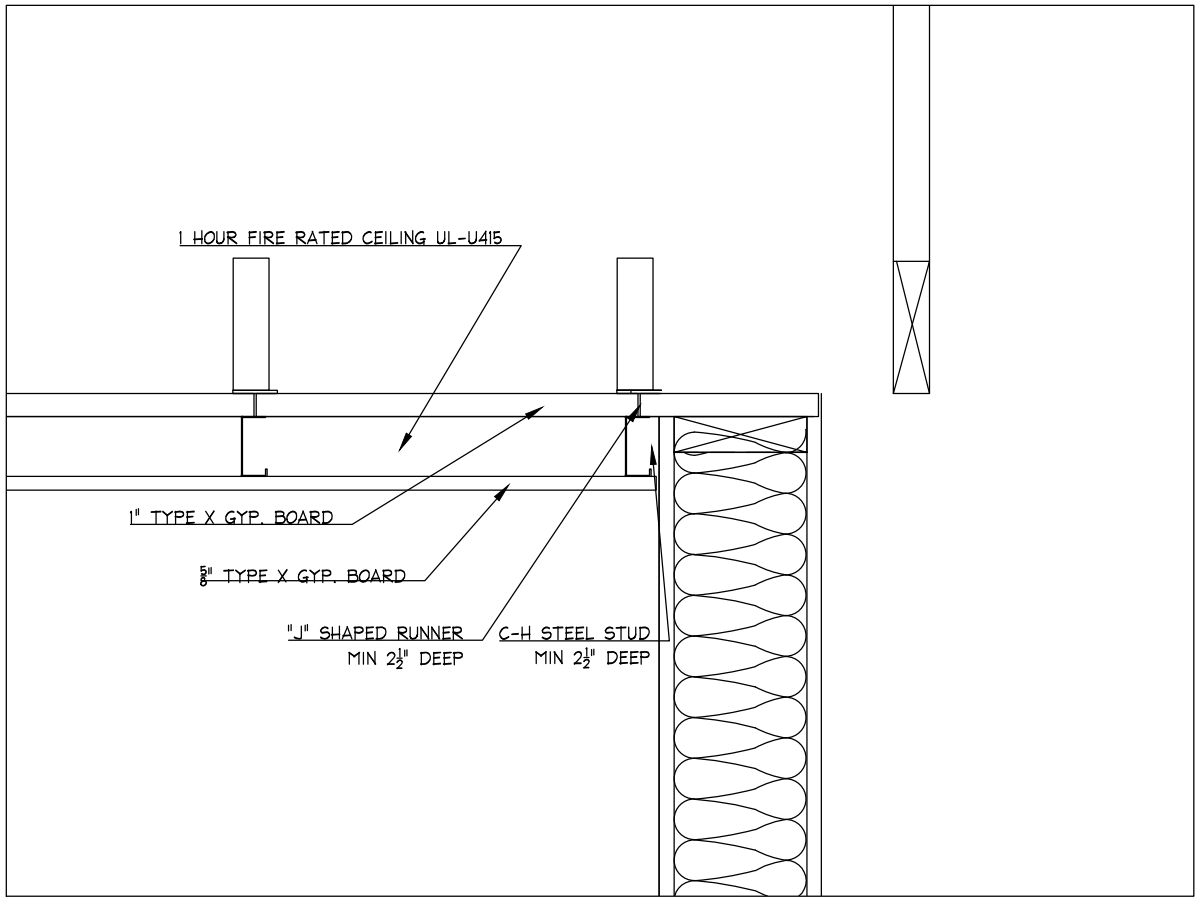
SHEET  
**A4.0**



2 CANOPY SECTION  
SCALE: 1/2" = 1'-0"



1 PUMP ROOM FIRE BARRIER DETAIL  
SCALE: 1/2" = 1'-0"



3 DETAIL  
SCALE: 1/2" = 1'-0"

JENDUSA  
DESIGN &  
ENGINEERING

ARCHITECTS & ENGINEERS

4615 Vettelson Road  
Suite 200  
Hartland, WI 53029  
P 262-264-6340  
F 866-326-1552  
W jendusaeng.com

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REVISIONS

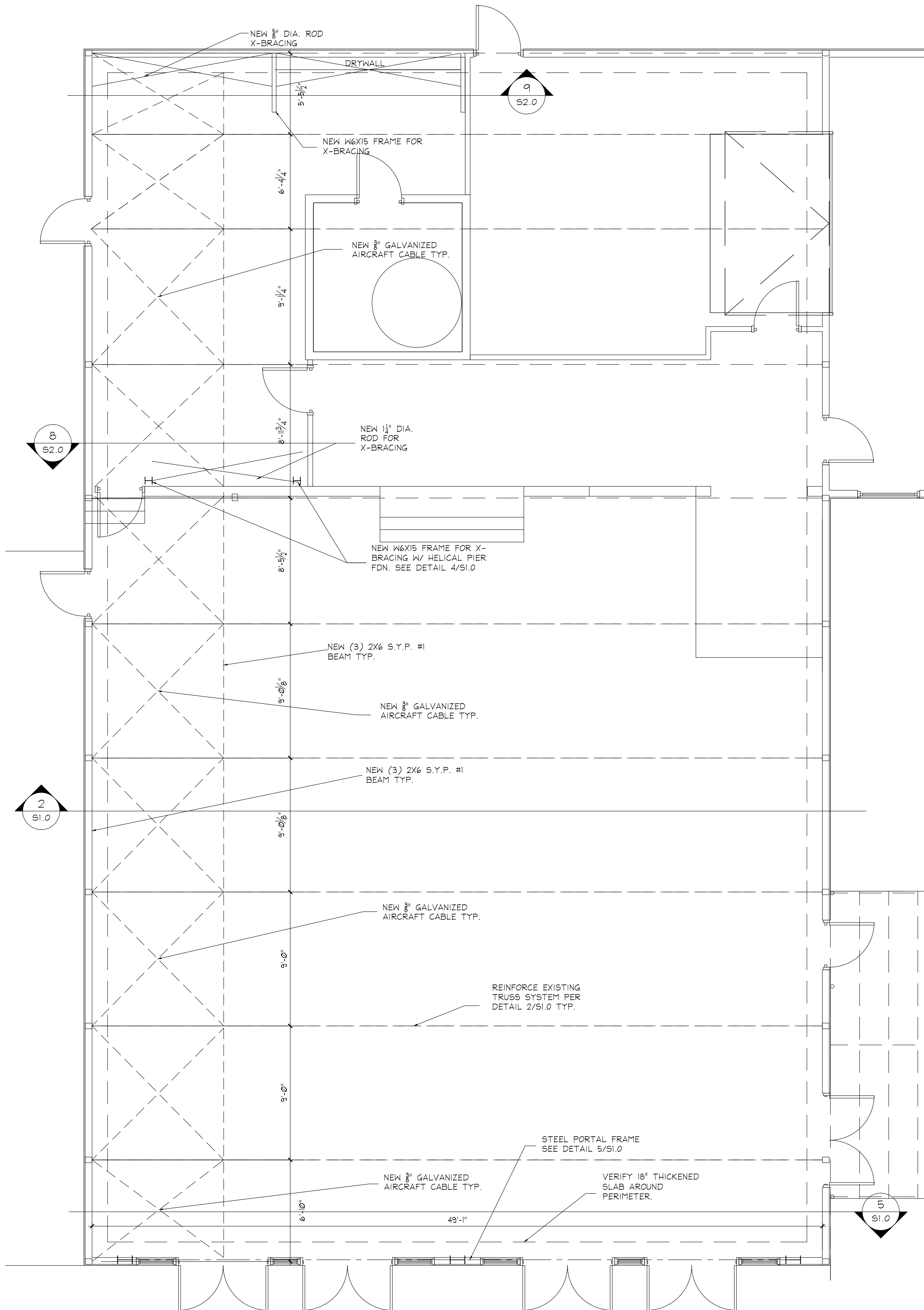
STEIN FARMS  
BANQUET REMODEL

5708 312th Ave  
Salem, WI 53168

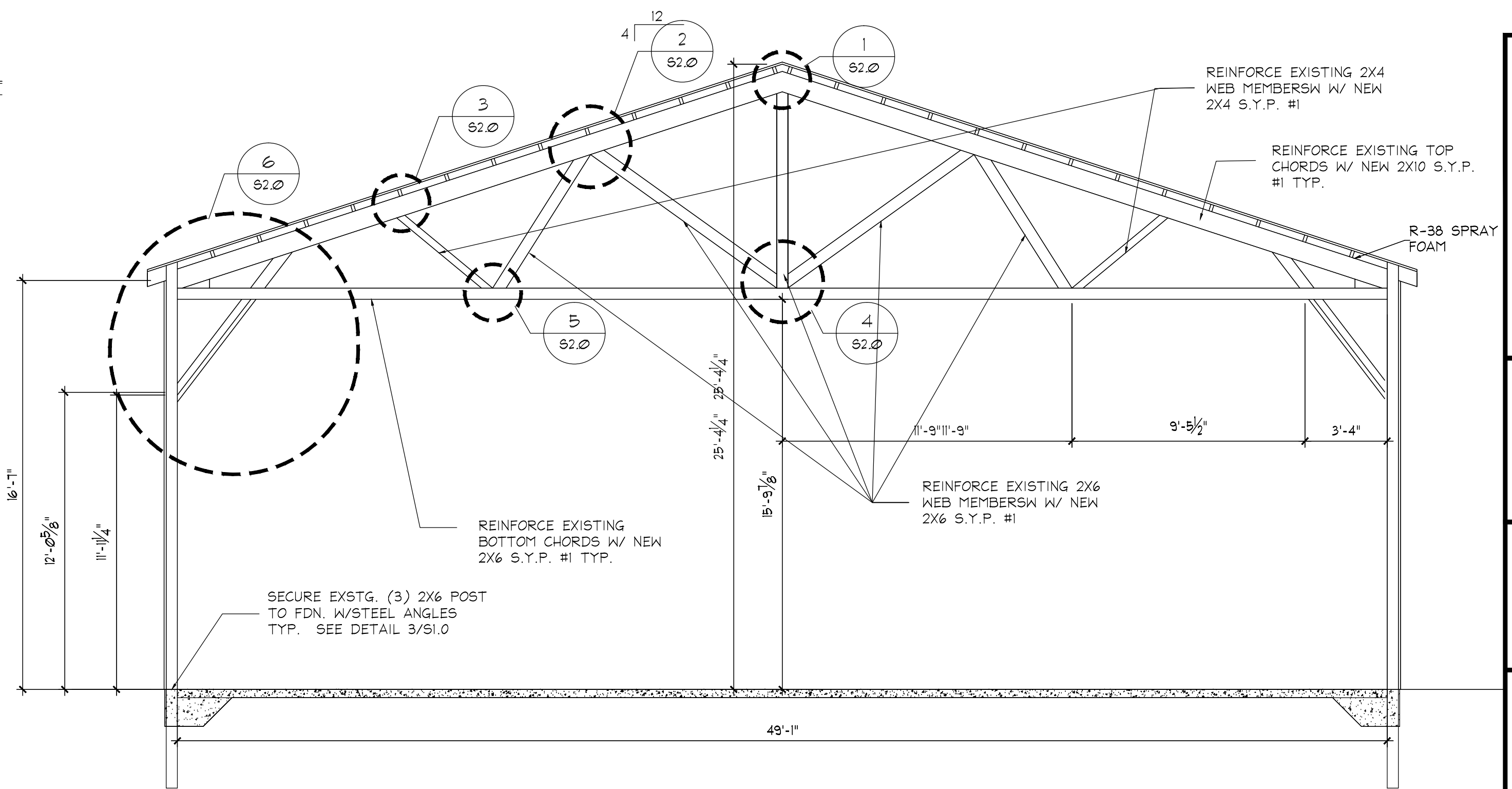
SHEET TITLE  
SECTION  
& DETAILS

PROJECT NO.	17-4974
DATE	6/27/17
SCALE	As Noted
CHECKED BY	JFJ
DRAWN BY	BJB
SHEET	A4.1

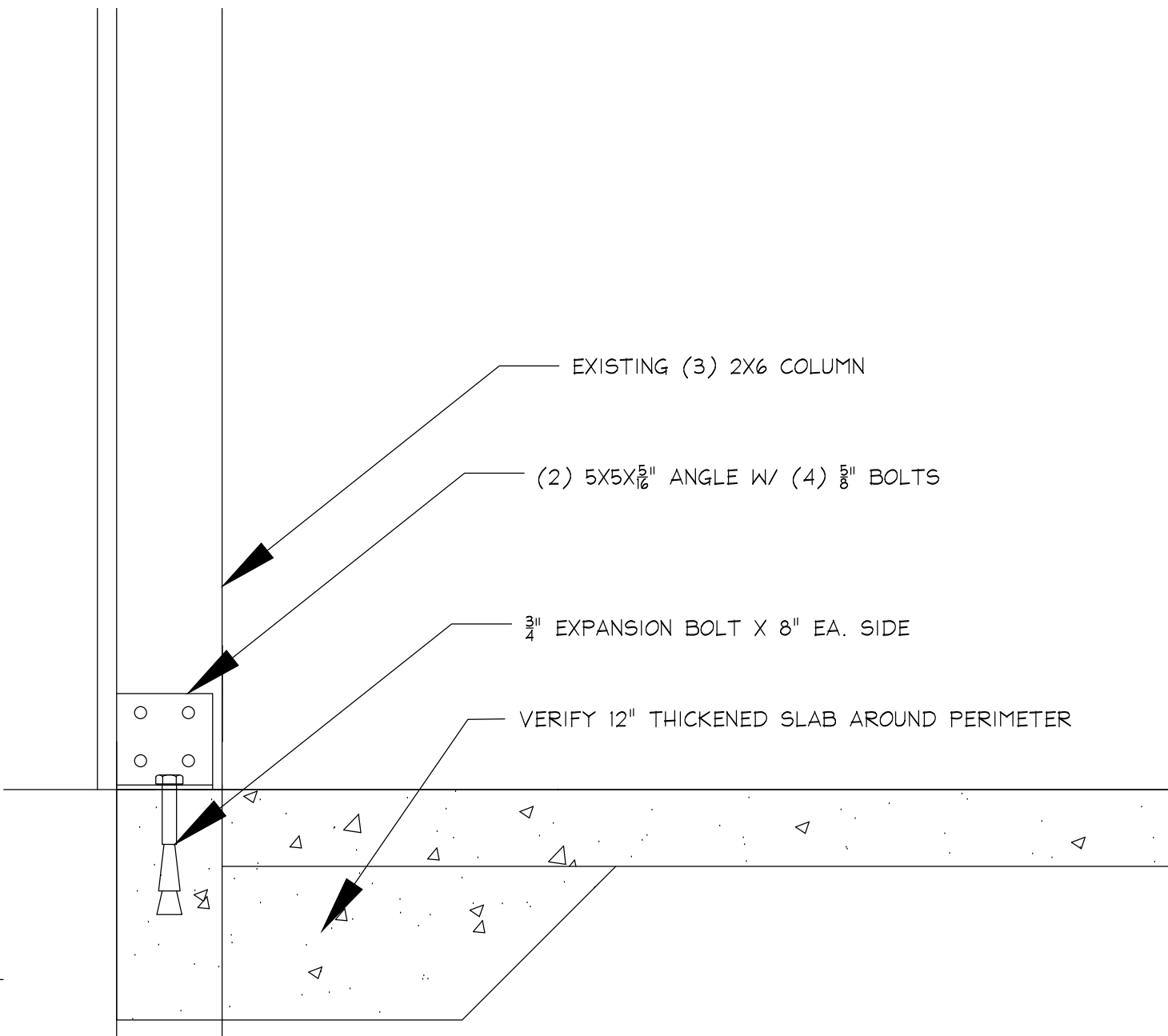




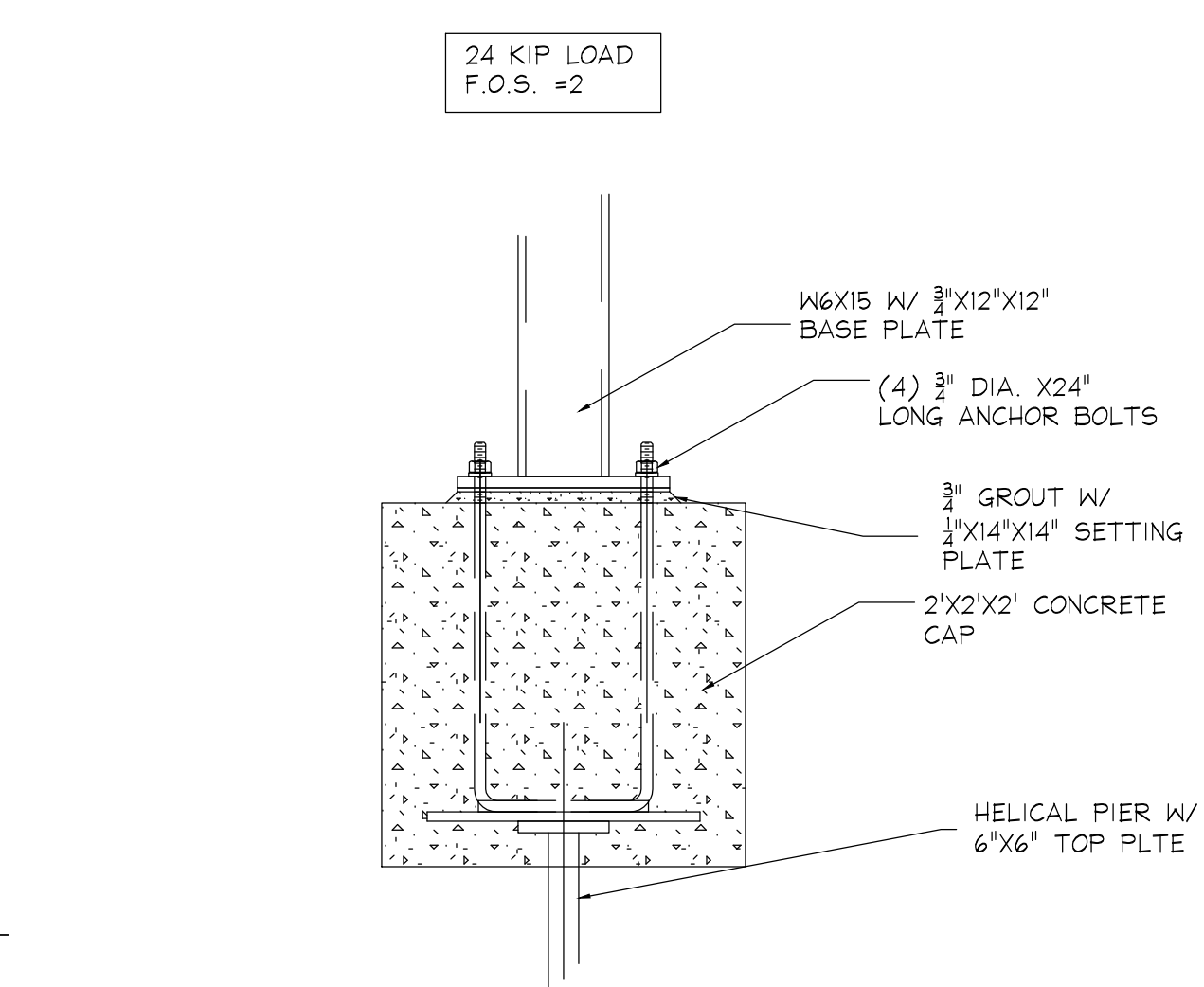
2 FOUNDATION/FRAMING PLAN  
SCALE: 1/4" = 1'-0"



