



# COUNTY OF KENOSHA

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Department of Planning and Development

# CONDITIONAL USE PERMIT PROCEDURES

8-28-18  
Adopted



KENOSHA COUNTY

DEPARTMENT OF PLANNING  
AND DEVELOPMENT



# COUNTY OF KENOSHA

## Department of Planning and Development

### CONDITIONAL USE PERMIT PROCEDURES

- ☐ 1. Contact the Department of Planning and Development and check with staff to determine if your proposed use is a permitted use, an accessory use or a conditional use. If it is a conditional use, then a conditional use permit must be applied for and received prior to occupying or using the site for that use. Note: If the proposed conditional use is part of a proposed land division see the Certified Survey Map Information and Procedures. If the proposed conditional use is part of a proposed rezoning petition see the Rezoning Application Form.

- ☐ 2. Contact the Department of Planning and Development and schedule a pre-conference meeting, which is required for all conditional use permit requests.

Meeting Date: \_\_\_\_\_

10-10-18

- ☐ 3. Complete and submit the Kenosha County Conditional Use Permit Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

- ☐ 4. Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

- ☐ 5. Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.

Town Planning Commission meeting date (tentative): \_\_\_\_\_

Town Board meeting date (tentative): \_\_\_\_\_

- ☐ 6. Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.

Kenosha County Planning, Development & Extension Education Committee meeting date: \_\_\_\_\_  
(tentative)

- ☐ 7. If denied by the Kenosha County Planning, Development & Extension Education Committee you have thirty (30) days to file an appeal with circuit court.

- ☐ 8. If approved you may proceed with obtaining site plan approval (site plan layout, stormwater, landscaping, lighting, parking/paving etc...).

- ☐ 9. Apply for and obtain any necessary zoning permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with the Kenosha County Department of Planning and Development.

- ☐ 10. Apply for any obtain any necessary building permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with your respective township.

- ☐ 11. Complete any obligations for foundation survey, waiver of liability of foundation survey, stormwater as-built requirement and/or certificate of occupancy.



December 2012

# COUNTY OF KENOSHA

## Department of Planning and Development

RECEIVED

APR 08 2019

### CONDITIONAL USE PERMIT APPLICATION

Kenosha County  
Planning and Development

(a) Property Owner's Name:

Clem Stein III

Print Name: Clem Stein III

Signature: \_\_\_\_\_

Mailing Address: 5700 312th Avenue

City: Salem

State: WI

Zip: 53168

Phone Number: 312-371-1155 E-mail (optional): Clem@SteinFarms.com

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Business Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone Number: \_\_\_\_\_ E-mail (optional): \_\_\_\_\_

(c) Architect's Name (if applicable):

Print Name: Jim Jendusa

Signature: \_\_\_\_\_

Business Name: Jendusa Design & Engineering

Mailing Address: 4615 Vettelson Rd. Suite 200

City: Hartland

State: WI

Zip: 53209

Phone Number: 262-370-7138 E-mail (optional): Jim@Jendusaeng.com

(d) Engineer's Name (if applicable):

Print Name: Al Coss

Signature: \_\_\_\_\_

Business Name: United Mechanical

Mailing Address: 1500 12th St.

City: Racine

State: WI

Zip: 53403

Phone Number: 414-940-2437 E-mail (optional): ACoss.WI.ER.com

## IMPORTANT TELEPHONE NUMBERS

Kenosha County Center  
 Department of Planning & Development  
 19600 - 75<sup>th</sup> Street, Post Office Box 520  
 Bristol, Wisconsin 53104-0520

Division of County Development (including Sanitation & Land Conservation) ..... **857-1895**  
 Facsimile # ..... 857-1920

Public Works Division of Highways ..... 857-1870

Administration Building  
 Division of Land Information ..... 653-2622

Brighton, Town of ..... 878-2218

Paris, Town of ..... 859-3006

Randall, Town of ..... 877-2165

Salem, Town of ..... 843-2313

Utility District ..... 862-2371

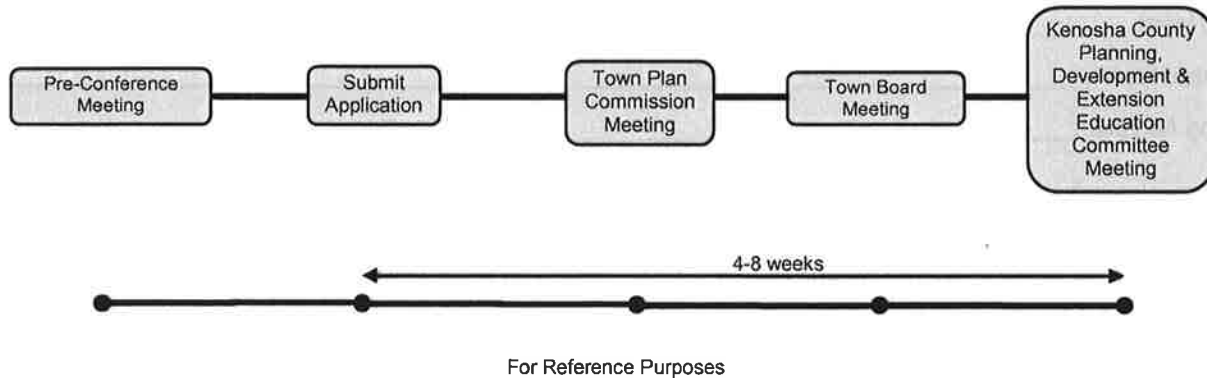
Somers Town of ..... 859-2822

Wheatland, Town of ..... 537-4340

Wisconsin Department of Natural Resources - Sturtevant Office ..... 884-2300

Wisconsin Department of Transportation - Waukesha Office ..... 548-8722

## Conditional Use Permit Timeline



CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

95-4-219-364-0107

Address of the subject site:

5700 312th Avenue

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

See Attached

Proposed operation or use of the structure or site:

See Attached

Number of employees (by shift): \_\_\_\_\_

Hours of Operation: \_\_\_\_\_

Any outdoor entertainment? If so, please explain: \_\_\_\_\_

Any outdoor storage? If so, please explain: \_\_\_\_\_

Zoning district of the property: \_\_\_\_\_

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

## CONDITIONAL USE PERMIT APPLICATION

For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

(h) The Kenosha County Department of Planning and Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.