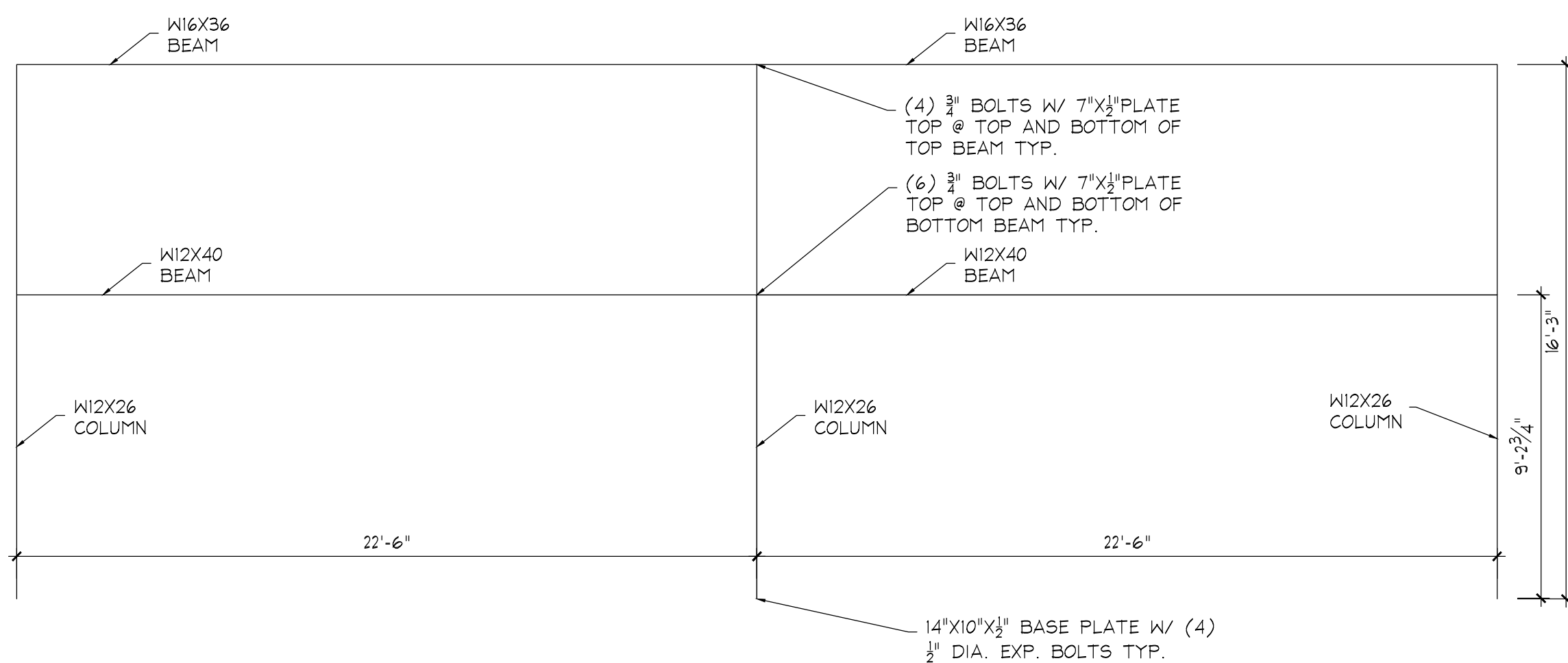
2 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



3 COLUMN CONNECTION  
SCALE: 1 1/2" = 1'-0"



4 HELICAL PIER CAP  
SCALE: N.T.S.



5 PORTAL FRAME  
SCALE: 1/4" = 1'-0"

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REVISIONS

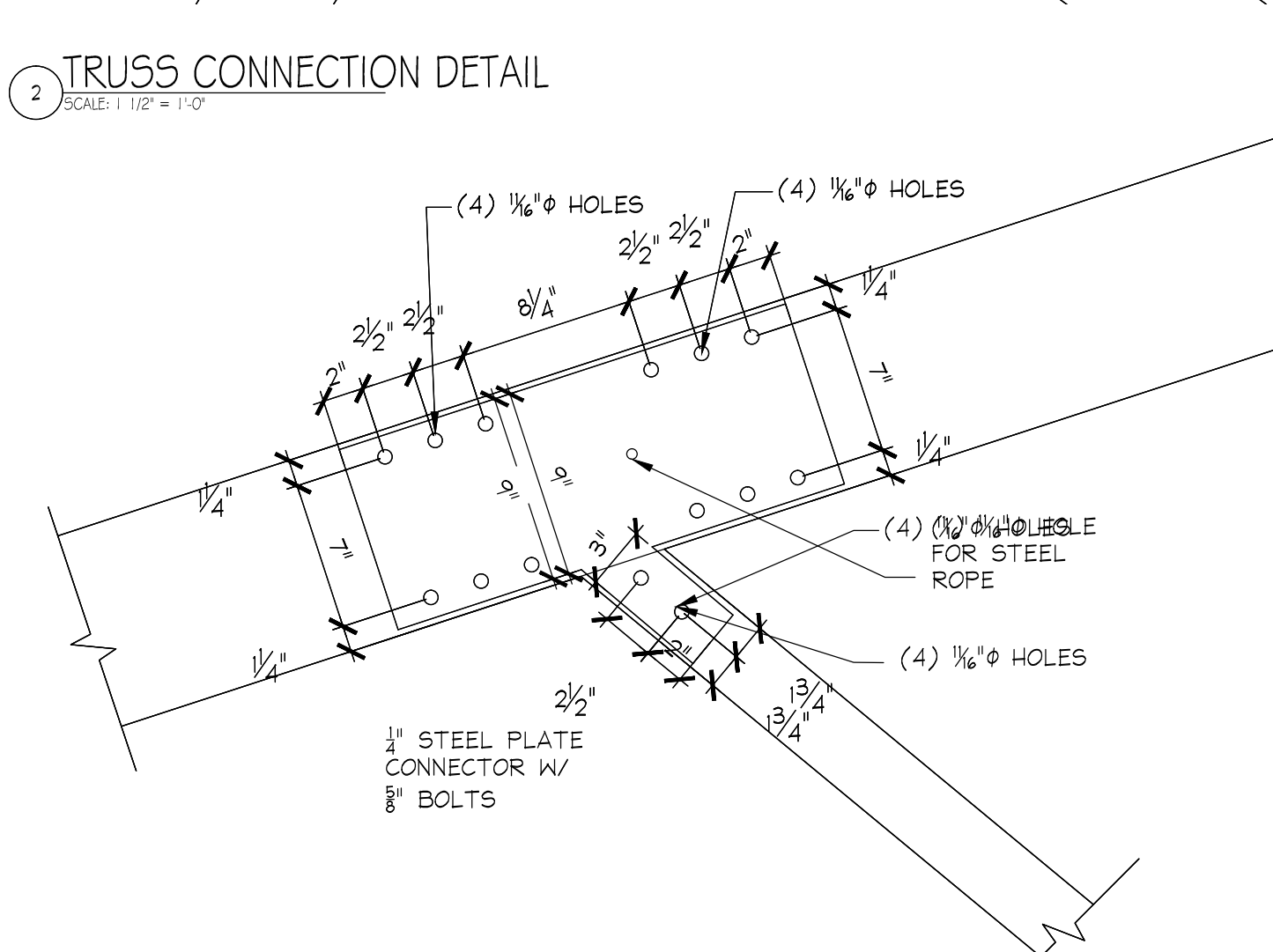
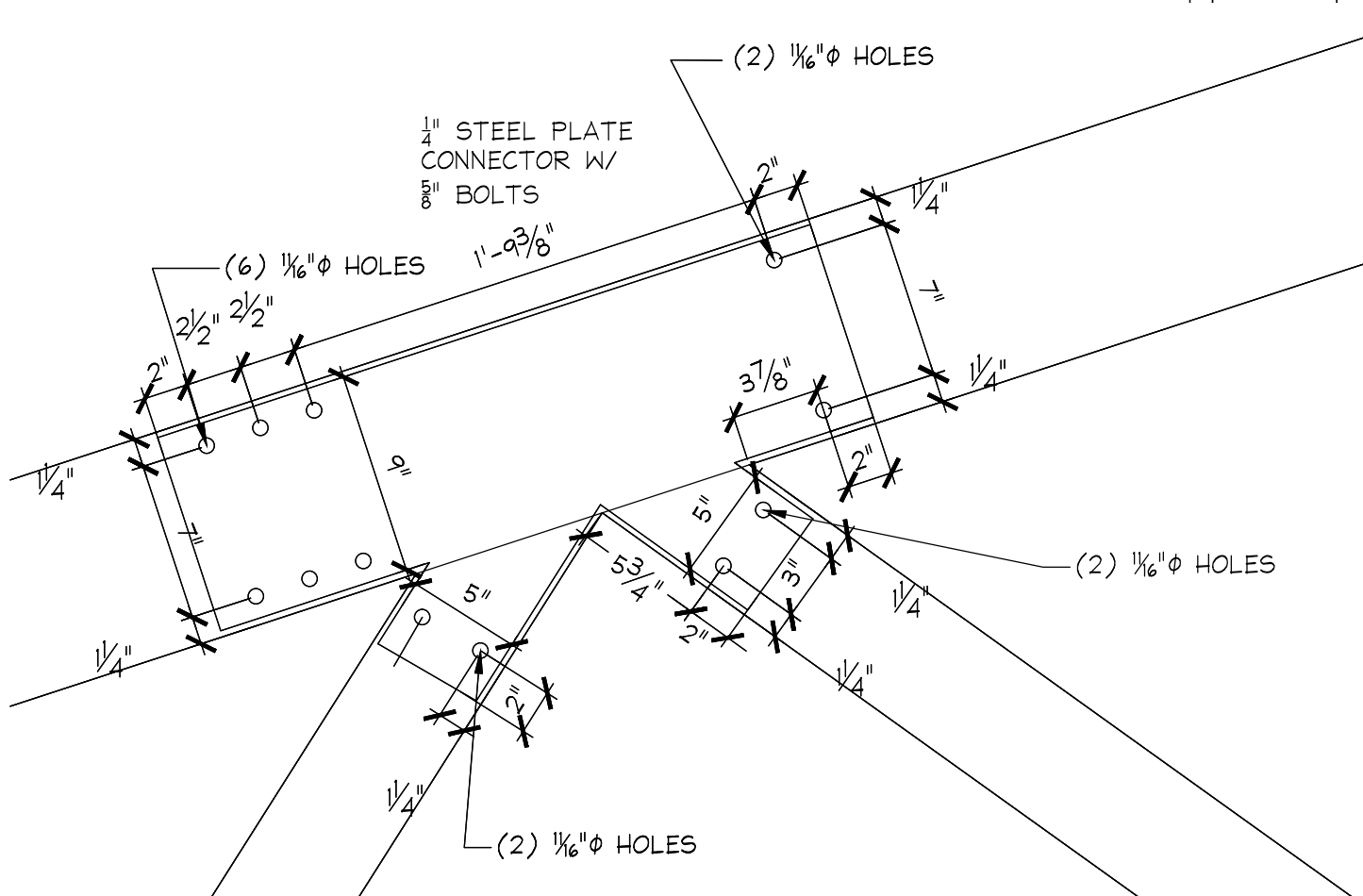
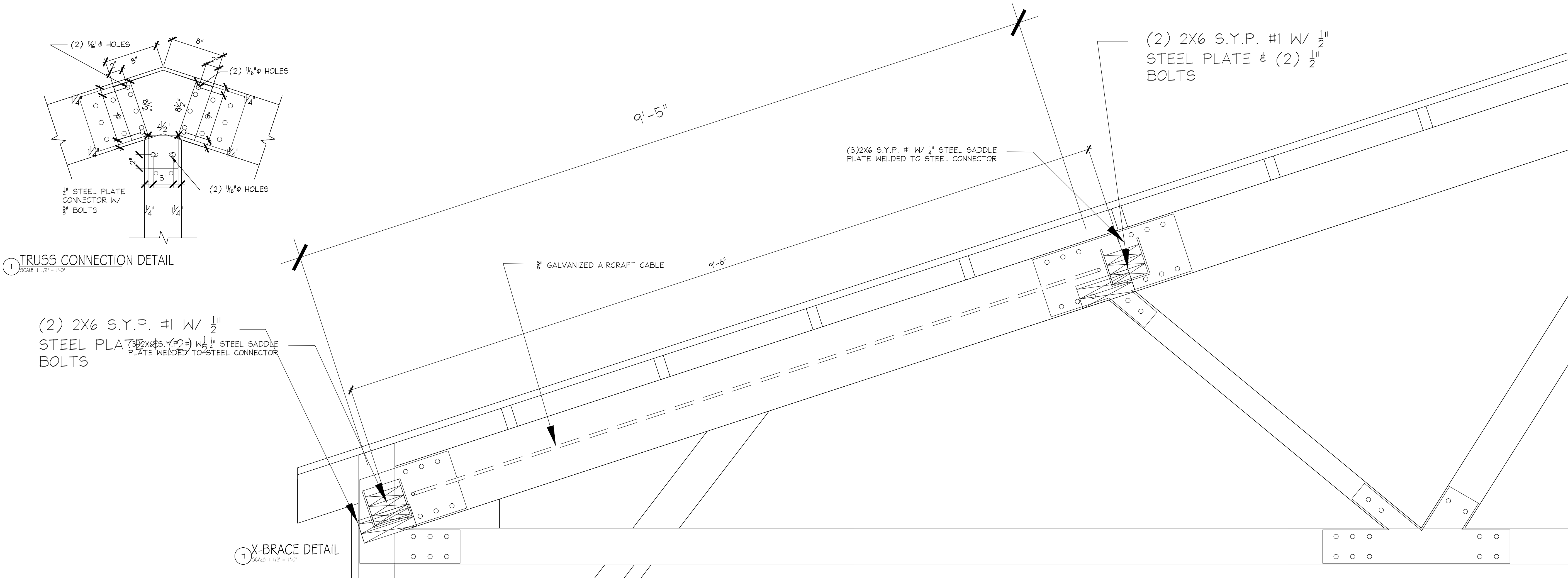
STEIN FARMS  
BANQUET REMODEL

5708 312th Ave  
Salem, WI 53168

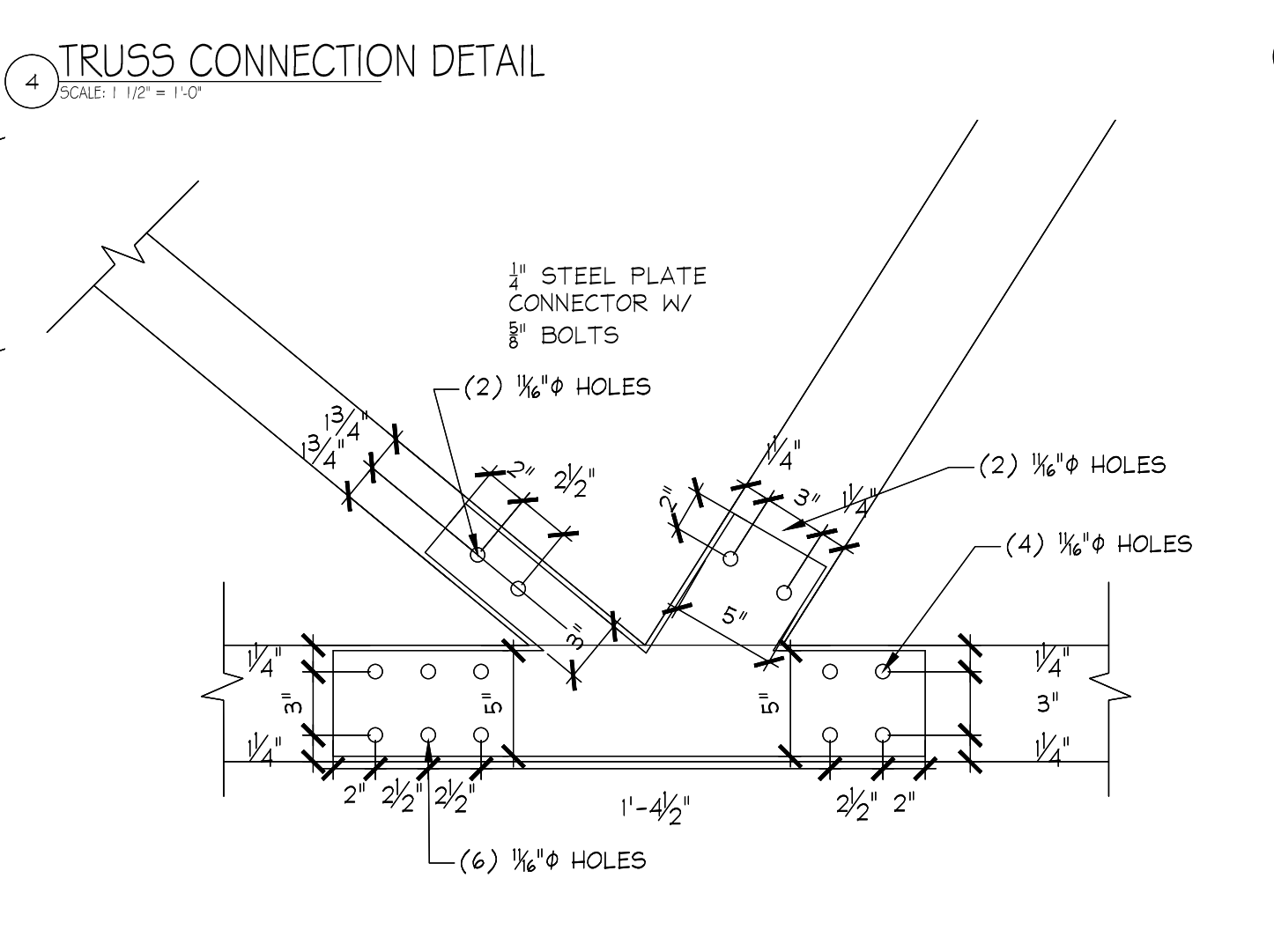
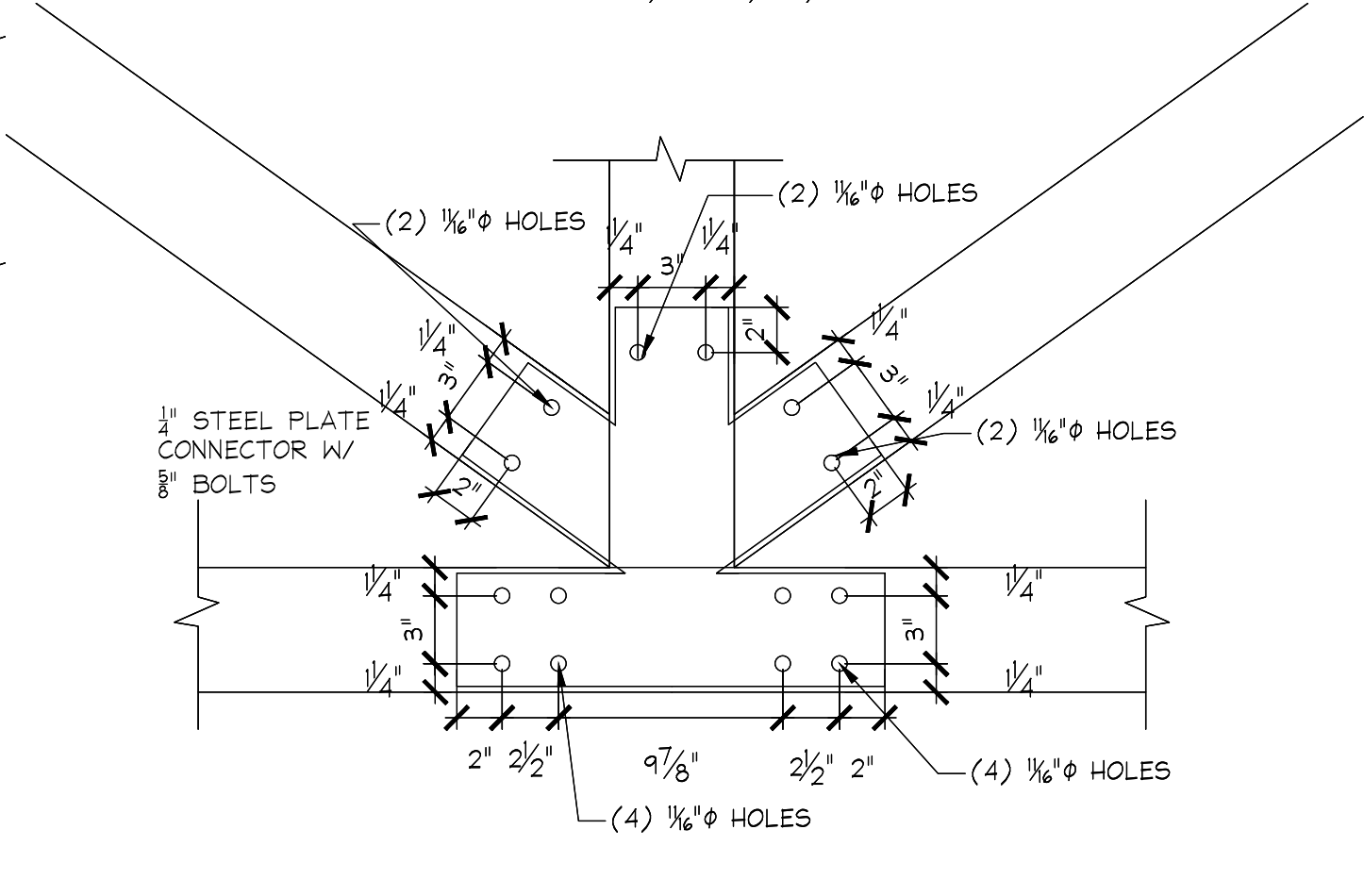
SHEET TITLE  
FOUNDATION &  
STRUCTURAL PLAN

PROJECT NO.	17-4974
DATE	6/27/17
SCALE	As Noted
CHECKED BY	JFJ
DRAWN BY	ZZD
SHEET	S1.0

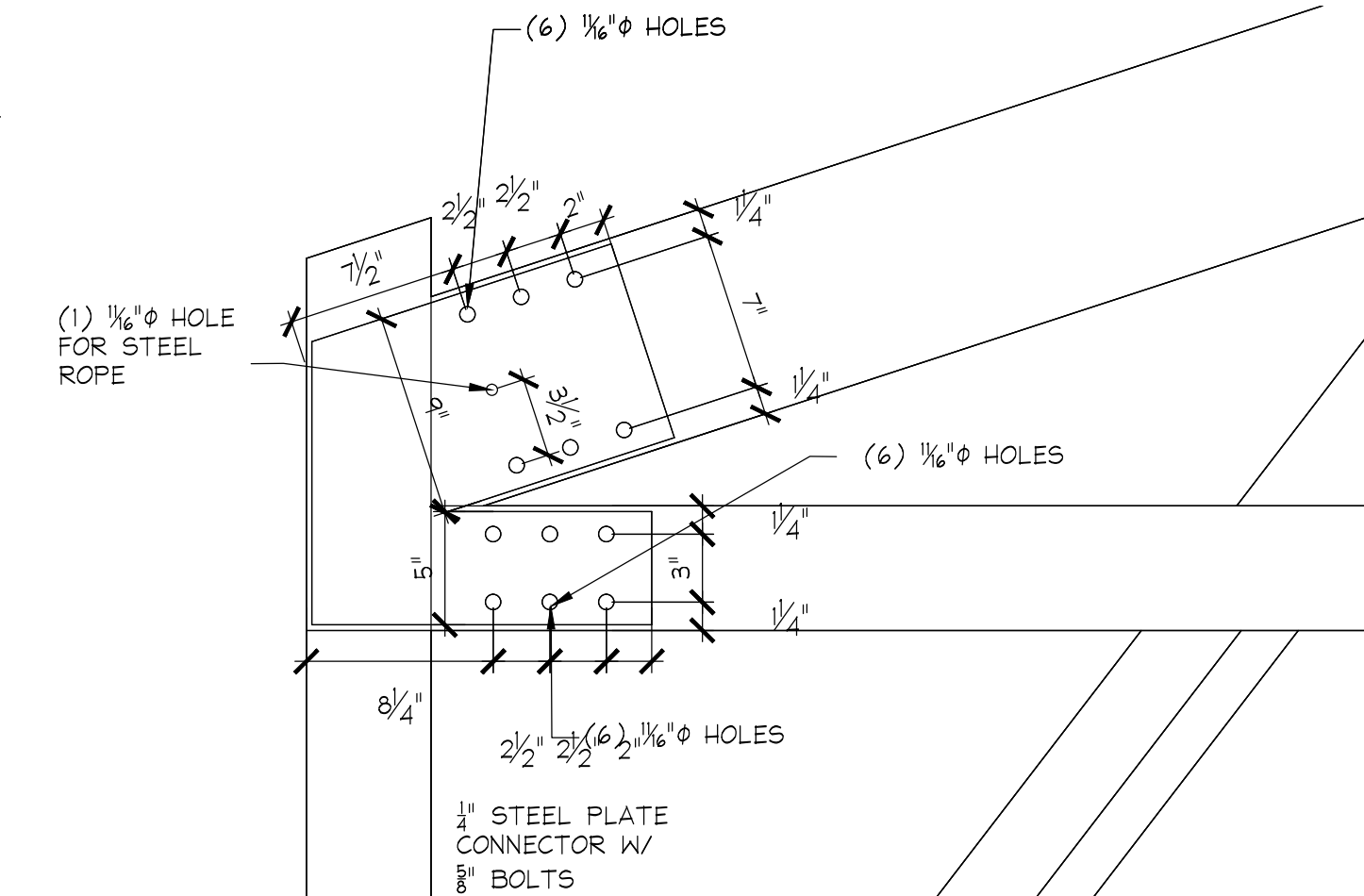




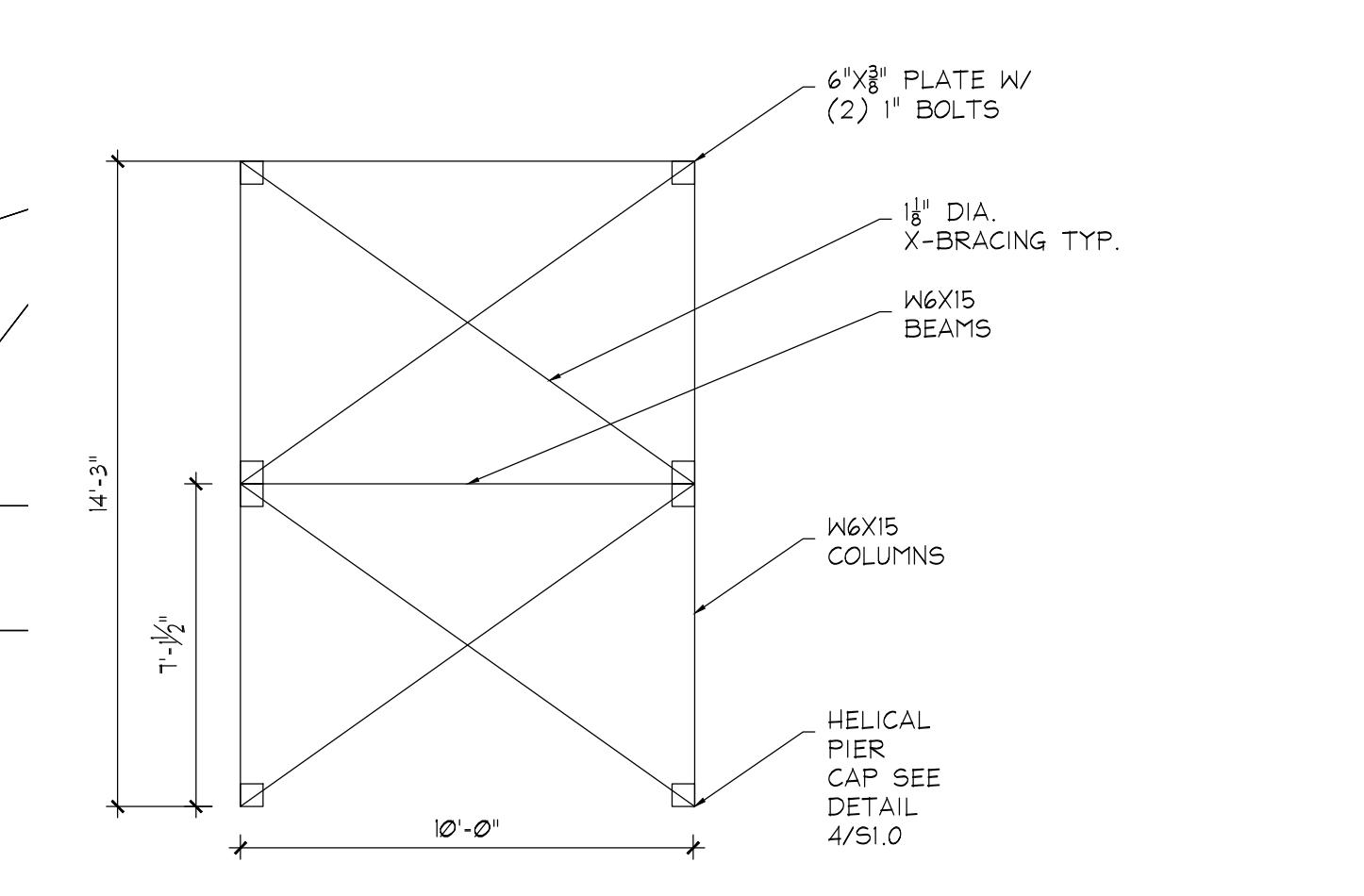
3 TRUSS CONNECTION DETAIL  
SCALE: 1/16" = 1'-0"



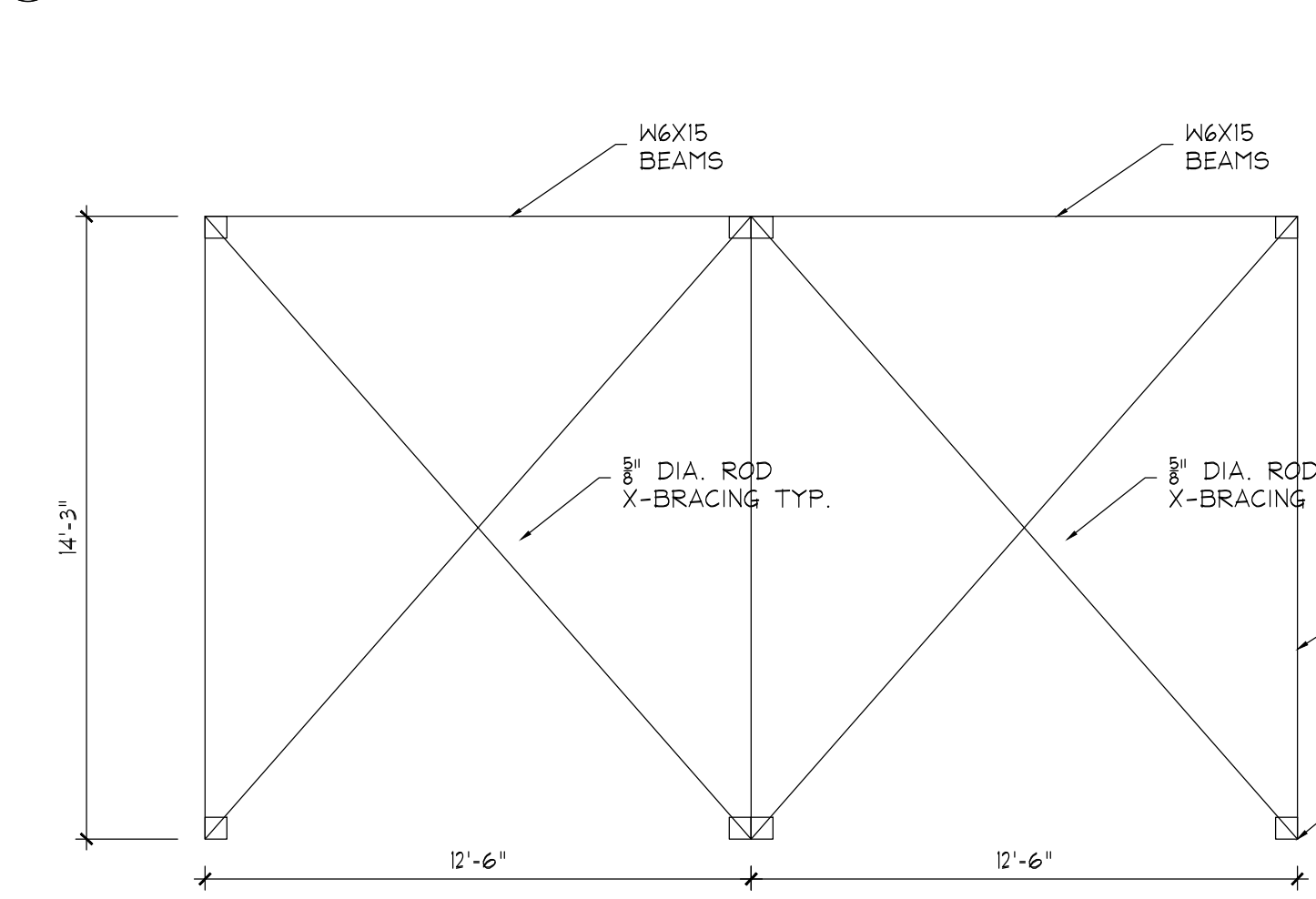
5 TRUSS CONNECTION DETAIL  
SCALE: 1/16" = 1'-0"



6 TRUSS CONNECTION DETAIL  
SCALE: 1/16" = 1'-0"



8 XBRACE FRAMING  
SCALE: 1/4" = 1'-0"



9 XBRACE FRAMING  
SCALE: 1/4" = 1'-0"

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F 866-326-1552  
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REVISIONS

STEIN FARMS  
BANQUET REMODEL

5708 312th Ave  
Salem, WI 53168

SHEET TITLE  
STRUCTURAL  
DETAILS

PROJECT NO.  
17-4974

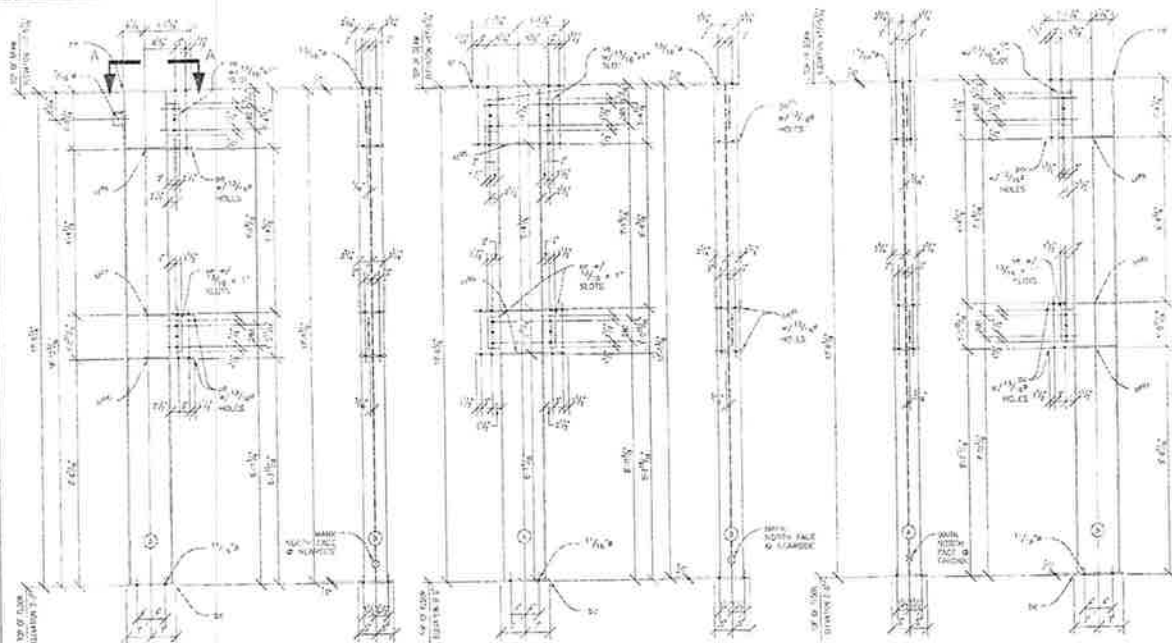
DATE  
6/27/17

SCALE  
As Noted

CHECKED BY  
JFJ

DRAWN BY  
BJB

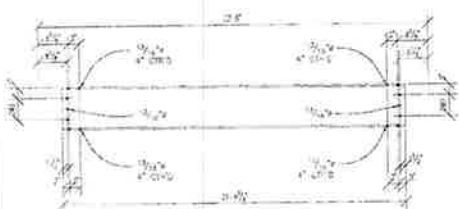
SHEET  
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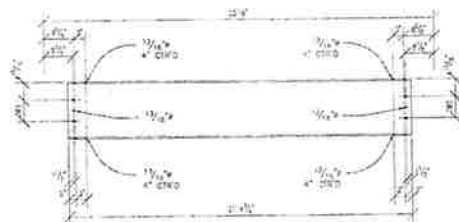
(1) COLUMN - 3C1

(1) COLUMN - 3C2

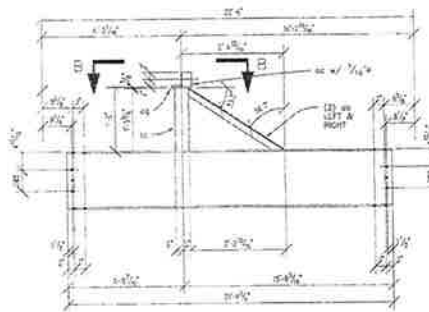
(1) COLUMN - 3C3



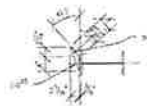
(2) BEAM - 3B1



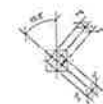
(1) BEAM - 3B2



(1) BEAM - 3B3



SECTION A-A



SECTION B-B

# BILL OF MATERIAL

NO.	QTY	DESCRIPTION	UNIT	REMARKS	WEIGHT
321	1	COLUMN	17' 5 1/2"		
322	1	W12X70	17' 5 1/2"		
323	1	W12X70	17' 5 1/2"		
324	1	W12X70	17' 5 1/2"		
325	1	W12X70	17' 5 1/2"		
326	1	W12X70	17' 5 1/2"		
327	1	W12X70	17' 5 1/2"		
328	1	W12X70	17' 5 1/2"		
329	1	W12X70	17' 5 1/2"		
330	1	W12X70	17' 5 1/2"		
331	1	W12X70	17' 5 1/2"		
332	1	W12X70	17' 5 1/2"		
333	1	W12X70	17' 5 1/2"		
334	1	W12X70	17' 5 1/2"		
335	1	W12X70	17' 5 1/2"		
336	1	W12X70	17' 5 1/2"		
337	1	W12X70	17' 5 1/2"		
338	1	W12X70	17' 5 1/2"		
339	1	W12X70	17' 5 1/2"		
340	1	W12X70	17' 5 1/2"		
341	1	W12X70	17' 5 1/2"		
342	1	W12X70	17' 5 1/2"		
343	1	W12X70	17' 5 1/2"		
344	1	W12X70	17' 5 1/2"		
345	1	W12X70	17' 5 1/2"		
346	1	W12X70	17' 5 1/2"		
347	1	W12X70	17' 5 1/2"		
348	1	W12X70	17' 5 1/2"		
349	1	W12X70	17' 5 1/2"		
350	1	W12X70	17' 5 1/2"		
351	1	W12X70	17' 5 1/2"		
352	1	W12X70	17' 5 1/2"		
353	1	W12X70	17' 5 1/2"		
354	1	W12X70	17' 5 1/2"		
355	1	W12X70	17' 5 1/2"		
356	1	W12X70	17' 5 1/2"		
357	1	W12X70	17' 5 1/2"		
358	1	W12X70	17' 5 1/2"		
359	1	W12X70	17' 5 1/2"		
360	1	W12X70	17' 5 1/2"		
361	1	W12X70	17' 5 1/2"		
362	1	W12X70	17' 5 1/2"		
363	1	W12X70	17' 5 1/2"		
364	1	W12X70	17' 5 1/2"		
365	1	W12X70	17' 5 1/2"		
366	1	W12X70	17' 5 1/2"		
367	1	W12X70	17' 5 1/2"		
368	1	W12X70	17' 5 1/2"		
369	1	W12X70	17' 5 1/2"		
370	1	W12X70	17' 5 1/2"		
371	1	W12X70	17' 5 1/2"		
372	1	W12X70	17' 5 1/2"		
373	1	W12X70	17' 5 1/2"		
374	1	W12X70	17' 5 1/2"		
375	1	W12X70	17' 5 1/2"		
376	1	W12X70	17' 5 1/2"		
377	1	W12X70	17' 5 1/2"		
378	1	W12X70	17' 5 1/2"		
379	1	W12X70	17' 5 1/2"		
380	1	W12X70	17' 5 1/2"		
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383	1	W12X70	17' 5 1/2"		
384	1	W12X70	17' 5 1/2"		
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386	1	W12X70	17' 5 1/2"		
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388	1	W12X70	17' 5 1/2"		
389	1	W12X70	17' 5 1/2"		
390	1	W12X70	17' 5 1/2"		
391	1	W12X70	17' 5 1/2"		
392	1	W12X70	17' 5 1/2"		
393	1	W12X70	17' 5 1/2"		
394	1	W12X70	17' 5 1/2"		
395	1	W12X70	17' 5 1/2"		
396	1	W12X70	17' 5 1/2"		
397	1	W12X70	17' 5 1/2"		
398	1	W12X70	17' 5 1/2"		
399	1	W12X70	17' 5 1/2"		
400	1	W12X70	17' 5 1/2"		

NOTE:  
Superior Structural Corp. will not accept any back charges incurred to repair errors, to furnish extra material, or to do extra work not stated on our drawings, without proper authorization.