Request for Conditional Use Permit ..... \$750.00

(For other fees see the Fee Schedule)

\$780<sup>00</sup>

# TOWN OF WHEATLAND

34315 Geneva Road · P.O. Box 797 · New Munster, Wisconsin 53152-0797  
Phone: (262) 537-4340 · Fax (262) 537-4261  
E-mail: [smsiegler@townwheatland.com](mailto:smsiegler@townwheatland.com)

- Chairman - William M. Glembocki
- Supervisor - Andrew J. Lole
- Supervisor - Kelly A. Wilson
- Clerk - Shelle M. Siegler
- Treasurer - Deborah K. Vos

February 12, 2019

Clem Stein  
5708 312th Ave.  
Salem, WI 53168

Dear Clem:

Re: Stein Farms Events Barn - Building Revisions & Approvals

I am following up on our phone conversation of February 11, 2019 with this correspondence. We discussed the status of your progress in regard to obtaining the state approvals needed to meet the requirements of using your property for an "events barn" and the corresponding building permit inspections and fire department inspections for public occupancy of your buildings.

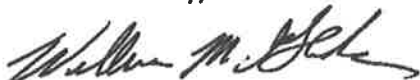
As you are aware, last year the Wheatland Volunteer Fire Department performed fire watch services for you for most of your 2018 events. That will not happen this year and we want to reiterate that point to you. You must meet all the approvals and inspections *prior* to opening for 2019.

We do caution that you get the state approvals needed *before* you do any construction/installing/remodeling. For your reference, we are attaching a copy of the July 12, 2017 "Conditional Approval" issued by the Wisconsin State Building Inspector, Division of Industry Services with items that need to be addressed as well as a copy of the April 26, 2018 letter from Wheatland Building Inspector Tim Popanda.

Fire Chief Lou Denko also reports he has informed you of issues around the exterior of your buildings in regard to access for fire and rescue response. These must also be addressed before you will be cleared for events.

We stand ready to assist you if there is something needed on our part but you must take care of this. It also cannot be piecemeal, it ALL needs to be addressed so you can open for business in 2019.

Yours truly,



William M. Glembocki  
Town Board Chairman

WMC:sms





July 13, 2017

CUST ID No. 826034

ATTN: Buildings & Structures Building Inspector

JAMES F JENDUSA  
JENDUSA DESIGN & ENGINEERING INC  
4615 VETTELSON RD ST  
HARTLAND WI 53029

BUILDING INSPECTION  
TOWN OF WHEATLAND  
PO BOX 797  
NEW MUNSTER WI 53152

## CONDITIONAL APPROVAL

(Please forward a copy of this letter to the fire department conducting inspections of this project.)

### PLAN APPROVAL EXPIRES:

#### SITE:

Stein Farms  
5708 312TH Ave  
Town of Wheatland  
Kenosha County

#### FOR:

Facility: 773789 STEIN FARMS  
5708 312TH AVE

Identification Numbers.
Transaction ID No. 2945921
Site ID No. 838273
Please refer to both identification numbers, above, in all correspondence with the agency.

Tenant Name or Addn/Alt Description: Banquet Hall Change of use/Alteration  
Object Type: Building ICC Regulated Object ID No.: 1707211 Code Applies Date: 05/18/17  
Alteration Level: 3; Major Occupancy: Assembly; Type VB Combustible Unprotected class of construction; Alteration plan; 8,500 project sq ft; Completely Sprinklered NFPA 13 Occupancy: A-2 Dining & Drinking, S-1 Storage Moderate-Hazard

DEPT OF SAFETY  
DPS

### SITE REQUIREMENTS

- Contact both the State Inspector and the local municipality PRIOR to the start of construction.
- A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A department electronic stamp and signature shall be on the plans which are used at the job site for construction.

The following conditions shall be met during construction or installation and prior to occupancy or use:

### KEY ITEM(S)

- IBC 903.2.1.2/SPS 362.0903(2) - Provide an automatic fire sprinkler system throughout a Group A-2 fire area where the fire area exceeds 5,000 sq. ft., or the fire area has an occupant load of 100 or more, or the fire area is located on a floor other than a level of exit discharge serving such occupancies. The banquet hall and lodge are connected by the canopy, so the whole building shall be protected by a fire sprinkler system.
- SPS 361.02 The building was not previously approved as a commercial building so any plan sheet references to IEBC do not apply, T1.0. SPS 361.04 (5) IBC 2009 applies.

### SUBMIT

SPS 361.30(3) - Submit, prior to installation, four (4) sets of fire sprinkler plans, calculations substantiating the design, and a completed SBD-118 application form including this transaction number as a previous transaction and appropriate fees to the



Industry Services office that reviewed the building plans if reviewed in the Green Bay, Madison or Waukesha offices. If the building plans were reviewed in the Hayward or Holmen Industry Services offices, the designer may choose the Green Bay, Madison or Waukesha offices. A review appointment and simplified application completion may be made in advance by using the online plan review request retrieval feature and the next available appointment feature from our web page at: <http://165.189.64.111/Default.aspx?Page=f617ff79-0c6c-42c7-9c1f-0da69cfa7e16>

- SPS 361.30(3) - Submit, prior to installation, four (4) sets of fire alarm plans, calculations substantiating the design, and a completed SB-118 application form including this transaction number as a previous transaction and appropriate fees to the Industry Services office that reviewed the building plans if reviewed in the Green Bay, Madison or Waukesha offices. If the building plans were reviewed in the Holman or Hayward Industry Service offices, the designer may choose the Green Bay, Madison or Waukesha offices. A review appointment and simplified application completion may be made in advance by using the online plan review request retrieval feature and the next available appointment feature from our web page at: <http://165.189.64.111/Default.aspx?Page=f617ff79-0c6c-42c7-9c1f-0da69cfa7e16> Note that per SPS 361.30(4), the submission and approval of fire alarm system plans is not required for a project involving 20 or fewer alarm devices located in an existing fire alarm system.
- SPS 361.30(3) - This approval does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans, calculations, and appropriate fees are required to be submitted for review and approval prior to installation. Building Designer should coordinate with HVAC design to avoid problems with clearance to combustibles, dampers etc. The submitted HVAC plans and calculations shall match the approved building plans. Building Designer is requested to provide a complete set of plans, Energy Calculations and the Building plan review Transaction I.D. number to the HVAC Designer to help coordinate review. Note as per SPS 302.10 installation of HVAC without approved plans could result in double plan review fees.