REVISIONS  
DATE: 10-16-17  
BY: [Signature]  
CHECKED BY: [Signature]  
APPROVED BY: [Signature]

GENERAL NOTES  
1. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED.  
2. ALL MATERIALS SHALL BE AS SHOWN ON THE DRAWINGS.  
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.

REV.	DESCRIPTION	BY	DATE
FOR APPROVAL	TO SHOP		
R & R APPROVAL	AS BUILT		

Superior Structural Corp.  
1000 N. Lincoln Avenue  
Salem, WI 53178  
Phone: (262) 547-1522  
Fax: (262) 547-1525  
Website: <http://www.superiorstructural.com>

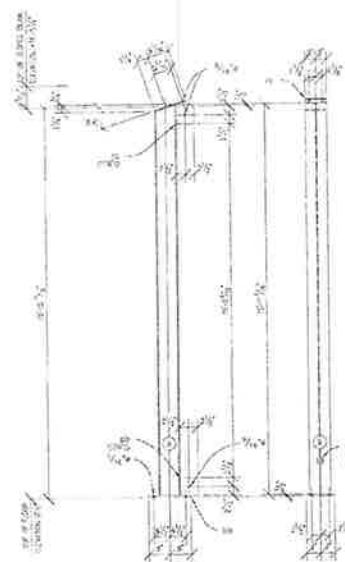
JOB NAME: Stein Farms Bonquet Homestead  
LOCATION: 5708 312th Ave, Salem, WI 53178  
CONTRACTOR: Stein Farms  
DESCRIPTION: Portal Framing Drawings

DRAWN BY: RCH  
SCALE: 3/4" = 1'-0"  
DATE: 10-16-17

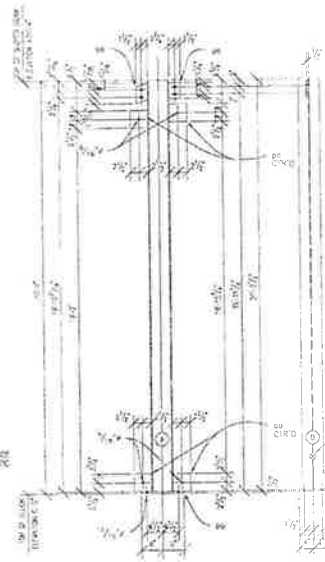
CHECKED BY: [Signature]  
APPROVED BY: [Signature]

JOB NUMBER: #8658  
SHEET: 1

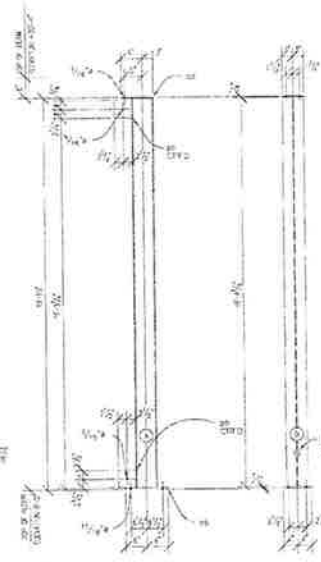




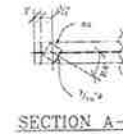
(1) COLUMN - 2C1



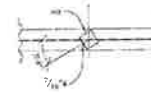
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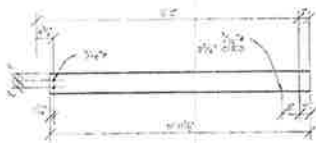
(1) COLUMN - 2C3



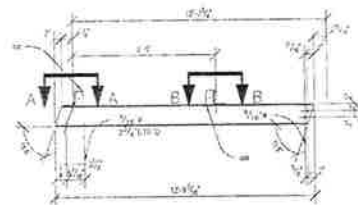
SECTION A-A



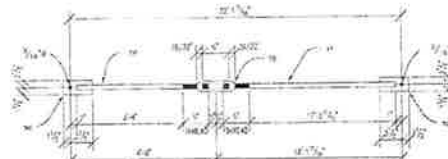
SECTION B-B



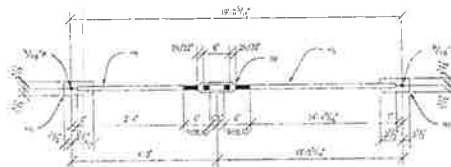
(1) BEAM - 2B1



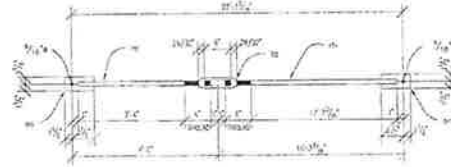
(1) BEAM - 2B2



(1) BRACE - 2BR1



(1) BRACE - 2BR2



(2) BRACE - 2BR3

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do extra work not stated on our drawings, without proper  
authorization.

# BILL OF MATERIAL

REV	DATE	DESCRIPTION	QTY	REMARKS	WEIGHT
2C1		1 COLUMN			
		1 1/2" x 1/2" x 8	19 1/2"		
		1 1/2" x 1/2" x 8	1 1/2"		
		1 1/2" x 1/2" x 8	1 1/2"		
2C2		1 COLUMN			
		1 1/2" x 1/2" x 8	20 1/2"		
		1 1/2" x 1/2" x 8	1 1/2"		
		1 1/2" x 1/2" x 8	1 1/2"		
		1 1/2" x 1/2" x 8	1 1/2"		
2C3		1 COLUMN			
		1 1/2" x 1/2" x 8	19 1/2"		
		1 1/2" x 1/2" x 8	1 1/2"		
		1 1/2" x 1/2" x 8	1 1/2"		
		1 1/2" x 1/2" x 8	1 1/2"		
2B1		1 BEAM			
		1 1/2" x 1/2" x 8	19 1/2"		
2B2		1 BEAM			
		1 1/2" x 1/2" x 8	19 1/2"		
		1 1/2" x 1/2" x 8	1 1/2"		
2BR1		1 BRACE			
		1 1/2" x 1/2" x 8	2 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 8	17 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 8	4 1/2"		
2BR2		1 BRACE			
		1 1/2" x 1/2" x 8	2 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 8	14 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 8	5 1/2"		
2BR3		2 BRACE			
		1 1/2" x 1/2" x 8	3 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 8	18 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 8	6 1/2"		

## GENERAL NOTES:

SEE TO EACH DRAWING, NOTES AND SPECIFICATIONS FOR DETAILS.

REVISIONS: \_\_\_\_\_

REV	DESCRIPTION	BY	DATE
FOR APPROVAL	TO SHOP		
R & R APPROVAL	AS BUILT		

**Superior Structural Corp.**  
 10000 W. Lincoln Avenue  
 New Berlin, Wisconsin 53146  
 Phone (262) 542-1900  
 Fax (262) 542-1901  
 Website: <http://www.superiorstructural.com>

JOB NAME: Stein Farms Banquet Remodel  
 LOCATION: 5708 112th Ave., Salem, WI 53159  
 CONTRACTOR: Stein Farms  
 DESCRIPTION: "X" Bracing Drawings - West

DRAWN BY: RCH  
 CHECKED BY:  
 SCALE: 3/4" = 1'-0"  
 DATE: 10-16-17  
 JOB NUMBER: 15-117  
 #6058

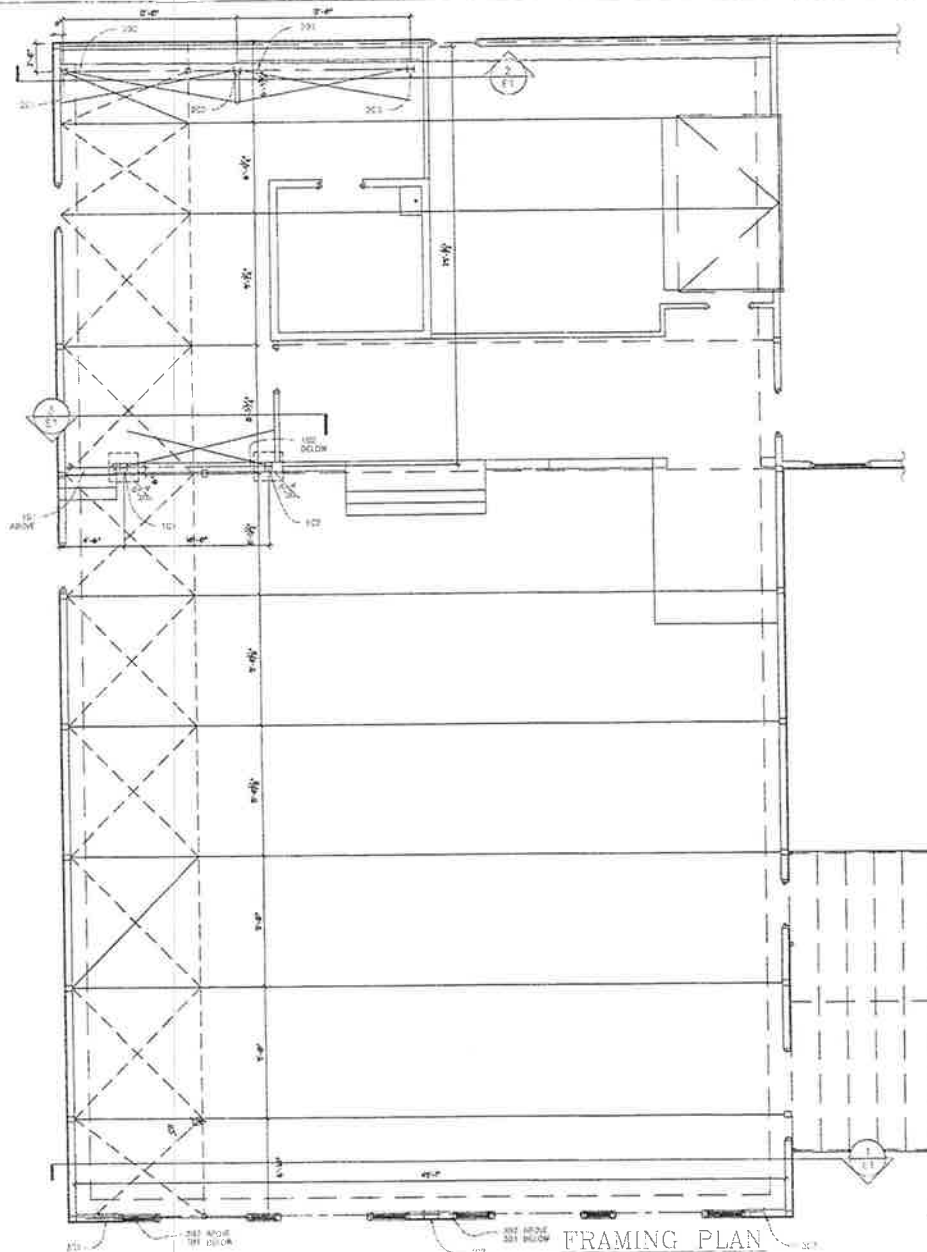


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#### GENERAL NOTES

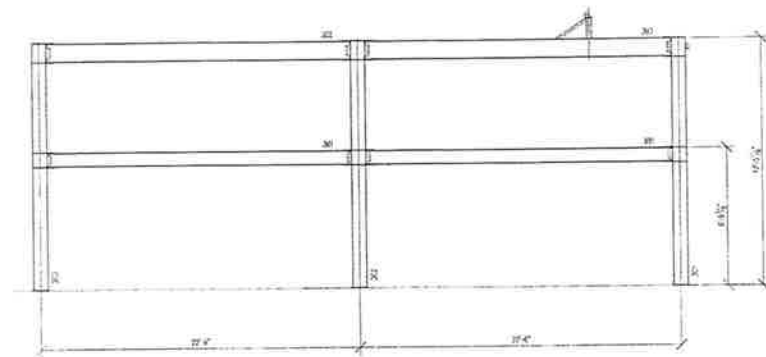
 **Superior Structural Corp.**  
Website: <http://www.superiorsteeland.com>  
E-Mail: [info@superiorsteeland.com](mailto:info@superiorsteeland.com)  
Phone: (202) 547-7720  
Fax: (202) 547-7445  
40020 N. Lincoln Avenue  
New Berlin, Wisconsin 53146

JOB NAME	Stein forms Banquet Remodel	DRAWN BY:	RGH	CHECKED BY:	
LOCATION:	5708 312th Ave Salem, WI 53168	SCALE	3/4" = 1'-0"		
		DATE	10-16-17		
CONTRACTOR:	Stein Form	JOB NUMBER		SHEET	
DESCRIPTION:	"X" Bracing Drawings	#6658		1	△



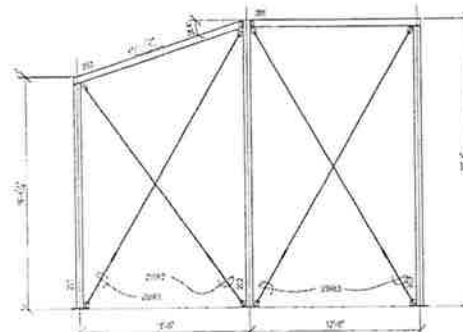
FRAMING PLAN

NOT TO SCALE



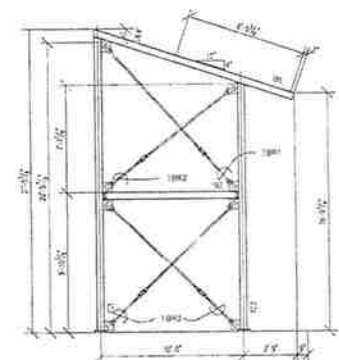
PORTAL FRAMING ELEVATION

NOT TO SCALE



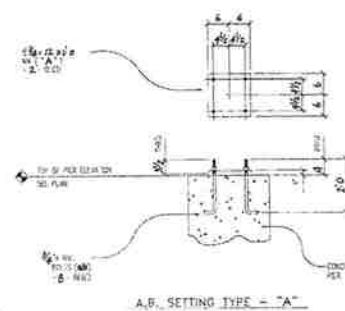
WEST X-BRACE FRAMING ELEVATION

NOT TO SCALE




MID X-BRACE FRAMING ELEVATION

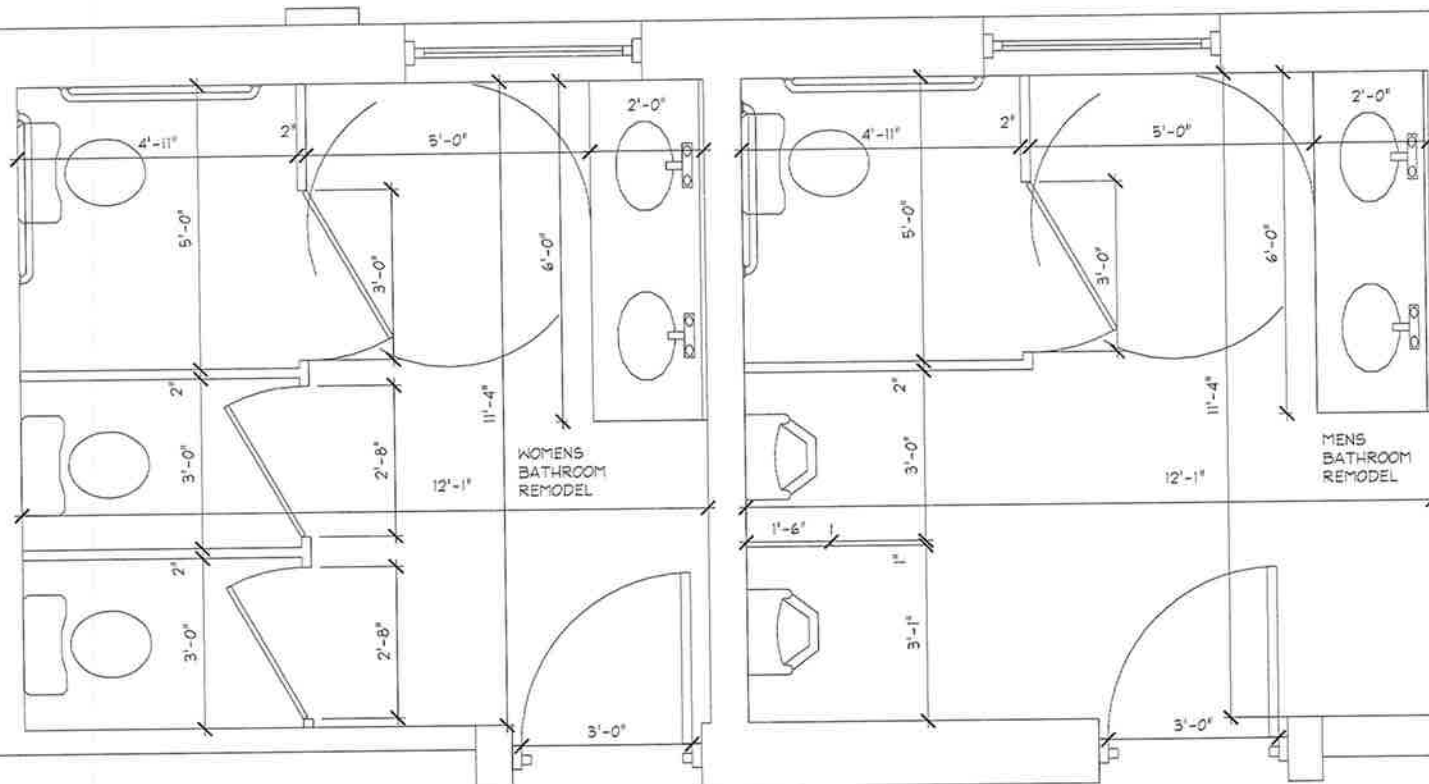
NOT TO SCALE



A.B. SETTING TYPE - "A"

NOTE:  
Superior Structural Corp. will not accept any back-charge  
incurred to repair errors, to furnish extra material, or to  
do extra work not stated on our drawings, without proper  
authorization.