## ALSO ADDRESS

- IBC 1011.1 - Exits and exit access doors shall be marked by an approved exit sign readily visible from any direction of egress travel. The path of egress travel to exits and within exits shall be marked by readily visible exit signs to clearly indicate the direction of egress travel in cases where the exit or the path of egress travel is not immediately visible to the occupants. Intervening means of egress doors within exits shall be marked by exit signs. Exit sign placement shall be such that no point in an exit access corridor is more than 100 feet from the nearest visible exit sign. Address the need for 90 minute continued illumination in case of power loss. *The North/south new doors from the lodge are the required exits.*
- IBC 715.4.8 - Fire doors shall be self-closing or automatic-closing in accordance with this section. Fire pump room.
- IBC 1006.1 - Provide emergency illumination power in egress paths per this section. Each interior exit area designated in the code shall be addressed. In addition, each of the exterior exit discharge areas adjacent to exit discharge doorways shall be addressed if two or more exits are required. IBC 1006.2 - Provide Means of Egress illumination level which shall not be less than 1 foot-candle at the walking surface.
- IBC 1008.1.10 - Doors serving rooms or spaces with an occupant load of 50 or more shall be provided with panic hardware, this includes the existing doors.
- IBC 1011 Identify the exit doors with exit signs
- IBC 906.1/IBC 906.2 - Provide fire extinguishers per IFC 906. Fire extinguishers shall be selected, installed and maintained in accordance with IFC 906 and NFPA 10.
- IBC 1009.4.2 The existing stairs shall comply with this code section.
- IBC 1009.12 - Stairways shall have handrails on each side. Handrails shall be adequate in strength and attachment in accordance with Sections 1012 & 1607.7. Where glass is used, handrails shall comply with Section 2407. The existing stairs shall comply. Protect the single step condition with handrails on each side.
- IBC 1004.3 - Every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space. Posted signs shall be of an approved legible permanent design and shall be maintained by the owner or authorized agent. The changing room shall not have more than 49 occupants. The combined occupant load of the banquet hall and lodge shall not exceed 300 occupants.
- IBC 1103 Provide access to the platforms.

- The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed above under **REQUIRED SUBMITTAL(S)**, may also be required.
- All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams.
- This plan has not been reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.
- In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.
- Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. The compliance statements are available on our website. <http://verification.dps.wi.gov/IndustryServices/CommercialBuildings-Compliance/DSPSMainForm.aspx>

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,

Fee Required \$ 600.00



Teresa L. Black  
State Building Inspector, Division of Industry Services  
(715) 634-8114, Fax: (715) 634-5150, Friday, 7:45 a.m. - 4:30 p.m.  
[teresa.black@wisconsin.gov](mailto:teresa.black@wisconsin.gov)

This Amount Will Be Invoiced. When You  
Receive That Invoice, Please Include a Copy  
With Your Payment Submittal.

cc: Betty J Wiese, State Building Inspector, (414) 852-3694, Monday 7:45 A.M. - 4:30 P.M.  
Town of Salem - Municipal Clerk  
Clem Stein, Stein Farms - Oak Island Events LLC



# TOWN OF WHEATLAND

34315 Geneva Road · P.O. Box 797 · New Munster, Wisconsin 53152-0797  
Phone: (262) 537-4340 · Fax (262) 537-4261  
E-mail: [smsiegler@townwheatland.com](mailto:smsiegler@townwheatland.com)

• Chairman- William M. Glenbocki  
• Supervisor – Andrew J. Lole  
• Supervisor – Kefly A. Wilson  
• Clerk - Sheila M. Siegler  
• Treasurer - Deborah K. Vos

April 26, 2018

Clem Stein  
Stein Farms  
5708-312<sup>TH</sup> Ave.  
Salem, WI. 53168

Re: Tax Parcel- 95-4-219-364-0107  
Premisis- 5700-312<sup>th</sup> Ave.  
Project- Addn/Alteration of Banquet hall

Dear Mr. Stein,

Following up on our conversation of Wednesday April 18, 2018, at which time you and I discussed the need for you and your design professional to comply with the conditions contained within the State of Wisconsin review letter dated July 13, 2017.

In accordance with the terms of your projects conditional approval from the State of Wisconsin, an approved fire sprinkler and fire alarm system must be designed, approved and installed prior to use or occupancy of your banquet hall.

I must remind you that any use or occupancy of the buildings on the above listed premises without an approved fire sprinkler and fire alarm system is in direct violation of the State adopted building code section IBC 903.2.1.2 and SPS 361.30(3) Violation of these codes will result in the issuance of citations for each violation.

If you have any questions please feel free to contact me at the number listed below.

Sincerely,



Tim Popanda

Town of Wheatland Building Inspector

C.C. Town Board

Town Fire Chief

Teresa L. Black, Division of Industry Services

James Jendusa, Jendusa Design & Engineering

Attachments: State of Wisconsin Conditional Approval letter dated 7/13/017

## **12.20-2 A-2 GENERAL AGRICULTURAL DISTRICT**

(a) Primary purpose and characteristics.

The A-2 General Agricultural District is intended to provide for, maintain, preserve, and enhance agricultural lands historically utilized for crop production but which are not included within the A-1 Agricultural Preservation District and which are generally best suited for smaller farm units, including truck farming, horse farming, hobby farming, orchards, and other similar agricultural related farming activity. This District is also intended to provide areas for activities normally associated with rural surroundings, such as rural estate and other existing residential development, such as existing residential development abutting town and county roads along which further development may occur as essential services become available.

It is recognized that it is neither possible nor practicable to list all of the principal and accessory uses that are compatible with those listed below and therefore it is intended that the following list of principal and accessory uses only be illustrative. Any individual aggrieved by a failure to list a particular principal or accessory use in this subsection shall have the right to file a petition with the Kenosha County Department of Planning and Development pursuant to section 12.35 of this ordinance for a determination as to the similarity of the intended use with the principal and accessory uses listed below.