REV	DESCRIPTION	BY	DATE
FOR APPROVAL	TO SHOP	TO FIELD	
B & R APPROVAL	AS BUILT	PROJECT	1 - 48
<div>  <b>Superior Structural Corp.</b>            Website: <a href="http://www.superiorstructural.com">http://www.superiorstructural.com</a>            E-mail: <a href="mailto:superior@superior.com">superior@superior.com</a>            Phone (262) 547-7372            Fax (262) 547-7344            2010 W. Lincoln, Jordan, WI 53146         </div>			
JOB NAME	Stein Forms Banquet Remodel	DRAWN BY	40H
LOCATION	5708 312th Ave Salem, WI 53168	CHECKED BY	
CONTRACTOR	Stein Forms	SCALE	1/4" = 1'-0"
DESCRIPTION	Framing Plan	DATE	10-18-17
		JOB NUMBER	#6658
		SHEET	E1



FLOOR PLAN  
1/8" = 1'-0"

**JENDUSA**  
DESIGN &  
ENGINEERING  
ARCHITECTS & ENGINEERS

145 S. Main Street  
Suite 203  
West Salem, WI 53168  
Phone: 262.714.1111  
Fax: 262.714.1112  
www.jendusa.com

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REVISIONS

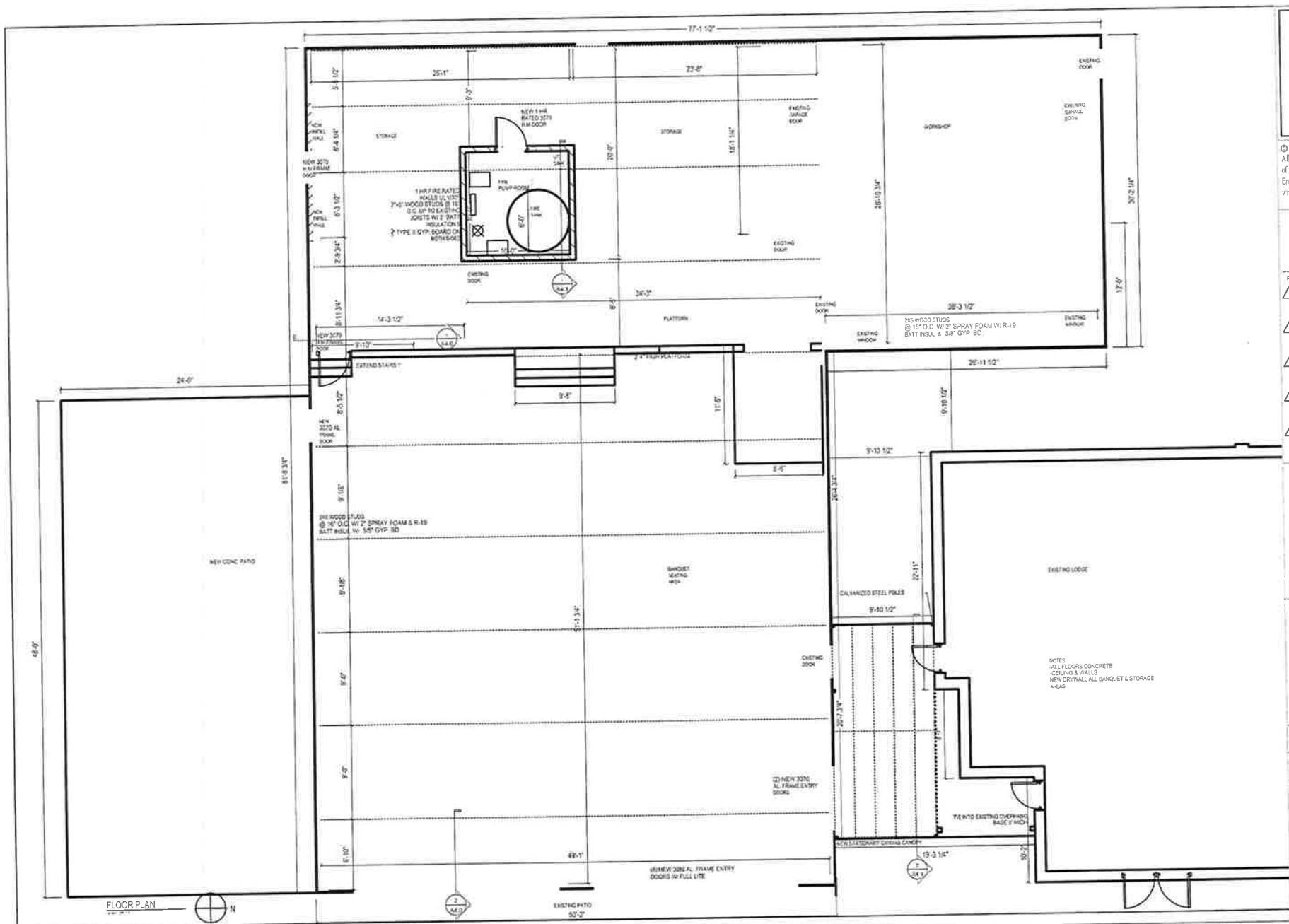
**STEIN FARMS  
LODGE REMODEL**

5708 312th Ave.  
Salem, WI 53168

SHEET TITLE  
**BATHROOM  
LODGE**

PROJECT NO.	17-4974
DATE	04/30/17
SCALE	As Noted
CHECKED BY	JFJ
DRAWN BY	BJB
SHEET	A1.1

18



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Engineering, Inc., and may not be used without prior  
written consent.

REVISIONS



## STEIN FARMS BANQUET REMODEL

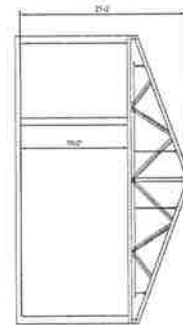
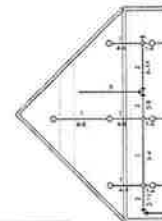
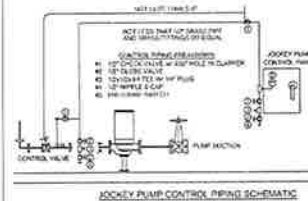
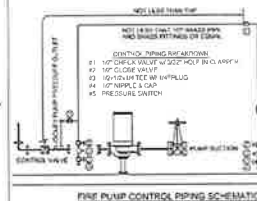
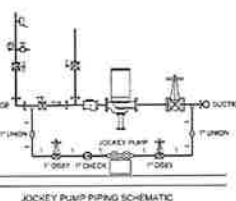
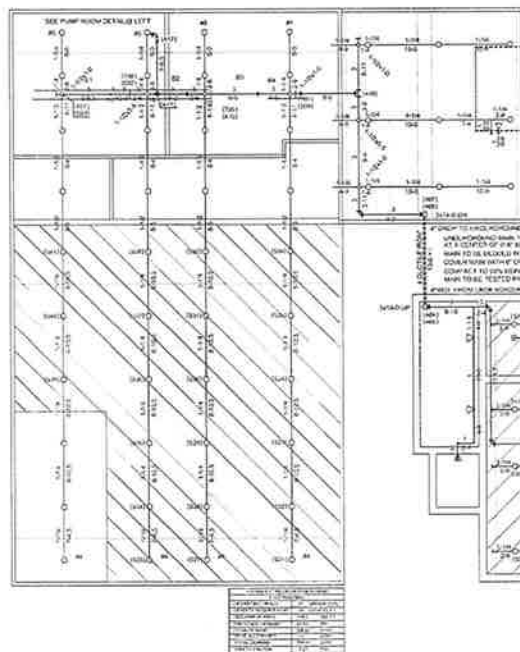
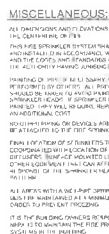
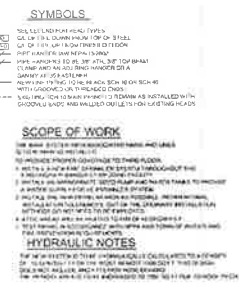
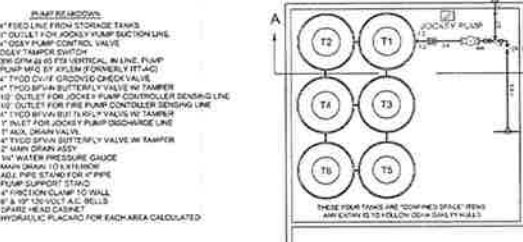
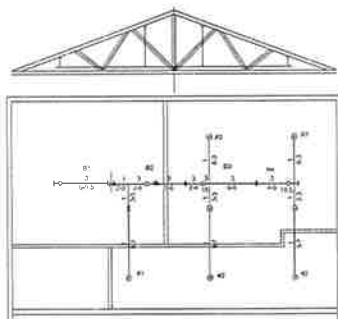
5708 312th Ave  
Salem, WI 53168

SHEET TITLE  
FLOOR PLAN

NOTES:  
ALL FLOORS CONCRETE  
CEILING & WALLS  
NEW DRYWALL ALL BANQUET & STORAGE  
AREAS

PROJECT NO.	17-4974
DATE	6/27/17
SCALE	As Noted
CHECKED BY	JFJ
DRAWN BY	BJB
SHEET	A1.0

19.



WATERFLOW INFORMATION		Symbols		Number of Spencers	
Symbol	Description	U.S. M	Feet	Total This Sheet	Total This Project
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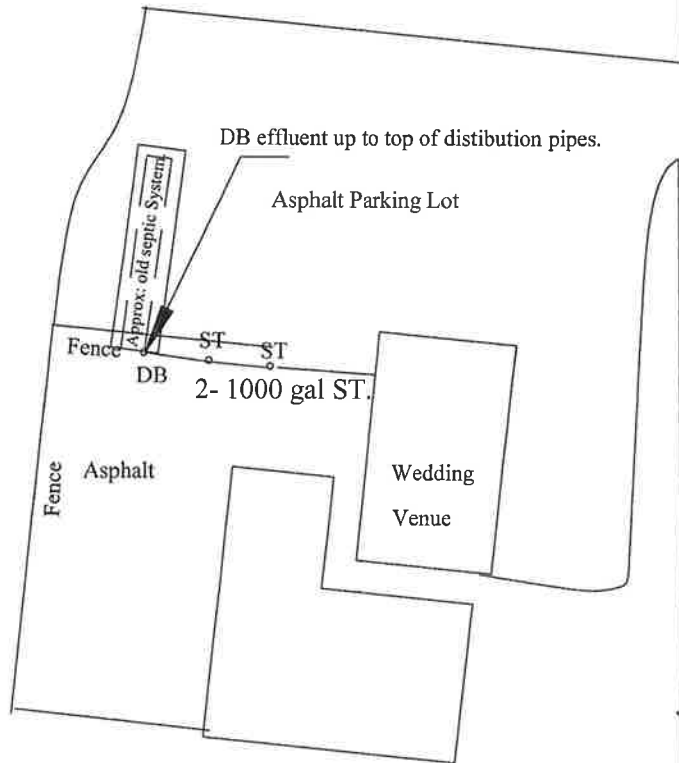
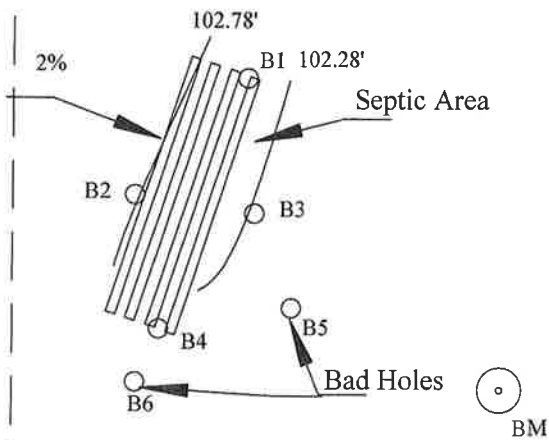
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 <b>UNITED MECHANICAL, INC.</b> 1400 E 15th St. TEL: 351-8181 FAX: 351-8122 RACINE, WIS 53405	
<b>STEIN FARMS BANQUET</b> AUTOMATIC FIRE PROTECTION 5708 312th AVENUE WHEATLAND, WI	
SCALE	REV #
QUALITY CONTROL BY	DATE
APPROVED FOR EXCAVATION BY	DATE
APPROVED FOR INSTALLATION BY	DATE
DRAWN BY	SHEET
DATE	OF

Scaled Area

1985

Well >300'



312th Ave. ("NN")

No Kitchen Waste.  
Assembly Hall Wedding Hall Primary used Saturday nights

275 People x 1.3 = 357.5 gals.

2 Floordrains x 25 = 50 gals.

2 Employees x 13 = 26 gals.

Total = 433.5 gals. x 1.5 = 651 gals.

16 +/- Acres

Property Owner  
Clem Stein  
5708 312th Ave.  
Salem, WI. 53168  
Location  
SE1/4 S36T2NR19E  
Town of Wheatland  
Kenosha County  
BM=100'

Nail 15"up in Multi trunk tree.

Scale 1"= 60'

(Except as noted)

Christian Johnson

220687/4-20-17

566.99'

498.19'

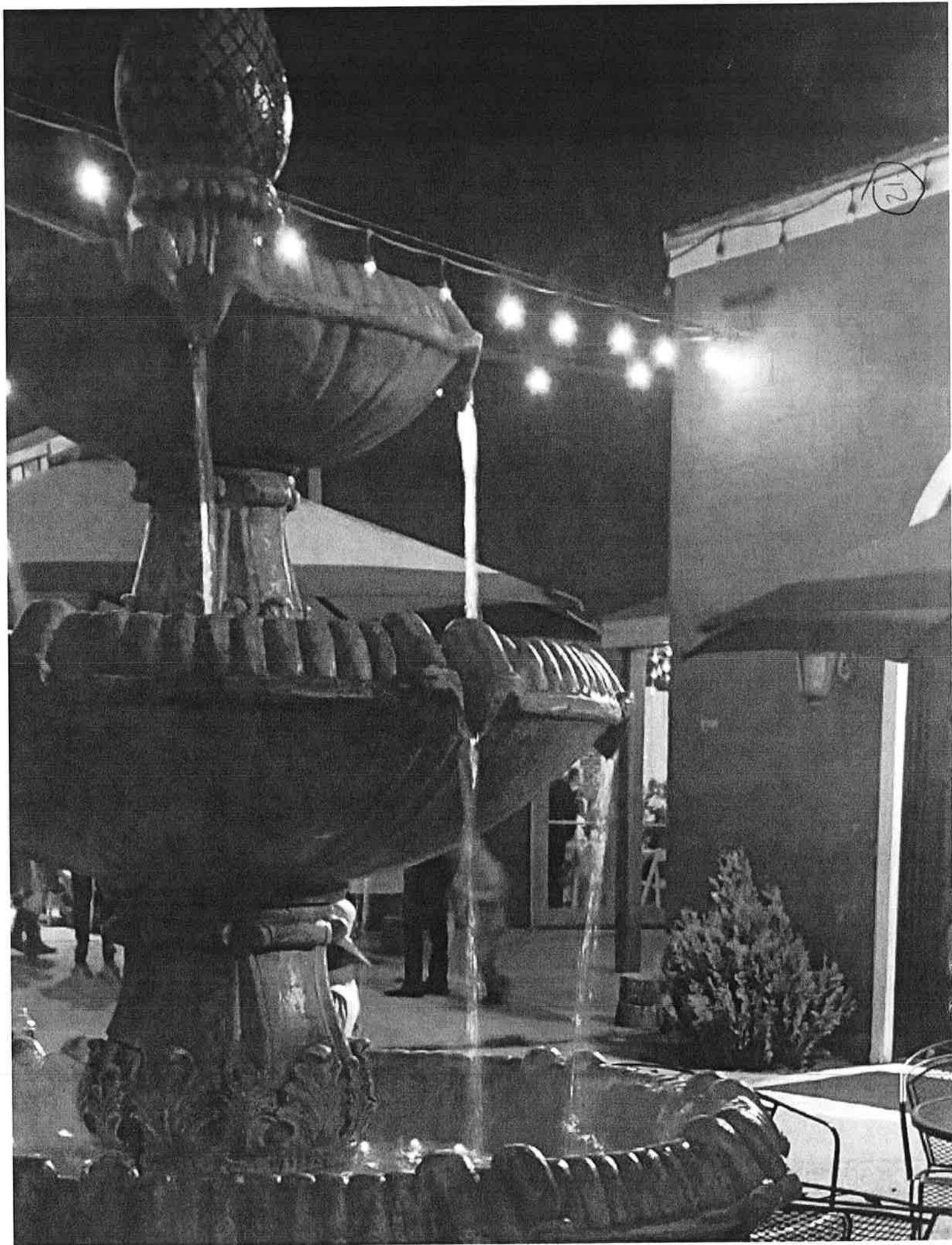


23.62'







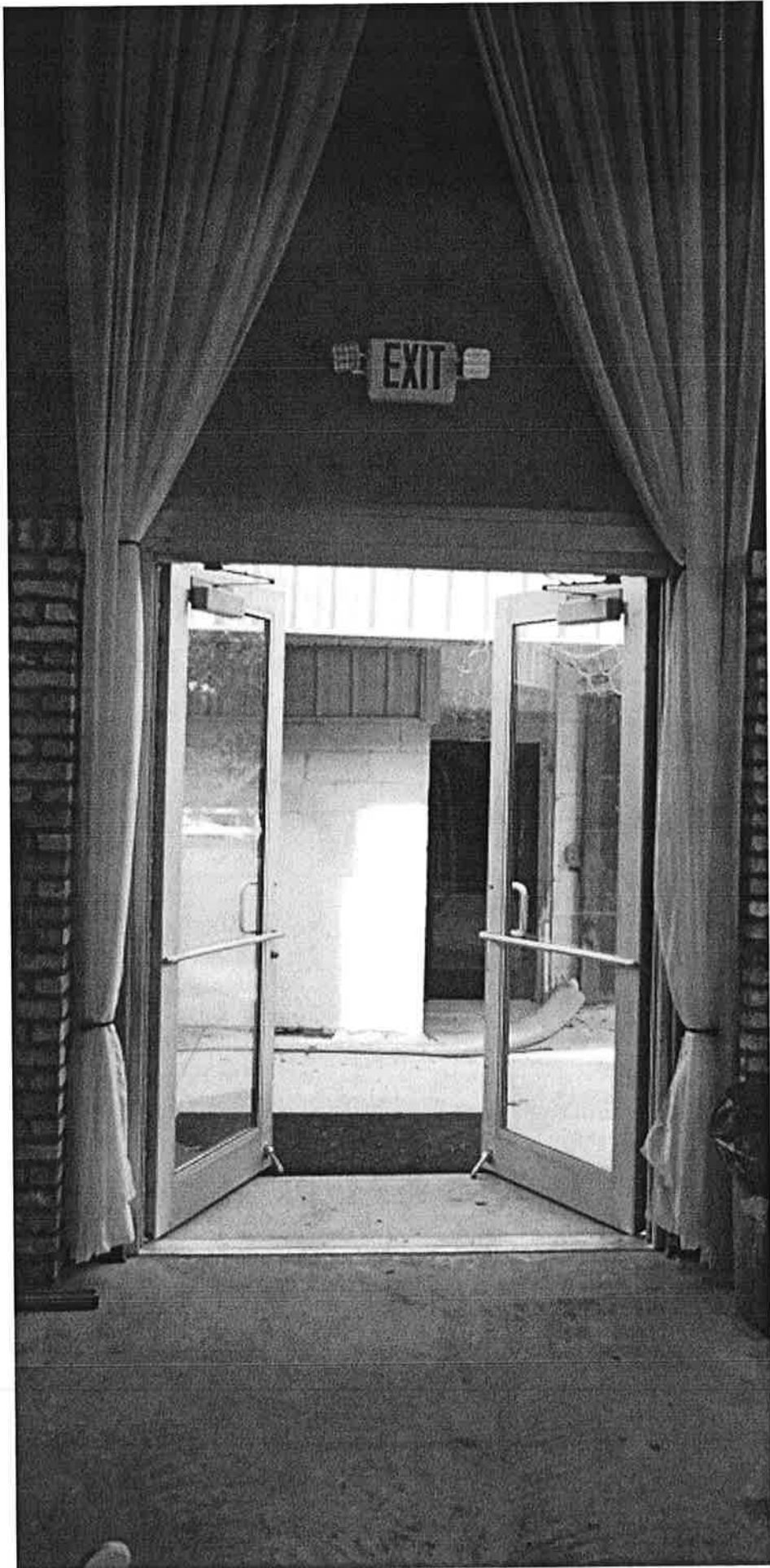




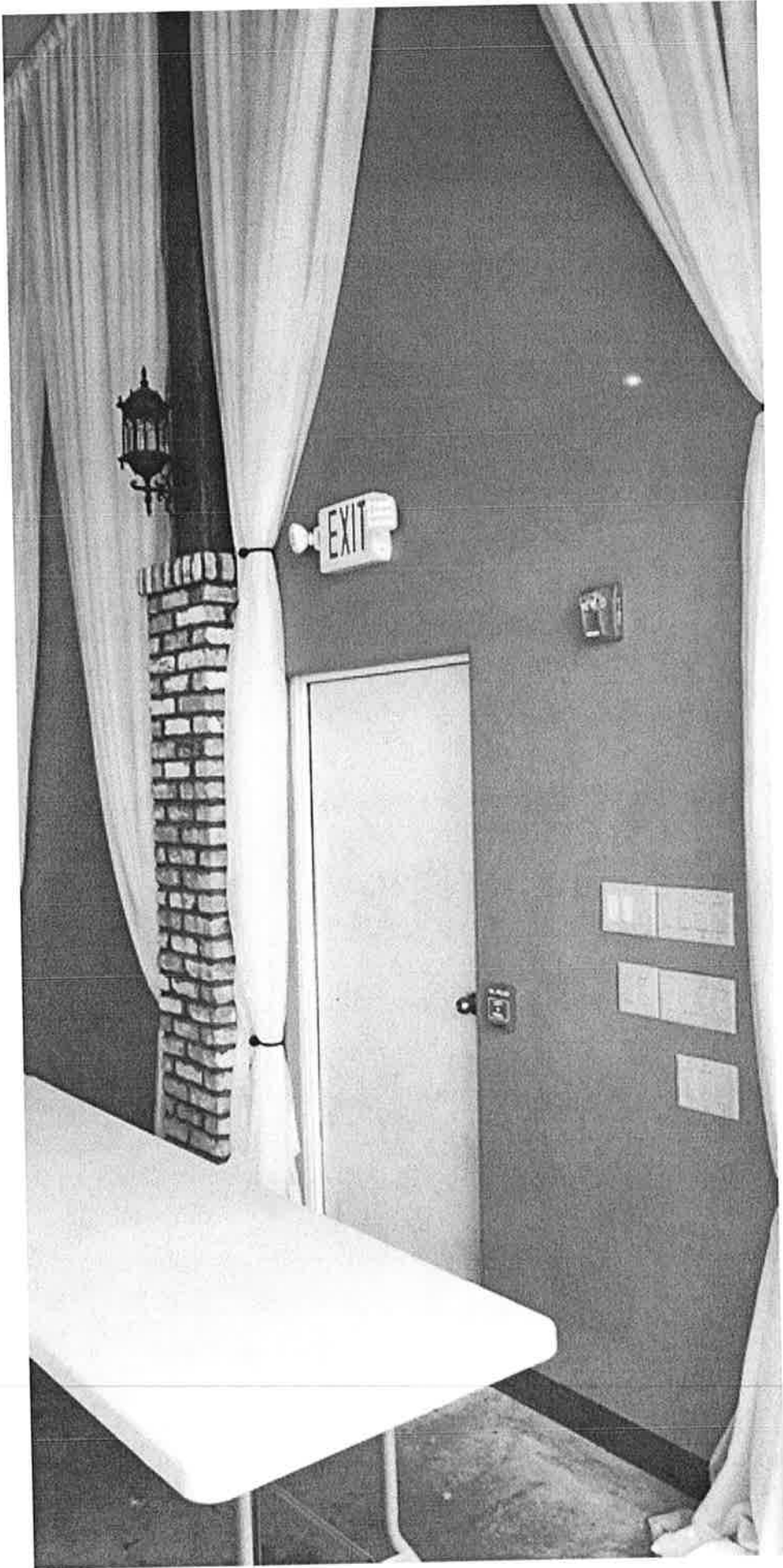




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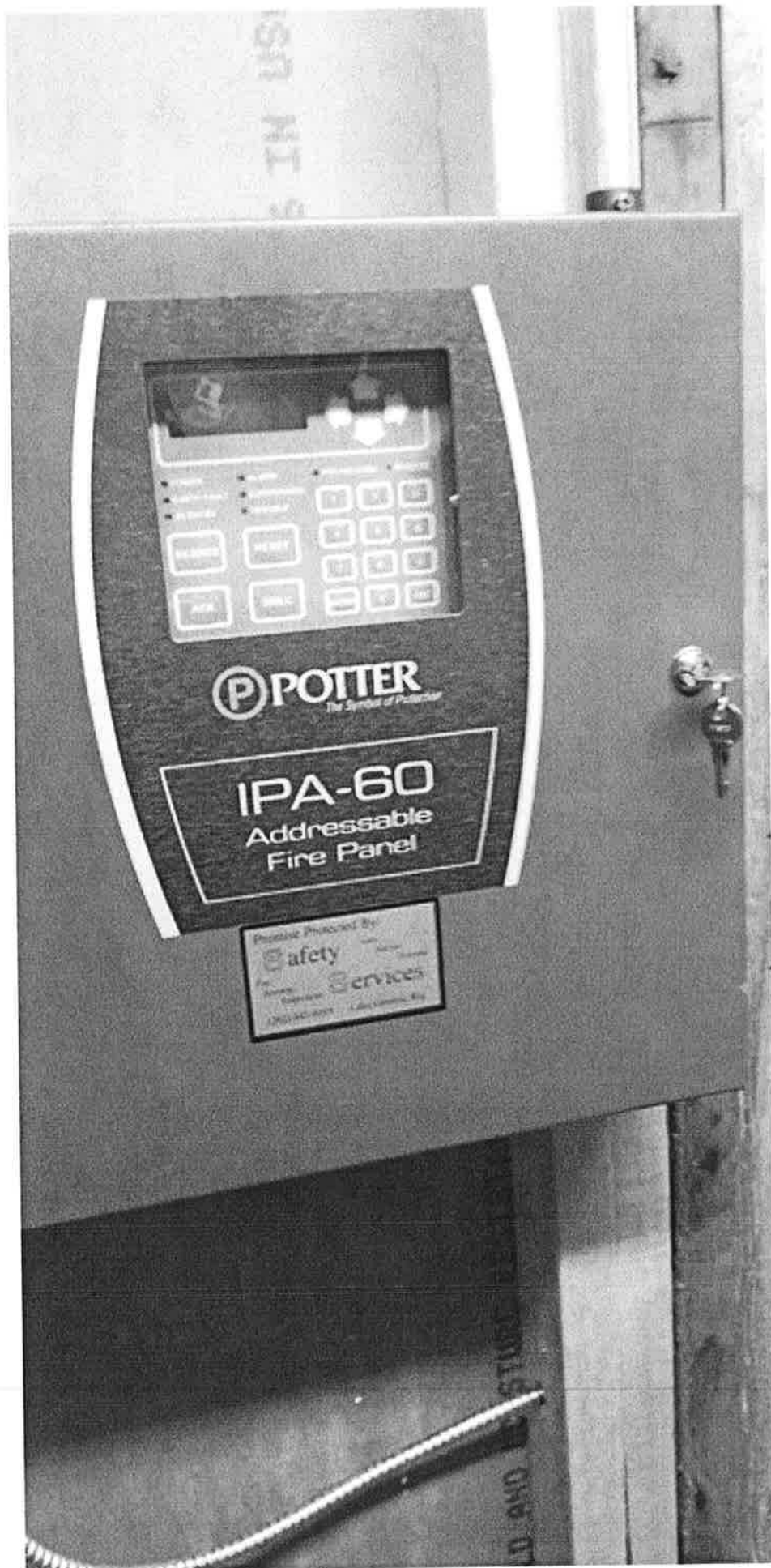


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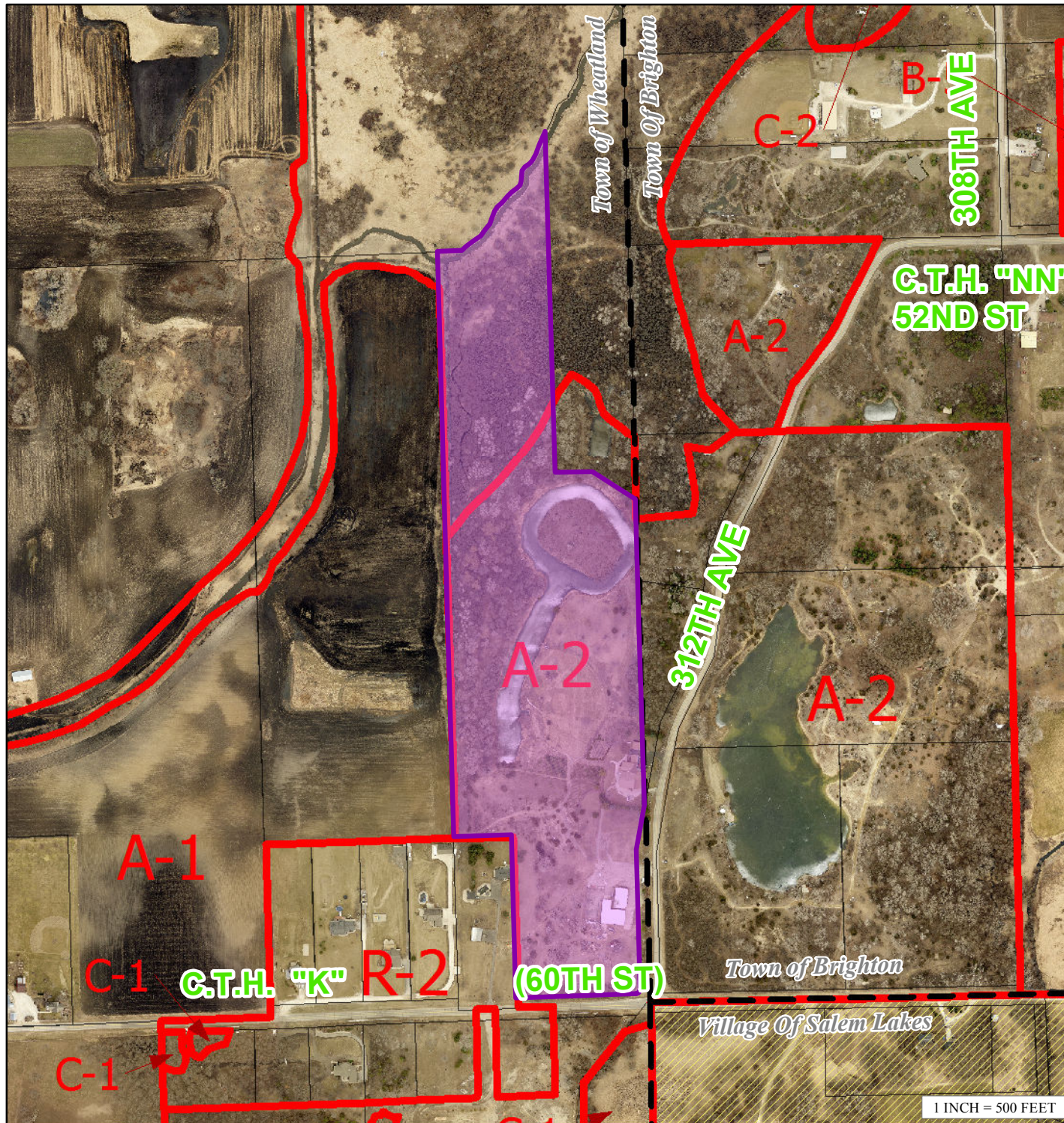




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## CONDITIONAL USE SITE MAP

### PETITIONER(S):

Clem Stein III (Owner)

### LOCATION:

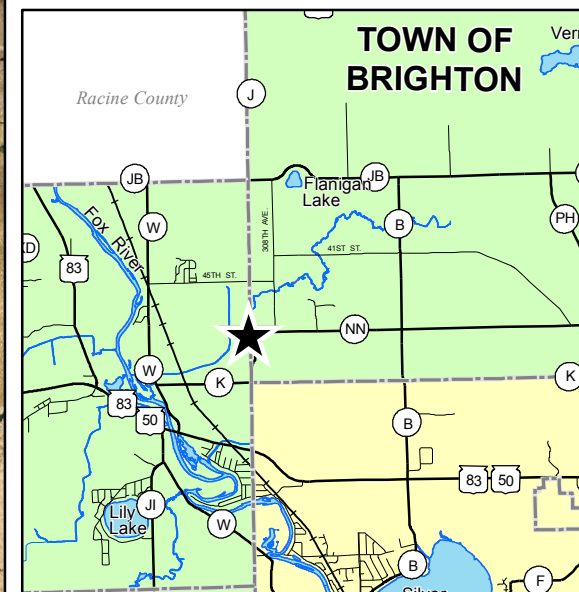
E 1/2 of Section 36  
Town 2N, Range 19E, Town of Wheatland

### TAX PARCEL(S):

#95-4-219-364-0112

### REQUEST:

Requesting a Conditional Use Permit to  
allow an event barn and a bed and breakfast







May 2013

# COUNTY OF KENOSHA

## Department of Planning and Development

RECEIVED

### REZONING APPLICATION

APR 04 2019

Kenosha County  
Planning and Development

(a) Property Owner's Name:

Thomas and Mary Paige Thelen  
Print Name: Mary Paige Thelen Signature: Mary Paige Thelen  
Mailing Address: 34202-116<sup>th</sup> Street  
City: Twin Lakes State: WI Zip: 53181  
Phone Number: 262-877-3718 (home) E-mail (optional):

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Timothy K Gaffron Signature: [Signature]  
Print Name: Timothy K Gaffron  
Business Name:  
Mailing Address: 10615 336<sup>th</sup> Ave  
City: Twin Lakes State: WI Zip: 53181  
Phone Number: 224-804-7335 E-mail (optional): tim.gaffron@thelensg.com

(c) Tax key number(s) of property to be rezoned:

60-4-19-273-0503

Property Address of property to be rezoned:

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):

Build a single family home in the front (South) Piece

## REZONING APPLICATION

(e) Check the box next to any and all of the **existing** zoning district classifications present on the subject property:

<input checked="" type="checkbox"/> A-1 Agricultural Preservation District	<input type="checkbox"/> TCO Town Center Overlay District
<input type="checkbox"/> A-2 General Agricultural District	<input type="checkbox"/> B-1 Neighborhood Business District
<input type="checkbox"/> A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	<input type="checkbox"/> B-2 Community Business District
<input type="checkbox"/> A-4 Agricultural Land Holding District	<input type="checkbox"/> B-3 Highway Business District
<input type="checkbox"/> AE-1 Agricultural Equestrian Cluster Single-Family District	<input type="checkbox"/> B-4 Planned Business District
<input type="checkbox"/> R-1 Rural Residential District	<input type="checkbox"/> B-5 Wholesale Trade and Warehousing District
<input type="checkbox"/> R-2 Suburban Single-Family Residential District	<input type="checkbox"/> BP-1 Business Park District
<input type="checkbox"/> R-3 Urban Single-Family Residential District	<input type="checkbox"/> B-94 Interstate Highway 94 Special Use Business District
<input type="checkbox"/> R-4 Urban Single-Family Residential District	<input type="checkbox"/> M-1 Limited Manufacturing District
<input type="checkbox"/> R-5 Urban Single-Family Residential District	<input type="checkbox"/> M-2 Heavy Manufacturing District
<input type="checkbox"/> R-6 Urban Single-Family Residential District	<input type="checkbox"/> M-3 Mineral Extraction District
<input type="checkbox"/> R-7 Suburban Two-Family and Three-Family Residential District	<input type="checkbox"/> M-4 Sanitary Landfill and Hazardous Waste Disposal District
<input type="checkbox"/> R-8 Urban Two-Family Residential District	<input type="checkbox"/> I-1 Institutional District
<input type="checkbox"/> R-9 Multiple-Family Residential District	<input type="checkbox"/> PR-1 Park-Recreational District
<input type="checkbox"/> R-10 Multiple-Family Residential District	<input checked="" type="checkbox"/> C-1 Lowland Resource Conservancy District
<input type="checkbox"/> R-11 Multiple-Family Residential District	<input type="checkbox"/> C-2 Upland Resource Conservancy District
<input type="checkbox"/> R-12 Mobile Home/Manufactured Home Park-Subdivision District	<input type="checkbox"/> FPO Floodplain Overlay District
<input type="checkbox"/> HO Historical Overlay District	<input type="checkbox"/> FWO Camp Lake/Center Lake Floodway Overlay District
<input type="checkbox"/> PUD Planned Unit Development Overlay District	<input type="checkbox"/> FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
<input type="checkbox"/> AO Airport Overlay District	
<input type="checkbox"/> RC Rural Cluster Development Overlay District	

(f) Check the box next to any and all of the **proposed** zoning district classifications proposed for the subject property:

<input type="checkbox"/> A-1 Agricultural Preservation District	<input type="checkbox"/> TCO Town Center Overlay District
<input type="checkbox"/> A-2 General Agricultural District	<input type="checkbox"/> B-1 Neighborhood Business District
<input type="checkbox"/> A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	<input type="checkbox"/> B-2 Community Business District
<input type="checkbox"/> A-4 Agricultural Land Holding District	<input type="checkbox"/> B-3 Highway Business District
<input type="checkbox"/> AE-1 Agricultural Equestrian Cluster Single-Family District	<input type="checkbox"/> B-4 Planned Business District
<input checked="" type="checkbox"/> R-1 Rural Residential District	<input type="checkbox"/> B-5 Wholesale Trade and Warehousing District
<input type="checkbox"/> R-2 Suburban Single-Family Residential District	<input type="checkbox"/> BP-1 Business Park District
<input type="checkbox"/> R-3 Urban Single-Family Residential District	<input type="checkbox"/> B-94 Interstate Highway 94 Special Use Business District
<input type="checkbox"/> R-4 Urban Single-Family Residential District	<input type="checkbox"/> M-1 Limited Manufacturing District
<input type="checkbox"/> R-5 Urban Single-Family Residential District	<input type="checkbox"/> M-2 Heavy Manufacturing District
<input type="checkbox"/> R-6 Urban Single-Family Residential District	<input type="checkbox"/> M-3 Mineral Extraction District
<input type="checkbox"/> R-7 Suburban Two-Family and Three-Family Residential District	<input type="checkbox"/> M-4 Sanitary Landfill and Hazardous Waste Disposal District
<input type="checkbox"/> R-8 Urban Two-Family Residential District	<input type="checkbox"/> I-1 Institutional District
<input type="checkbox"/> R-9 Multiple-Family Residential District	<input type="checkbox"/> PR-1 Park-Recreational District
<input type="checkbox"/> R-10 Multiple-Family Residential District	<input checked="" type="checkbox"/> C-1 Lowland Resource Conservancy District
<input type="checkbox"/> R-11 Multiple-Family Residential District	<input type="checkbox"/> C-2 Upland Resource Conservancy District
<input type="checkbox"/> R-12 Mobile Home/Manufactured Home Park-Subdivision District	<input type="checkbox"/> FPO Floodplain Overlay District
<input type="checkbox"/> HO Historical Overlay District	<input type="checkbox"/> FWO Camp Lake/Center Lake Floodway Overlay District
<input type="checkbox"/> PUD Planned Unit Development Overlay District	<input type="checkbox"/> FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
<input type="checkbox"/> AO Airport Overlay District	
<input type="checkbox"/> RC Rural Cluster Development Overlay District	

## REZONING APPLICATION

(g) Your request must be consistent with the existing planned land use category as shown on Map 65 of the adopted "Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035".