(b) Principal Uses.

In addition to those principal uses permitted in the A-1 Agricultural Preservation District, the following are deemed to be principal uses in the A-2 General Agricultural District:

- 1 (Reserved for future use) (8/6/02)
- 2 Community living arrangements having a capacity of 8 or fewer persons and which shall be in conformance with all state statutory requirements
- 3 Equestrian trails
- 4 Foster family homes having less than four foster children and not exceeding 8 total occupants and are in conformance with all state statutory requirements
- 5 (Reserved for future use) (8/6/02)

(c) Accessory Uses

- 1 Those accessory uses permitted in the A-1 Agricultural Preservation District
- 2 Small wind energy system
- 3 Solar energy system

(d) **Conditional Uses** (see also section 12.29-8) (8/6/02)

- 1 Air strips, landing fields and hangars for personal or agricultural related uses
- 2 Assemblies over 5000 or more individuals
- 3 Community living arrangements having 9 but not more than 15 persons and in conformance with all state statutory requirements
- 4 Concrete and asphalt batch plant temporarily located on a parcel
- 5 **Event Barns**
- 6 Housing for farm laborers or caretakers
- 7 Kennels (commercial or noncommercial)
- 8 Large wind energy system
- 9 Storage of recreational vehicles, boats and snowmobiles
- 10 Utility substations
- 11 **Bed and breakfast establishments** (8/9/94)

- 12 Borrow pits (temporary); stockpiling or filling of clean fill materials
- 13 Riding stables and indoor riding arenas (public)
- (e) Parcel Area and Width
  - 1 Parcels shall have a minimum area of ten (10) acres, and
  - 2 All such parcels shall have a frontage of not less than 300 feet in width.
- (f) Building Height and Area
  - 1 No farm building or farm related building shall exceed 100 feet in height
  - 2 No residential dwelling shall exceed 35 feet in height
  - 3 The total minimum floor area of a residential dwelling shall be 1000 square feet with a minimum first floor area of 1000 square feet
  - 4 All residential dwellings shall be attached to a permanent foundation, be properly connected to all required utilities, have a building footprint of which the dwelling unit is not less than 24-feet in width for at least fifty (50) percent of the length, have a roof pitch of not less than 5/12, and an eave extension of at least twelve (12) inches, except residences with an architectural style defined as Colonial or Greek Revival. (9/5/06)
- (g) Yards
  - 1 Street yard - not less than 65 feet from the right-of-way of all Federal, State, and County Trunk highways and not less than 40 feet from the right-of-way of all other roads (8/6/02)
  - 2 Shore yard - not less than 75 feet from the ordinary high water mark of any navigable water (11/5/86)
  - 3 Side yard - not less than 25 feet in width on each side of all structures
  - 4 Rear yard - not less than 50 feet
- (h) Authorized Sanitary Sewer System
  - 1 On-site sewage disposal absorption system
  - 2 Public sanitary sewer

- e All federal and state pollution guidelines and the performance standards set forth in this ordinance shall be complied with.
- f In the event that said generating plants make use of nuclear fuels, the generating plant shall be located not closer than ten miles to the boundaries of any city or village; furthermore, no conditional use permit for the construction of a nuclear generating plant shall be issued without the presentation of an evacuation plan for county residents.

**42 Event Barns in the A-1 and A-2 Districts. For the conversion of existing farm buildings on a farm for organized meetings and/or reception space as a gathering place for weddings, parties, and corporate events.**

- a Town Board approval shall be required prior to the issuance of a conditional use permit for an Event Barn. The Town Board shall have the authority to develop additional minimum standards.
- b Farm buildings shall be constructed prior to 1965 unless waived by the Town for good cause.
- c The minimum parcel size shall be ten (10) acres.
- d A two hundred (200) foot open buffer shall be provided on all sides of the property not abutting a public roadway. Outdoor special event/commercial business activities are not permitted within this buffer area. Where possible, agricultural crops shall remain or be grown in the buffer area, or suitable landscaping, to maintain the rural and agricultural character of the site.
- e Buffer plantings shall be provided along a property line where there is an abutting residence and which are intended to screen views, lights and noise from the operation. A buffer planting plan shall be submitted with the application and approved by the Planning & Development and Education Extension Committee.
- f Parcels shall have frontage along a paved public road for direct access.
- g Access by private easement must be formalized and be recorded or available for recording. Modification of existing easements resulting from the proposed use must be approved in writing by all easement parties.
- h All ingress/egress and parking areas shall be located in such a manner to minimize traffic hazards associated with entering and exiting the public roadway.
- i The increase in traffic generated by the proposed use shall not create a nuisance to nearby residents by way of traffic or noise.
- j Parking may be either gravel or paved. Handicapped parking spaces shall be paved and meet all State standards. Sufficient parking spaces to accommodate the proposed use

shall be provided. Overflow parking on grass or hay areas is permissible. Parking on public ways is not permitted.

- k Parking areas of any type shall not be located in the required buffer area and must meet the parking requirements of Section 12.13-3 (j) and (k).
- l Signage shall comply with Section III H.
- m Any newly proposed or changed outdoor lighting shall consist of full cut-off luminaries and shall not exceed an illumination level of 0.5 foot-candles as measured at the property line. Lighting fixtures shall be shielded or directed in such a manner so as to prevent light from shining directly onto abutting rights-of-way and adjacent properties (cut-off type luminaries only). No protruding lenses are allowed and lenses must be constructed so as to be parallel to the constructed yard grade. All security lighting shall be shielded and aimed so that illumination is directed only to the designated areas. General flood lighting fixtures shall be discouraged.
- n No on or off-premise signs, banners, or billboards shall be constructed, erected, or displayed without first obtaining proper permits from the State, County or local unit of government in which they are being located.
- o Structures shall be inspected by the Town Fire and Building Inspector prior to the Town meetings and shall meet all Town Fire and Building Code standards prior to occupancy.
- p Parcels not served by public sanitary sewer shall be served by Private Onsite Wastewater Treatment Systems (POWTS) which meet all requirements of Chapter 15 of the Kenosha County Sanitary Code and Private Sewage System Ordinance, and SPS 382 - 385 of the Wisconsin Administrative Code and their corresponding design manuals regarding POWTS.
- q It is the responsibility of the applicant to comply with all State and local regulations regarding public health. This includes proper and adequate toilet and hand washing facilities, showering facilities, proper food preparation and serving conditions, adequate tested potable water, proper disposal of refuse and food by-products on a timely basis. The Kenosha County Division of Health requires permits and inspections to assure the event is conducted within laws of proper sanitation and health. The applicant shall obtain all necessary health-related permits and assure that all necessary tests and inspections are conducted.
- r Food vendors shall be licensed by the Health Department.
- s Amplified music and dancing are permitted only within the barn structure. County noise ordinance shall be complied with. Outside amplified music is not permitted.
- t The sale and consumption of alcohol beverages on the premises are subject to Town licensing requirements and County cabaret licensing.



- a Those requirements set forth for the granting of a conditional use permit for arenas and stadiums in the B-3 District shall be met for arenas, stadiums coliseums, auditoriums and gymnasiums located in the PR-1 District.
- 11 Assemblies over 5,000 in the A-2 and PR-1 Districts.
  - a Standards set forth in the Kenosha County Activity Control Ordinance, shall be met.
- 12 Auto-truck body and engine repair and painting in the M-1 and M-2 Districts.
  - a All outside storage of vehicles shall be properly screened, fenced and secured. Fences shall be of uniform design and height and be properly maintained for aesthetic purposes.
  - b The premises shall not be used for storage of wrecked and/or dismantled vehicles.
- 13 Automotive Body Repair in the B-3 District.
  - a Those requirements set forth for the granting of a conditional use permit for auto-truck body and engine repair and painting in the M-1 and M-2 Districts shall be met.
- 14 Automotive Sales, Service and Repairs in the B-2, B-3, and B-5 Districts. (8/9/94)
  - a All servicing and repair work shall be within an enclosed structure. Repair materials, new, used or junk parts shall not be stored outside unless the storage area has a solid fence enclosure. Junk materials shall be removed at least once a month to avoid unsightliness of the site. Fences shall be of uniform design and height and be properly maintained for aesthetic purposes.
  - b No cars shall be parked within the vision triangle and all parking lots shall meet all yard requirements.
  - c Lights shall not be beamed directly onto adjoining property.
- 15 Beaches and Public Swimming Pools in the PR-1 District.
  - a Standards such as those required in section 12.17 of this ordinance may be required.
  - b Provision for lifeguards shall be required.
- 16 Bed and breakfast establishments in the A-1, A-2, A-4, R-1, R-2, R-3, R-4, and C-2 Districts. (8/9/94)
  - a A site plan and plan or operation shall be submitted to the Planning, Development & Extension Education Committee. The site plan shall include a parking plan.

- b All requirements set forth in Section 50.51(b) of the Wisconsin Statutes and Chapter HSS 197 of the Wisconsin Administrative Code shall be fully complied with. Necessary state permits and licenses shall have been secured.
  - c All requirements of the Kenosha County Sanitary Code shall be fully complied with. Existing onsite soil absorption sewage disposal systems shall be evaluated prior to the issuance of a conditional use permit.
  - d The owner of the bed and breakfast establishment shall reside in the establishment. No bedrooms shall be permitted to be located in an accessory structure.
  - e No more than four bedrooms shall be rented.
  - f Dwellings being considered for conversion to bed and breakfast establishments shall exhibit unique architectural or historic characteristics.
  - g Individual rentals shall not exceed five (5) consecutive days in length.
  - h No retail sales shall occur in a bed and breakfast establishment.
  - i One exterior advertising sign, not exceeding four (4) square feet in area, may be erected on the premises.
- 17 Borrow pits (temporary); stockpiling or filling of clean fill materials in the A-1, A-2 and A-4 Districts. (8/6/02)
- a A detailed site plan, drawn to scale, showing the boundaries of the site, the proposed area to be filled or excavated, the location and dimensions of proposed stockpiles, circulation routes and parking, and any other specific operations areas.
  - b A detailed stormwater management and erosion control plan prepared according to best management practices by a Wisconsin registered civil engineer.
  - c A restoration plan showing topography at two-foot intervals, drainage patterns, and proposed end use(s).
  - d An irrevocable letter of credit, cash, bond or other security in an amount adequate to secure the obligation of the operator to restore the site to a safe, useful and aesthetically pleasing condition shall be required.
  - e Stockpiling or filling in wetlands and floodplain areas is prohibited.
  - f Fill material shall consist of clean fill only, not to include concrete, asphalt or construction debris.
- 18 Bridges and Approaches in the FPO Floodplain Overlay District. (3/1/94)



## Conditional Use Permit

### Architectural Drawings & Current Status

Page 1-1A	<u>Business Narrative</u>
Page 2.	<u>Project Detail - Title Sheet</u>
Page 3.	<u>Site Plan - (Parking Lot &amp; Lighting Detail)</u>
Page 4.	<u>Barn Demo Plan</u>
Page 5.	<u>Lodge Demo Plan</u>
Page 6.	<u>Barn Floor Plan</u>
Page 7.	<u>Lodge Floor Plan</u>
Page 8.	<u>East Elevation</u>
Page 9.	<u>North Elevation</u>
Page 10-11	<u>Sections &amp; Details</u>
Page 12.	<u>Foundation &amp; Structural Plan</u>
Page 13-17	<u>Structural Details</u>
Page 18.	<u>Lodge Bathrooms (ADA Compliant)</u>
Page 19.	<u>Floor Plan of Barn &amp; Lodge</u>
Page 19A.	<u>Fire Sprinkler Layout</u>
Page 19B.	<u>Soil Evaluation Report Map</u>
Page 20.	<u>HVAC Floor Plan</u>
Page 21-23.	<u>Fire Alarm System (Record of Completion)</u>
Page 24.	<u>Health Department Approval for Lodging</u>

**Stein Farms** is a family farm located in Wheatland, WI. on highway NN & Highway K. Stein Farms has been operating since 1973 as a tree nursery, and owned and operated by Clem Stein. The 2 buildings located on the farm are known as the “barn” and the “lodge” The barn is a 2500 sqft. steel wall and ceiling with a concrete floor. In the past the lodge was a tavern called the “Pit Tavern” and was built back in the early 60’s and was in operation for 4 years from 1964 - 1969. This building is 2280 sqft and has 2 bathrooms (womens and mens) with 2 stalls & sink in both. The lodge has kitchen, walk-in cooler, stage, bar & fireplace. We have been using this space since 1980 for many events including weddings, fundraising, graduation parties, family reunions, etc... The lodge/barn has an existing asphalt parking lot with enhanced area lighting.