The existing planned land use category for the subject property is:

<input type="checkbox"/> Farmland Protection	<input type="checkbox"/> Governmental and Institutional
<input type="checkbox"/> General Agricultural and Open Land	<input type="checkbox"/> Park and Recreational
<input type="checkbox"/> Rural-Density Residential	<input type="checkbox"/> Street and Highway Right-of-Way
<input checked="" type="checkbox"/> Agricultural and Rural Density Residential	<input type="checkbox"/> Other Transportation, Communication, and Utility
<input type="checkbox"/> Suburban-Density Residential	<input type="checkbox"/> Extractive
<input type="checkbox"/> Medium-Density Residential	<input type="checkbox"/> Landfill
<input type="checkbox"/> High-Density Residential	<input type="checkbox"/> Primary Environmental Corridor
<input type="checkbox"/> Mixed Use	<input checked="" type="checkbox"/> Secondary Environmental Corridor
<input type="checkbox"/> Commercial	<input type="checkbox"/> Isolated Natural Resource Area
<input type="checkbox"/> Office/Professional Services	<input type="checkbox"/> Other Conservancy Land to be Preserved
<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Nonfarmed Wetland
<input type="checkbox"/> Business/Industrial Park	<input type="checkbox"/> Surface Water

(h) Attach a plot plan or survey plat of property to be rezoned (showing location, dimensions, zoning of adjacent properties, existing uses and buildings of adjacent properties, floodways and floodplains)—drawn to scale.

(i) The Kenosha County Department of Planning and Development may ask for additional information.

(j) The name of the County Supervisor of the district wherein the property is located (District Map):

Supervisory District Number: 21 County Board Supervisor: Mark Nordgian

(k) The fee specified in Section 12.05-8 of this ordinance.

Request for Rezoning Petition .....\$750.00

(For other fees see the Fee Schedule)

### Note: Agricultural Use Conversion Charge

The use value assessment system values agricultural land based on the income that would be generated from its rental for agricultural use rather than its fair market value. When a person converts agricultural land to a non-agricultural use (e.g. residential or commercial development), that person may owe a conversion charge. To obtain more information about the use value law or conversion charge, contact the Wisconsin Department of Revenue's Equalization Section at 608-266-2149 or visit <http://www.revenue.wi.gov/faqs/slf/useassmt.html>.

Note that the act of rezoning property from an agricultural zoning district to a non-agricultural zoning district does not necessarily trigger the agricultural use conversion charge. It is when the use of the property changes from agricultural that the conversion charge is assessed.

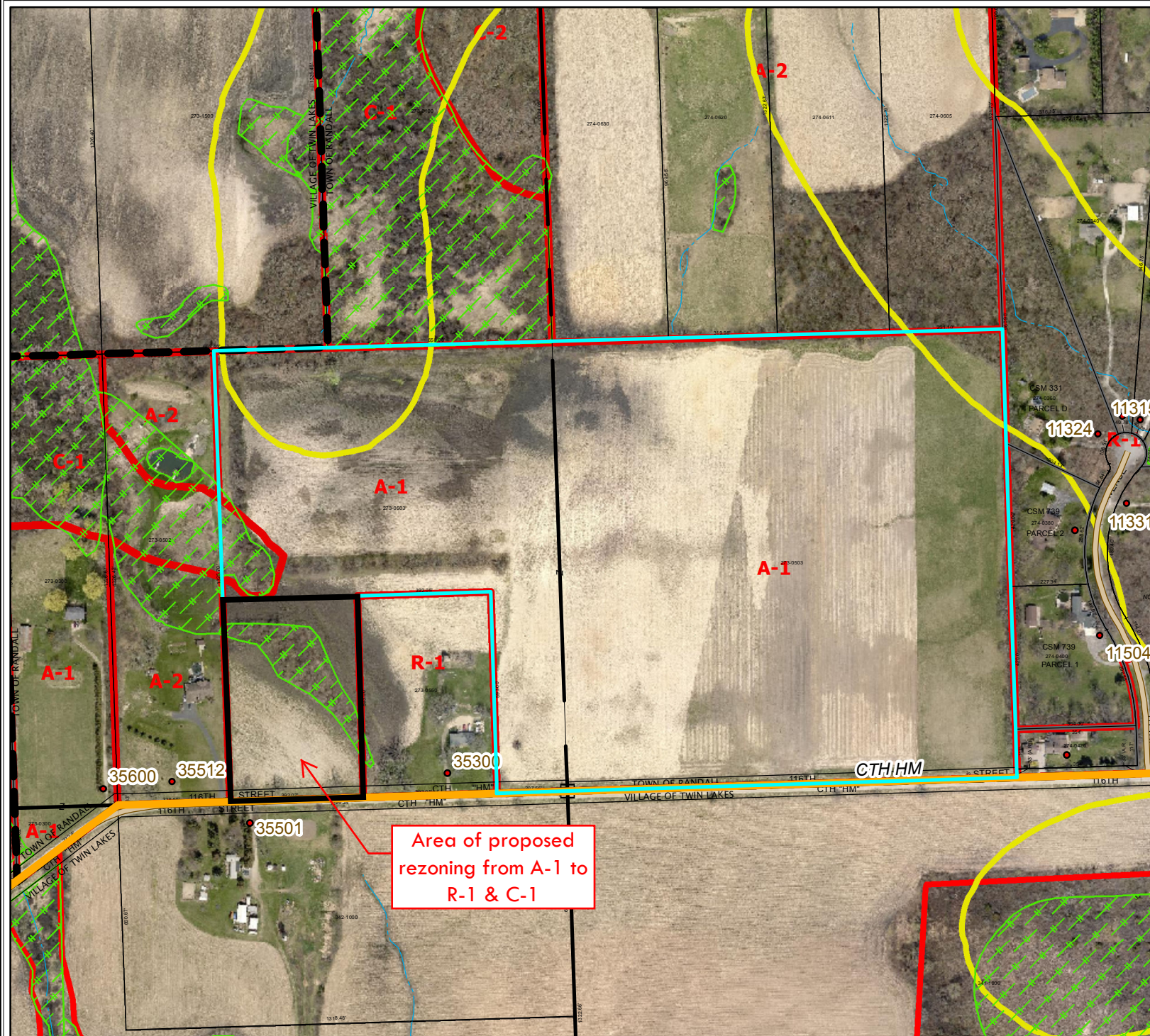


# Kenosha County



1 inch = 400 feet

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INNACURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT KENOSHA COUNTY.





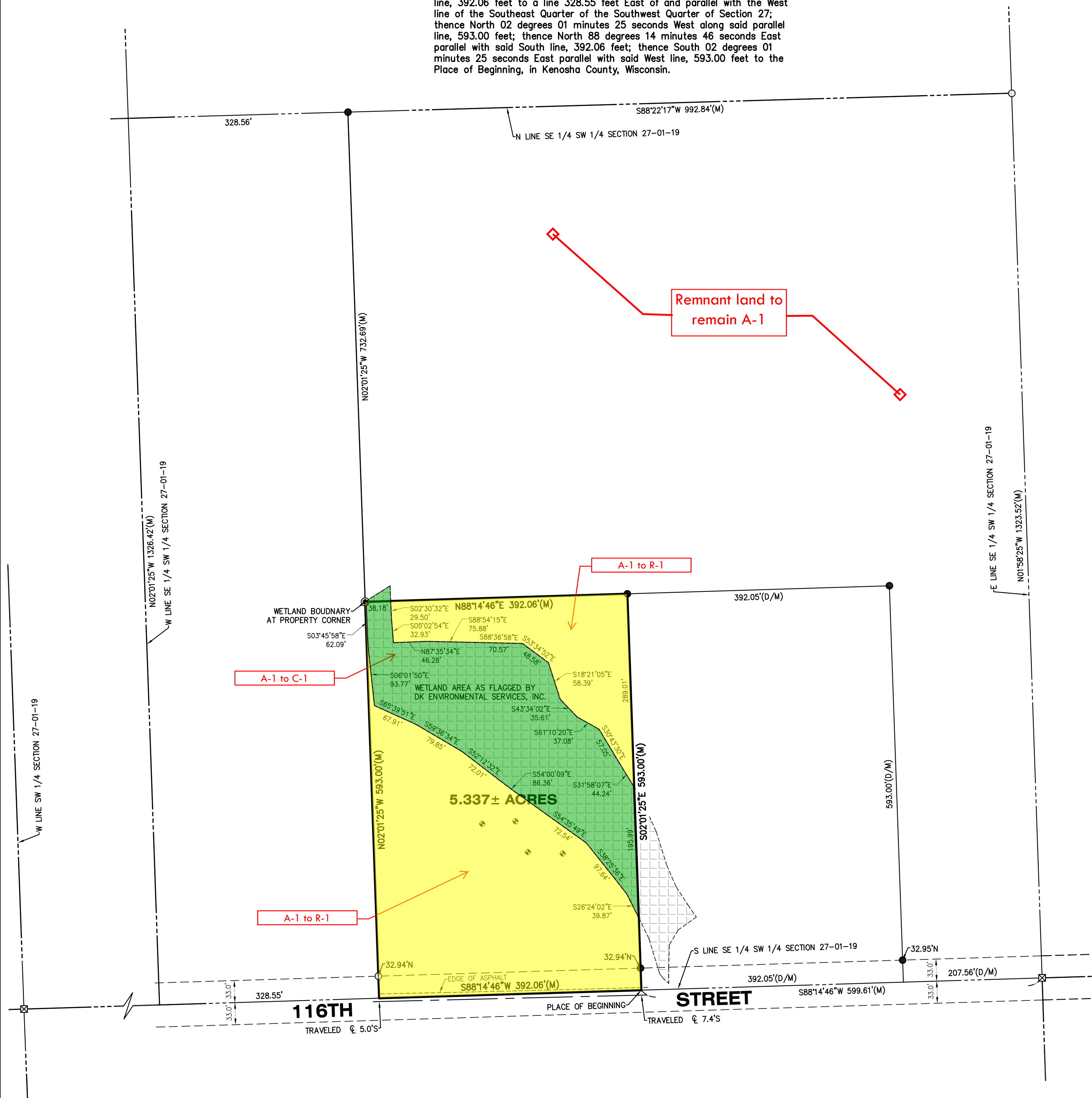


Vanderstappen  
Land Surveying, Inc.

www.vandersinc.com  
1316 N. Madison St.  
Woodstock, Illinois 60098  
ph. 815-337-8310 fax 815-337-8314  
"Always faithful to the property line"

# PLAT OF SURVEY

Part of the Southeast Quarter of the Southwest Quarter of Section 27, Township 1 North, Range 19 East of the Fourth Principal Meridian, being described as follows: Commencing at the Southeast corner of said Southeast Quarter of the Southwest Quarter; thence South 88 degrees 14 minutes 46 seconds West along the South line of said Southeast Quarter of the Southwest Quarter, 599.61 feet to the Place of Beginning; thence continuing South 88 degrees 14 minutes 46 seconds West along said South line, 392.06 feet to a line 328.55 feet East of and parallel with the West line of the Southeast Quarter of the Southwest Quarter of Section 27; thence North 02 degrees 01 minutes 25 seconds West along said parallel line, 593.00 feet; thence North 88 degrees 14 minutes 46 seconds East parallel with said South line, 392.06 feet; thence South 02 degrees 01 minutes 25 seconds East parallel with said West line, 593.00 feet to the Place of Beginning, in Kenosha County, Wisconsin.



## LEGEND

●	FOUND IRON BAR
○	FOUND IRON PIPE
⊠	FOUND MONUMENT
⊙	SET IRON BAR
(D)	DEED
(R)	RECORD
(M)	MEASURE
⊕	PERCOLATOR HOLE

CLIENT: TOM THELEN

DRAWN BY: SES CHECKED BY: WJV

SCALE: 1"=100' SEC. 27 T. 1 R. 19 E.

BASIS OF BEARING: W STATE PLANE S ZONE (NAD-27)

P.I.N.: 60-4-119-273-0503

JOB NO.: 180851 I.D. MBS

FIELDWORK COMP.: 11/13/18 BK. PG.

ALL DISTANCES SHOWN IN FEET AND DECIMAL REF: PARTS THEREOF CORRECTED TO 68° F.

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed contains a proper description of the required building lines or easements.

- \* No distance should be assumed by scaling.
- \* No underground improvements have been located unless shown and noted.
- \* No representation as to ownership, use, or possession should be hereon implied.
- \* This Survey and Plat of Survey are void without original embossed or colored seal and signature affixed.

Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

12/19/18 - ADDED SOIL BORING HOLE LOCATIONS. GMJ

4/2/19 - ADDED WETLAND DELINEATION. APG

STATE OF ILLINOIS )  
COUNTY OF McHENRY ) S.S.

In my professional opinion, and based on my observations, I hereby certify that the above described property has been surveyed under my direction and that the above map is a true representation thereof and shows the size and location of all visible structures, and dimensions of all principle buildings thereon, boundary fences, apparent easements, roadways, and visible encroachments, if any. This survey is made for the use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one year from the date hereof.

Dated at Woodstock, McHenry County, Illinois 11/15 A.D., 2018.

Vanderstappen Land Surveying, Inc.  
Design Firm No. 184-002792

By: Wisconsin Registered Land Surveyor No. S1777

Tim Gaffron

[tim\\_g\\_1983@hotmail.com](mailto:tim_g_1983@hotmail.com)

March 18, 2019

## **Preliminary Wetland Investigation and Field Reconnaissance Summary**

Vacant Agricultural Site – 5.3 acres

116<sup>th</sup> Street, Town of Randall, WI

PIN#: 60-4-119-273-0503 SW ¼ Section 27 - Township 1 – Range 19E

### **INTRODUCTION**

This preliminary wetland summary follows a review of source materials, including topographic survey and environmental resource mapping tools, and is based on observations of field conditions at the time of the site visit by DK Environmental Services, Inc. (DKES). On March 16, 2019, DKES staff conducted a wetland field inspection and of the ±5.3 acre AG property described above. A total of one (1) regulatory wetlands/waters of the U.S. (WOUS) was identified within or adjacent to the boundaries of the study site, and is marked with numbered pink stakes and ribbon flags affixed to live vegetation for survey by others.

### **RESULTS**

DKES identified a total of one area of wetland/WOUS at the within the subject property. The channel originates south of 116<sup>th</sup> street, entering the site via a culvert, and drains northwest through the subject parcel. The drainageway and wetland complex expands and then continues off-site to the northwest.

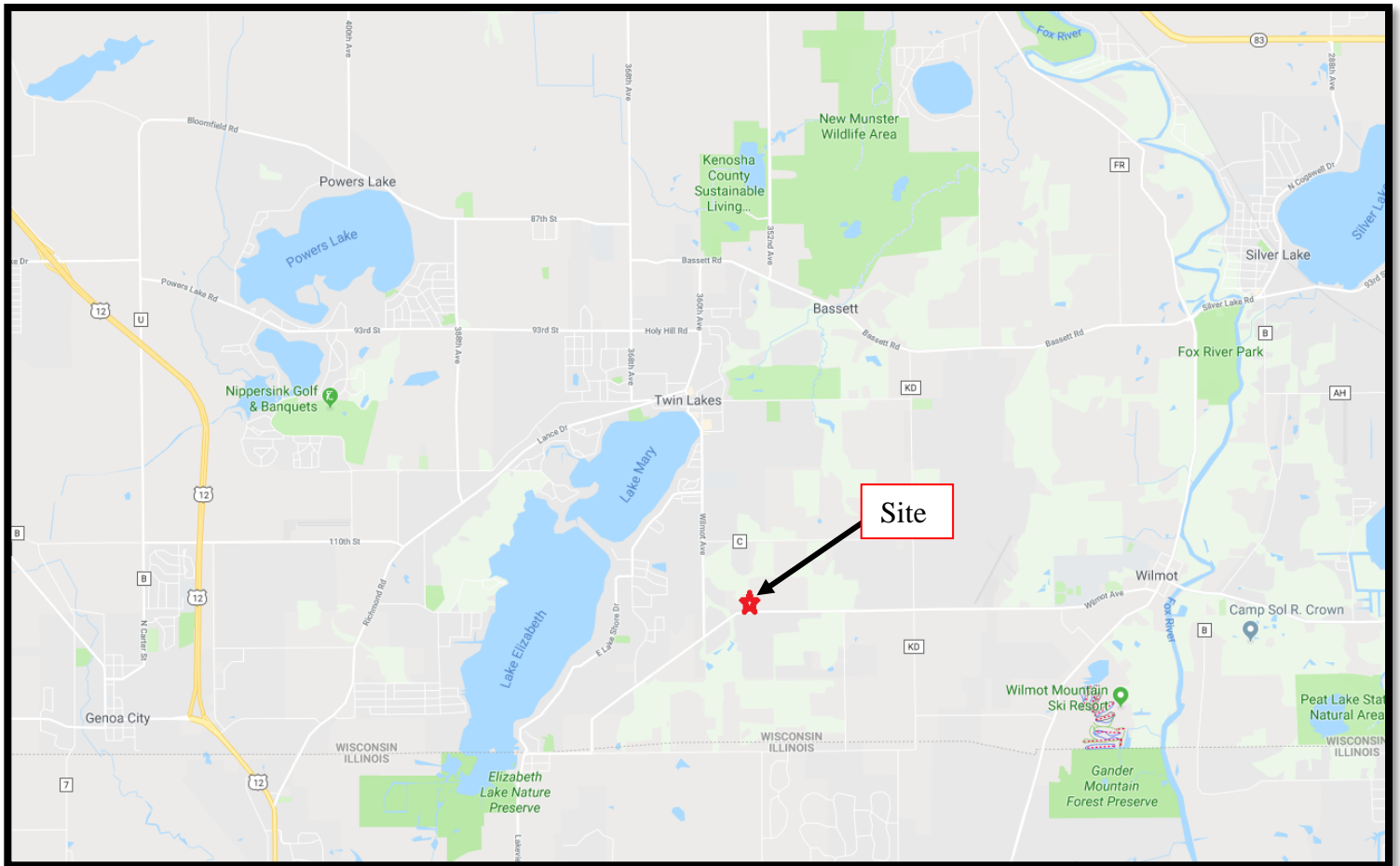
The wetland was not found to be a high-quality aquatic resource (HQAR). The approximate wetland location and extent are depicted on Exhibit 1 (Page 2), and is summarized in the table below:

WETLAND AREA	TYPE	MAPPED SOIL SERIES	JURISDICTION*	HQAR	FLAG #'s	Approx. size (ac.) on site
A	emergent marsh /creek, seasonally inundated	Ph Pella silty clay loam 0 to 2% slopes poorly-drained hydric	USACE	No	A1 – A33 ribbon flags	1.0 ac.
<i>*Note: Jurisdiction must be confirmed by USACE and/or WDNR</i>						



## **Exhibit 1: Location Map**

**Vacant Agricultural Site – 5.3 acres**  
**116<sup>th</sup> Street, Town of Randall, WI**  
**PIN#: 60-4-119-273-0503 SW ¼ Section 27 - Township 1 – Range 19E**



## **Exhibit 2: NRCS Soil Survey**

The following soils are mapped within the area studied:

**Ph: Pella silt loam** (hydric), poorly-drained, 0-2% slopes

**MyB: Miami silt loam**, (non-hydric), well-drained, 2-6% slopes





### **Exhibit 3: Kenosha County Wetlands Inventory**

The Kenosha County Wetlands Inventory Map was reviewed to identify the potential for the presence and general extent of mapped wetlands on the subject parcel and surrounding properties. Locations of potential wetlands and open water are shaded blue to indicate that wetlands may be present in the areas shown.

Wetlands/Waters are identified within the area of the study site. There are no known high quality aquatic resources or advanced identification (ADID) wetlands identified on the map in the vicinity of the property.