**Current Status:** We have completed 98% of project requirements, and nearing full completion of required work. A basic fire alarm system is required, however we installed a comprehensive smoke alarm system which adds another layer of safety. Fire lanes are in place allowing fire trucks clear access around the barn and lodge. Fire watch was currently handled by Wheatland fire department, and was hired for every event last Summer until sprinkler is operational. A knox box has been ordered and will be installed immediately.

**Zoning:** Stein Farms is zoned A-2 with 1 acre G-2 Class Commercial

**Operating hours:** General business hours - 9:00 a.m. - 8:00 p.m. Event hours and different for each event, but are generally between 9:00 a.m. & 11:30 p.m.

**Sanitation:** The lodge bathroom toilets and drainage lead to a new elaborate septic system. See attached System Information and inspection report - Page 19B. Each bathroom is equipped with hand sanitizers, automatic paper towel dispenser & proper venting. Beer lines are cleaned between events and a schedule is available upon request. The 2 buildings thoroughly cleaned between events.

**Employees:** Depending on the size of the event, we normally have 3-5 part-time employees, who clean during the events and remove waste.

**Parking Lot & Outdoor lighting:** The parking lot is located on the north side of the lodge. We are currently installing 9 area lights with 20 foot steel square poles that will be installed with 24” concrete cylinder buried 4 feet deep and 3 feet above ground. After footings are poured the light pole will stand 23 feet. The lighting will be strategically position not to conflict with traffic moving on 312th Ave. We are installing lighting that will use passive infrared sensor (PIR)These lights will illuminate at a steady 30%, and increase to 100% when motion is detected. We have also installed Bollards in areas near

entrance of Lodge and location of Propane tanks. See site plan for exact location & area light location. See site plan image  
- Page 3.

**Traffic:** Traffic will arriving from highway K and highway NN

**Buildings:** Lodge is 2280 sqft. cinder block structure and the barn is 2500 sqft reinforced steel framing with x-bracing, ceiling & wall insulated with Closed-cell spray foam with 5/8" FR rated drywall. All electric in the barn is new and was completed with extreme details.

**Signage:** Stein Farms sign is located on the Corner of highway K & highway NN, located on the north-west corner, and has been in place since 1980.

**Trash Removal:** A dumpster is located remote area from the event and is emptied when necessary. The dumpster is in a remote area.

**Noise:** The event space is located in the country and building do not face any homes so noise does not affect neighboring homes. With the added insulation the barn is very quiet on the on-side.

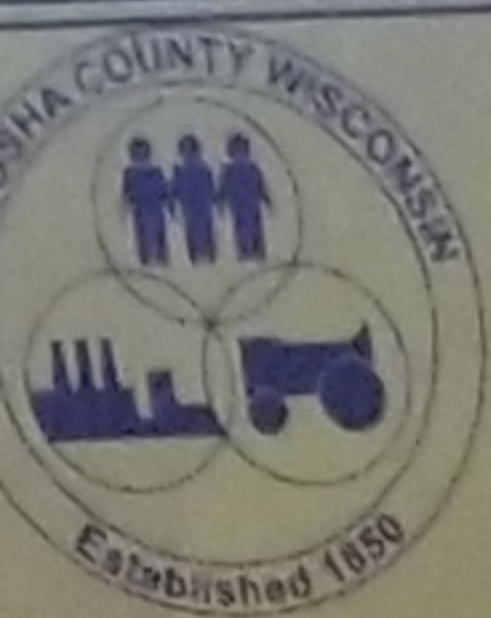
**Public Safety:** First aid kits and fire extinguishers are available on premise. Fire extinguishers checks are performed by Fox River Fire & Safety. Comprehensive smoke detections system is in place, adequate exits more than required, are in place. The prep kitchen has a 4 compartment sink in place along with Health sink. Grease trap is in place.

**Public Services:** Public services will not be needed except for emergencies.

**Insurance:** Adequate insurance is in place and is through State Farm and Illinois Casualty Company. Wedsafe.com is recommended to our clients for insurance and each Wedding is customized based on attendance and wedding dates.

**Lodging Facility:** The Cheret House offers a unique and relaxing Weekend Getaway. The Cheret House, sleeps 12-14, and is located only steps away from the wedding and ceremony sites. The luxurious home makes guests feel like they're on vacation. Within the house is decor from all around the world, highlighted by posters created by french lithographer, Jules Cheret. In addition there is a premium sound system that is bluetooth enabled, that allows you, or your guest to play music of your choice. You are welcome to enjoy the relaxing outdoor patio, where there is a area for socializing, grilling area, basketball hoop, outdoor sound system, and plenty of space for outdoor yard games. The house is tastefully decorated and fully furnished with linens, dishes, utilities, internet and more. See health department permit for lodging on Page 24.





## KENOSHA COUNTY DIVISION OF HEALTH

### License, Permit or Registration

The person, firm, or corporation whose name appears on this certificate has complied with the provisions of the Wisconsin statutes and is hereby authorized to engage in the activity as indicated below.

ACTIVITY <b>Tourist Rooming House (LTR), Rooms: 4</b>	EXPIRATION DATE 30-Jun-2019	I.D. NUMBER BWOK-AML PST
LICENSEE MAILING ADDRESS CLEM STEIN 5708 312TH AVE SALEM WI 53168	NOT TRANSFERABLE	BUSINESS / ESTABLISHMENT ADDRESS STEIN FARMS 5708 312TH AVE SALEM WI 53168

All Permits expire on June 30th; it is the responsibility of the licensee to make sure all applicable fees are received by the department before July 1st or a late payment fee will be assessed.

If you do not receive a renewal form prior to June 30th from your licensing authority, you should send in your payment for renewing your permit to the following address:

KENOSHA COUNTY DIVISION OF HEALTH  
8600 SHERIDAN RD SUITE 600  
KENOSHA, WI 53143-6515  
(262)605-6700

\* Include the name of your facility and the ID number.



STEIN FARMS  
BANQUET REMODEL  
5708 312th Ave.  
Salem, WI 53168

## ARCHITECT & STRUCTURAL ENGINEER

**JENDUSA DESIGN & ENGINEERING, INC**  
**4615 VETTELSON RD, SUITE 200**  
**HARTLAND, WI 53029**  
**PH: 262 264-6340**  
**FAX: 866 326-1552**

## DRAWING INDEX

T1.0	TITLE SHEET
C1.0	SITE PLAN
D1.0	DEMO PLAN
D1.1	DEMO PLAN LODGE
A1.0	FLOOR PLAN
A1.1	FLOOR PLAN LODGE
A2.0	EAST ELEVATION
A2.1	NORTH ELEVATION LODGE
A4.0	SECTION & DETAILS
A4.1	SECTION & DETAILS
S1.0	FOUNDATION PLAN & STRUCTURAL
S2.0	STRUCTURAL DETAILS

## Project Information

- OCCUPANCY TYPE: A-2 ASSEMBLY, S-1 STORAGE - NON - SEPARATED
- CONSTRUCTION TYPE: VB
- BUILDING IS FULLY SPRINKLED

- NUMBER OF STORIES: 1 STORY	A-2 AREA	6,373	SQ. FT.
	S-1 AREA	2,134	SQ. FT.
	TOTAL AREA	8,507	SQ. FT.

- 1 HR FIRE SEPARATION FOR SPRINKLER PUMP ROOM

- BANQUET OCCUPANT LOAD: ASSEMBLY STANDING SPACE (1/15): 166 PERSONS  
MECH/STORAGE (1/300): 3 PERSONS  
WAREHOUSE (1/15): 1 PERSONS  
PLATFORM (1/15): 20 PERSONS

**TOTAL** **190 PERSONS**

- LODGE OCCUPANT LOAD: ASSEMBLY STANDING SPACE (1/15): 94 PERSONS  
COMMERCIAL KITCHEN (1/200): 1.53 PERSONS  
MECH (1/300): 0.3 PERSONS  
LOCKER ROOM (1/50): 6.46 PERSONS  
PLATFORM (1/15): 7 PERSONS

TOTAL	110 PERSONS
COMBINED TOTAL	300 PERSONS

- BANQUET MINIMUM NUMBER OF EXITS REQUIRED: 2
- ACTUAL NUMBER OF EXITS PROVIDED: 10

- NOTE: RESTROOMS ARE BEING PROVIDED IN THE EXISTING LODGE TO ACCOMMODATE THE TOTAL OCCUPANT LOAD OF 300 IN THE LODGE AND BANQUET

- MINIMUM NUMBER OF TOILETS REQUIRED: 2 WOMENS, 1 MENS & 1 URINAL
- ACTUAL NUMBER OF TOILETS PROVIDED: 3 WOMENS, 1 MENS & 2 URINALS

-SITE AREA = 753,540 SQ. FT.  
IMPERVIOUS AREA = 72,765 SQ. FT.  
GREEN SPACE = 680775 SQ. FT.


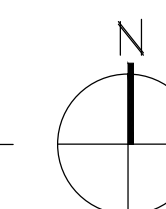
**PARKING SPACES REQUIRED: 135 PROVIDED: 135**

- CODE REVIEW PER IBC 2009 LEVEL 3 ALTERATION

ALL AREAS OF BUILDING ARE ACCESSIBLE  
ACCESSIBLE RESTROOM FACILITIES PROVIDED



LOCATION PLAN  
SCALE: 1/4" = 1'



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## REVISIONS

# STEIN FARMS BANQUET REMODEL

5708 312th Ave  
Salem, WI 53168

SHEET TITLE  
**TITLE SHEET**

PROJECT NO.