[Note: The map serves only as a large-scale guide and the actual locations of wetlands identified on-site vary.]



Description of wetland:

Wetlands dominated by trees, shrubs, persistent emergent vegetation, Characterized by erect, rooted, herbaceous hydrophytes. This vegetation is present for most of the growing season in most years. These wetlands are usually dominated by perennial plants. Dominated by species that normally remain standing at least until the beginning of the next growing season

Water Regime **Seasonally Flooded:** Surface water is present for extended periods especially early in the growing season, but is absent by the end of the growing season in most years. The water table after flooding ceases is variable, extending from saturated to the surface to a water table well below the ground surface.



**Exhibit 4: Approximate Wetland Boundaries Identified – 2015 Aerial Photo**

- *Wetland A: Flags A1 – A33*



Please contact our office should you have any questions or if I can be of further assistance.

Sincerely,

Daniel J. Krill CPESC, CWS #002  
Principal Wetland Specialist



## REZONING SITE MAP

PETITIONER(S):

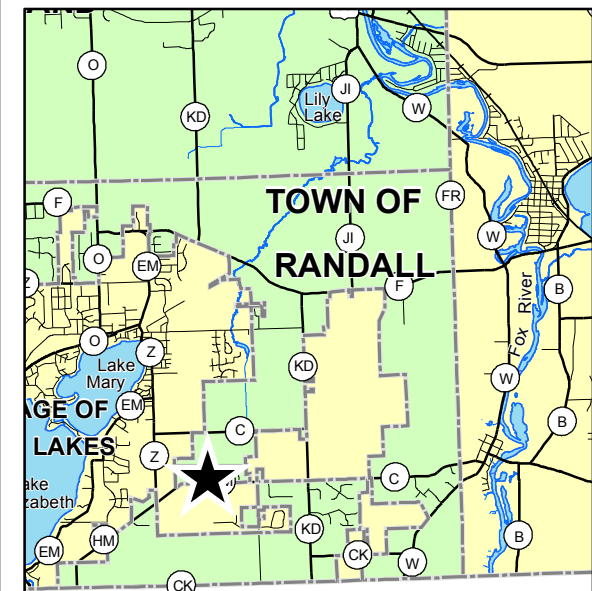
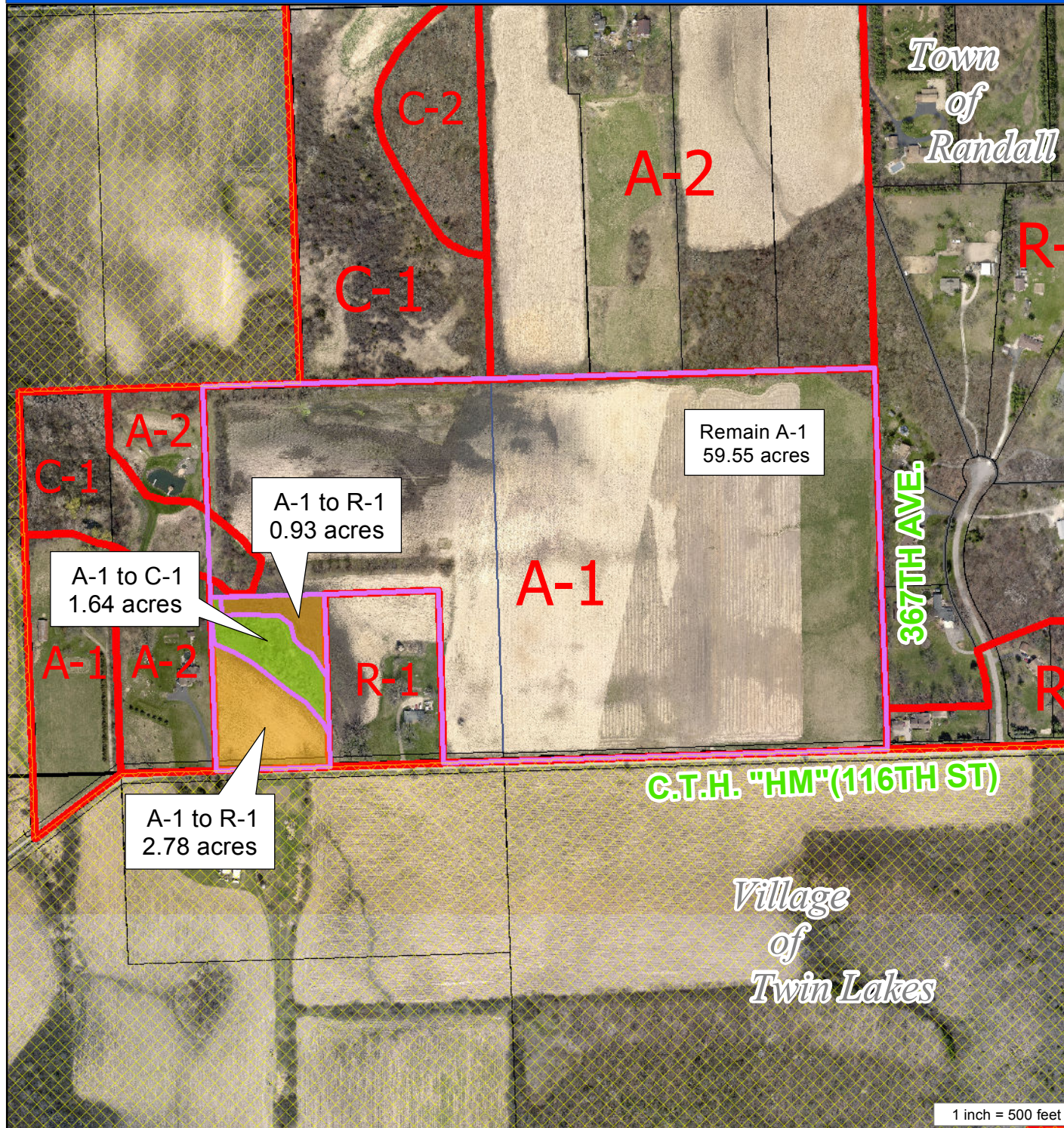
Thomas H. & Mary Paige Thelen (Owner)

LOCATION: SW 1/4 of Section 27,  
Town of Randall

TAX PARCEL(S): #60-4-119-273-0503

REQUEST:

Requesting a rezoning from A-1  
Agricultural Preservation Dist &  
C-1 Lowland Resource Conservancy  
Dist. to A-1 Agricultural Preservation Dist.,  
R-1 Rural Residential Dist. & C-1 Lowland  
Resource Conservancy Dist.







January 2013

# COUNTY OF KENOSHA

## Department of Planning and Development

RECEIVED

APR 04 2019

Kenosha County  
Planning and Development

### LAND DIVISION APPLICATION

In order for applications to be processed, all information, drawings, application signatures, and fees required shall be submitted at time of application.

Please check the appropriate box below for the type of application being submitted:

- ☒ Certified Survey Map
- ☐ Subdivision Preliminary Plat
- ☐ Subdivision Final Plat
- ☐ Condominium Plat

Applicant is: ☒ Property Owner ☐ Subdivider ☐ Other \_\_\_\_\_

Applicant Name: Mary Paige Thelen Date 4/4/19

Mailing Address: 34202-116<sup>th</sup> St Phone # 847-417-7866  
Twin Lakes WI 53181 Home Phone # 262-877-3718

Tax Parcel Number(s): 606-4-119-273-0503

\_\_\_\_\_ Acreage of Project: 5.377

Location of Property (including legal description):

See attached CSM  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Subdivision/Development Name (if applicable): \_\_\_\_\_

Existing Zoning: A1 Proposed Zoning: R1

LAND DIVISION  
APPLICATION

Town Land Use Plan District Designation(s) (if applicable):

Present Ag and Rural density Residential

Proposed Same

Present Use(s) of Property: Agricultural

Proposed Use(s) of Property: Residential / Single Family home

The subdivision abuts or adjoins a state trunk highway..... Yes ( ) No (☒)

The subdivision will be served by public sewer ..... Yes ( ) No (☒)

The subdivision abuts a county trunk highway ..... Yes (☒) No ( )

The subdivision contains shoreland/floodplain areas ..... Yes ( ) No (☒)

The subdivision lies within the extra-territorial plat (ETP) authority  
area of a nearby Village or City ..... Yes (☒) No ( )

\*Applicant is responsible for submitting to the ETP authority any fees and documentation  
needed to obtain a recommendation.

REQUIRED SIGNATURE(S) FOR ALL APPLICATIONS:

Mary Paige Shee 4/4/19  
Property Owner's Signature Date

\_\_\_\_\_  
Property Owner's Signature Date

REQUIRED APPLICABLE SIGNATURES:

[Signature] 4/4/19  
Applicant's Signature Date

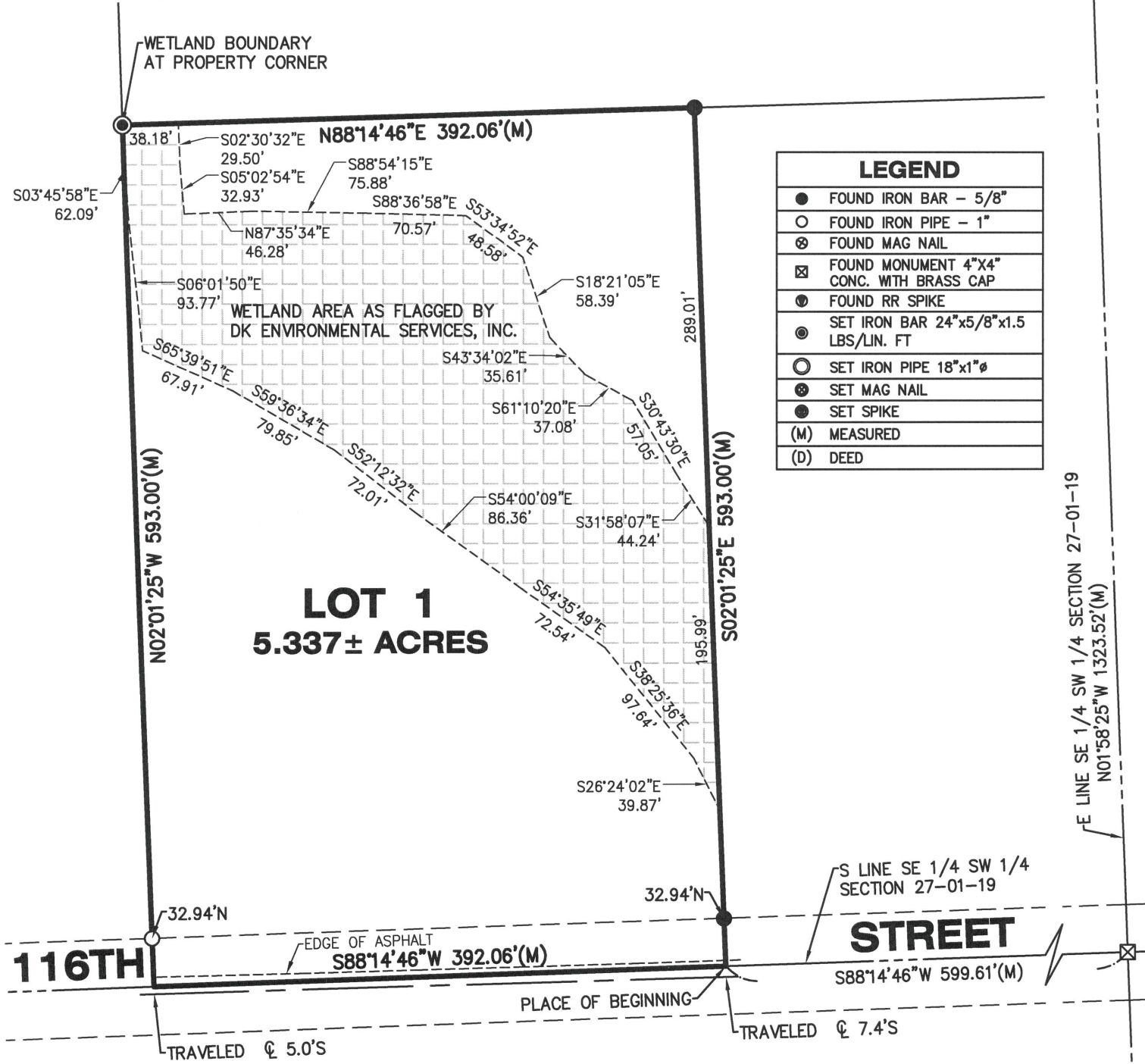
\_\_\_\_\_  
Developer's Signature Date

CERTIFIED SURVEY  
MAP NO. \_\_\_\_\_

Part of the Southeast Quarter of the Southwest Quarter  
of Section 27 Township 1 North, Range 19 East of the  
Fourth Principal Meridian, in Kenosha County Wisconsin.

*William J. Vanderstappen*

William J. Vanderstappen, S-1777  
Wisconsin Registered Land Surveyor



"A-1" - AGRICULTURAL PRESERVATION DISTRICT  
PER KENOSHA COUNTY ZONING MAP 2015

CLIENT: TOM THELEN

DRAWN BY: SES CHECKED BY: WJV

SCALE: 1"=100' SEC. 27 T. 1 R. 19 E.

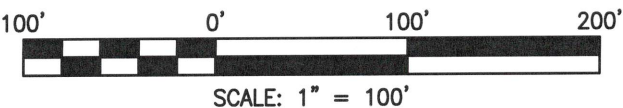
BASIS OF BEARING: SEE NOTE \*

P.I.N.: 60-4-119-273-0503

JOB NO.: 180851-A I.D. CSM

FIELDWORK COMP.: 4/1/19 BK. PG.

ALL DISTANCES SHOWN IN FEET AND DECIMAL  
PARTS THEREOF CORRECTED TO 68° F. REF: \_\_\_\_\_



SCALE: 1" = 100'

\*NOTE: BEARINGS REFERENCED TO WISCONSIN  
STATE PLANE COORDINATES, SOUTH ZONE  
(NAD-27) IN WHICH THE SOUTH LINE OF THE SW  
1/4 OF SECTION 27-01-19 BEARS N88°14'46"E.

PREPARED BY:  
VANDERSTAPPEN LAND SURVEYING, INC.  
1316 N MADISON ST. WOODSTOCK, IL, 60098  
April 9, 2019




## MAP NO. \_\_\_\_\_

Part of the Southeast Quarter of the Southwest Quarter  
of Section 27 Township 1 North, Range 19 East of the  
Fourth Principal Meridian, in Kenosha County Wisconsin.

## SURVEYOR'S CERTIFICATE

I, William J. Vanderstappen, Registered Land Surveyor, hereby certify that in full compliance with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Control Ordinance, Kenosha County, Wisconsin, and under the direction of Thelen Sand & Gravel, owner of said land, I have surveyed and mapped this certified survey, that such plat represents all exterior boundaries and the division of the land surveyed, and that this land is located within the Southeast Quarter of the Southwest Quarter of Section 27, Township 1 North, Range 19 East of the Fourth Principal Meridian, in Kenosha County described as follows:

Part of the Southeast Quarter of the Southwest Quarter of Section 27, Township 1 North, Range 19 East of the Fourth Principal Meridian, being described as follows: Commencing at the Southeast corner of said Southeast Quarter of the Southwest Quarter; thence South 88 degrees 14 minutes 46 seconds West along the South line of said Southeast Quarter of the Southwest Quarter, 599.61 feet to the Place of Beginning; thence continuing South 88 degrees 14 minutes 46 seconds West along said South line, 392.06 feet to a line 328.55 feet East of and parallel with the West line of the Southeast Quarter of the Southwest Quarter of Section 27; thence North 02 degrees 01 minutes 25 seconds West along said parallel line, 593.00 feet; thence North 88 degrees 14 minutes 46 seconds East parallel with said South line, 392.06 feet; thence South 02 degrees 01 minutes 25 seconds East parallel with said West line, 593.00 feet to the Place of Beginning, in Kenosha County, Wisconsin.

  
William J. Vanderstappen, S-1777  
Wisconsin Registered Land Surveyor  
This survey and map are in accordance with the Land  
Division Ordinance of the Kenosha County.

4/9/2018  
Date

**180851-A**  
**Job Number**

## TOWN APPROVAL

Approved by the Town of Randall

this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

**Chairman**

**Treasurer**

## COUNTY APPROVAL

Approved by resolution of the Kenosha County Land Management Committee.

this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

**Chairman**

## OWNERS CERTIFICATE

As owner I hereby certify the I have caused the above described land to be surveyed, divided and mapped as represented hereon.

Owner

Date: \_\_\_\_\_



# COUNTY OF KENOSHA

## Division of Health Services

19600 - 75th Street, Suite 185-3  
Bristol, Wisconsin 53104-9772  
Telephone: (262) 857-1910  
Facsimile: (262) 857-1920

Page 1 of 2

### **APPLICATION FOR SOIL TEST REVIEW** **FOR PROPOSED CERTIFIED SURVEY MAPS AND SUBDIVISIONS** **TO BE SERVED BY PRIVATE ON-SITE WASTEWATER TREATMENT** **SYSTEMS**

Pursuant to Chapter 15 of the Kenosha County Municipal Code all lots and parcels of land being subdivided in the manner of Certified Survey Maps and Subdivision Plats shall have soil and site evaluations conducted to determine soil suitability for each proposed parcel. Submittal of soil information shall be done at the time of or prior to applying for review of the proposed land divisions by the Kenosha County Division of Health Services. Please complete the applicant information below and include the required review fees. All checks shall be made payable to "Kenosha County."

Owner: \_\_\_\_\_ Agent: \_\_\_\_\_

Address: \_\_\_\_\_ Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Telephone: \_\_\_\_\_

Parcel Number of Property Being Divided: \_\_\_\_\_

Proposed Project \_\_\_\_\_

1. Number of lots/parcels being created (Do not include outlots or the remnant parcel unless it is 35 acres or less) \_\_\_\_\_.
2. Review Fee = Number from above x \$75 \_\_\_\_\_.
3. Does the original parcel have any existing dwellings or buildings served by private on-site wastewater treatment (septic) systems? Yes \_\_\_\_\_ No \_\_\_\_\_.
4. Are these systems older than July 1, 1980? Yes \_\_\_\_\_ No \_\_\_\_\_.
5. If you answered **yes** to questions 3 and 4, this existing septic system must go through an evaluation to determine compliance with SPS 383.32 of the Wisconsin Administrative Code or may need to replace the existing system with a code compliant one as part of this land division procedure. The Sanitary Permit for the replacement system must be issued prior to applying for approval of the land division with the Division of Planning & Development.
6. Certified Survey Maps (CSMs) must have complete soil and site evaluations for all proposed lots including any remnant parcel 35 acres or less. For CSMs involving structures served by private sewage systems the existing system and all treatment tanks shall be located and shown on the survey and must be evaluated for compliance with SPS 383.32, Wisconsin Administrative Code. Existing systems older than July 1, 1980 and in suitable soils shall be required to have a soil and site evaluation conducted to establish a replacement area for a future private sewage system. This area designated for a future system shall be shown on the survey and must meet all setback requirements and be within the boundaries of the newly proposed parcel.

7. Preliminary plats must follow the soil and site evaluation requirements as stated in Chapter 15.07 of the Kenosha County Sanitary Code and Private Sewage System Ordinance. Final plats on clayey glacial till soils will be required to have complete soil tests conducted and have the soil boring locations on the plat.
8. For further information and details of these procedures you may contact a sanitarian in the Division of Health Services or at 262/857-1910.

---

---

FOR OFFICE USE ONLY

Soil and Site Evaluations received on \_\_\_\_\_

Proposed land divisions will be scheduled for hearing with the Planning, Development & Extension Education Committee on \_\_\_\_\_

Comments \_\_\_\_\_

Soil and Site Evaluations have been reviewed and are compliant with Chapter 15.07 and SPS 385

County Sanitarian \_\_\_\_\_ Date \_\_\_\_\_