17-4974

DATE \_\_\_\_\_

6/27/17

SCALE

**As Noted**

CHECKED BY

JFJ

DRAWN BY

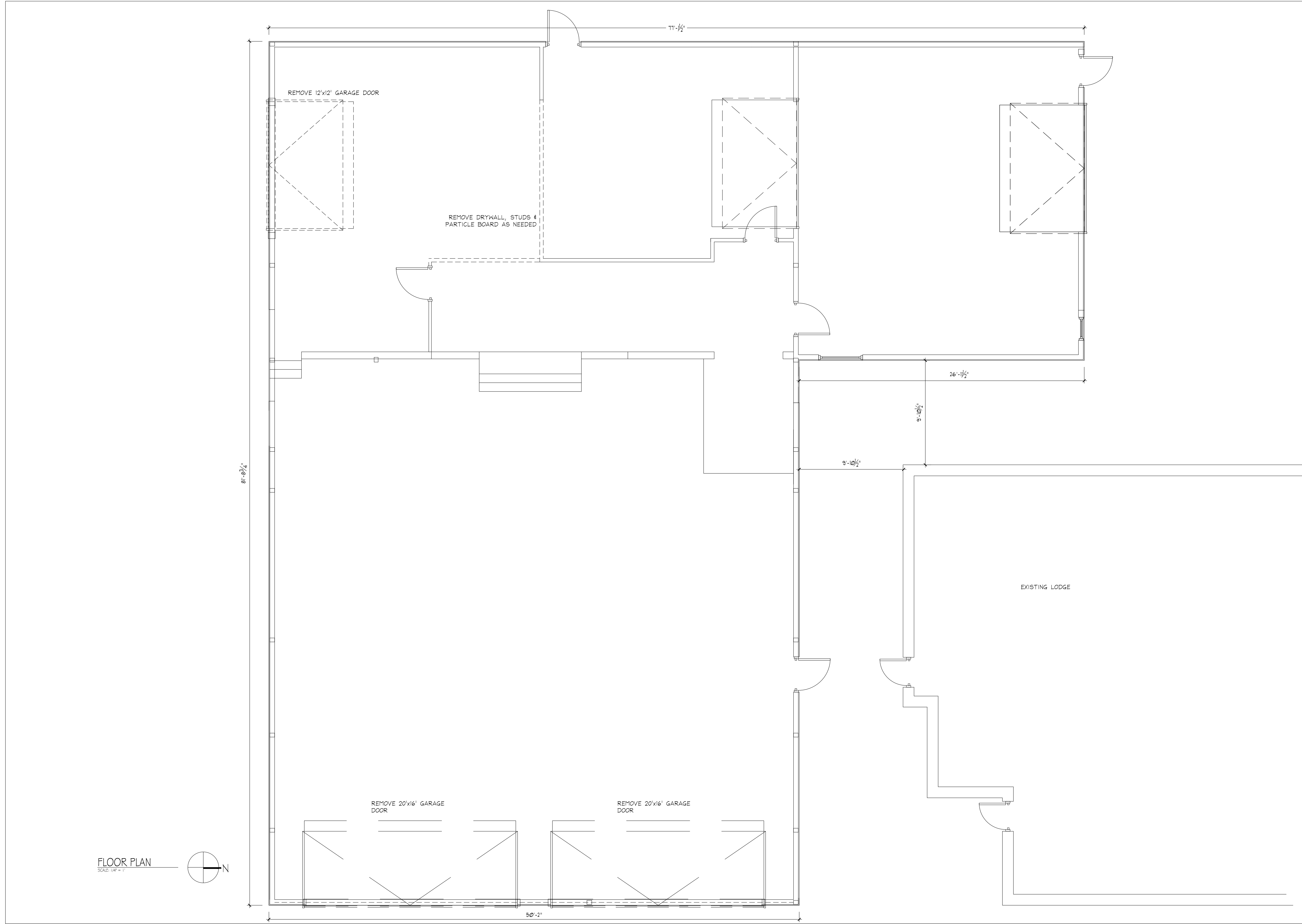
BJB

SHEET

# T1.0







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STEIN FARMS  
BANQUET REMODEL

5708 312th Ave  
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SHEET TITLE  
DEMO PLAN

PROJECT NO.  
17-4974

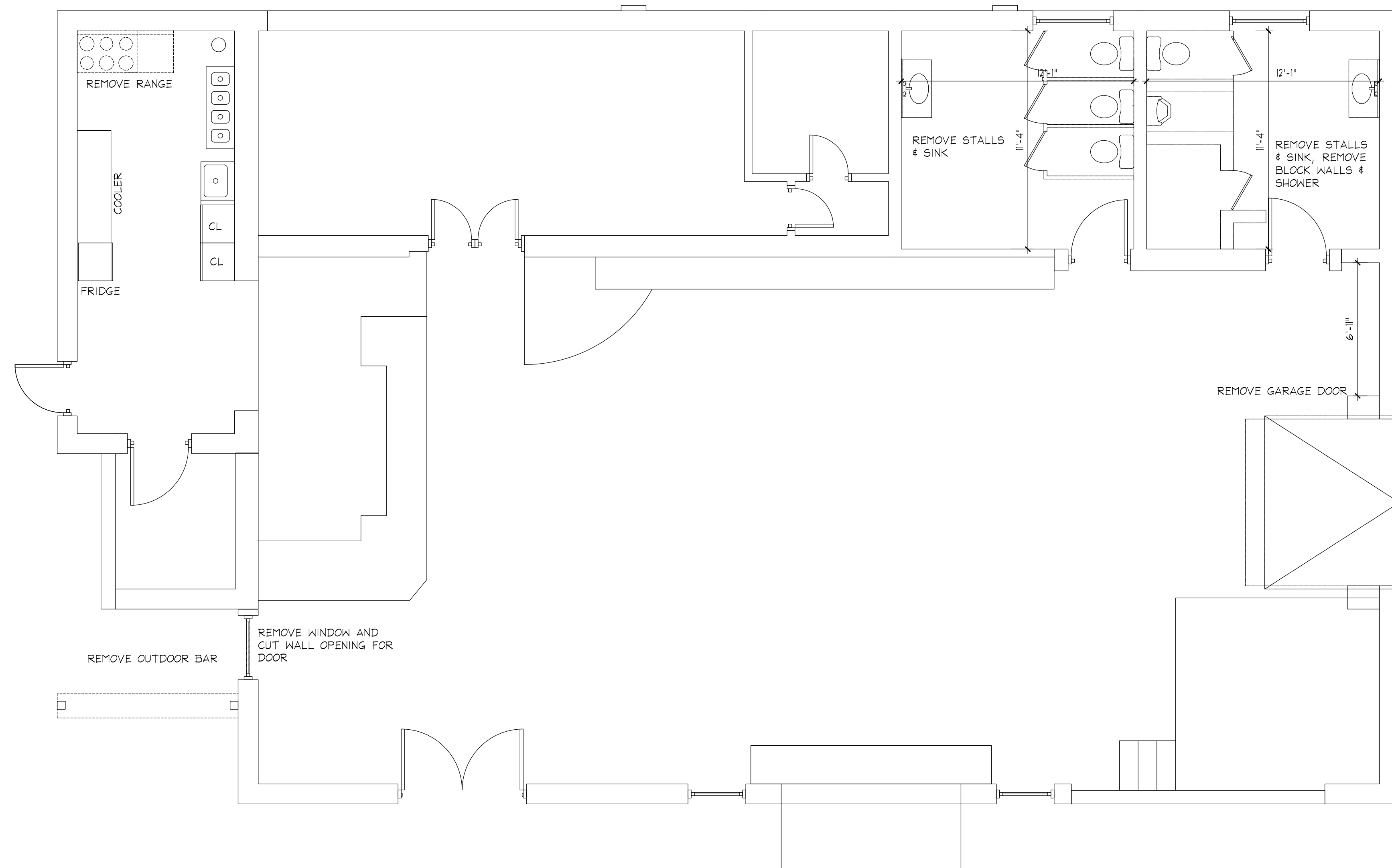
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6/27/17

SCALE  
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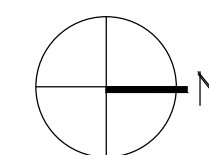
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JFJ

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SHEET  
D1.0



DEMO PLAN  
SCALE: 1/4" = 1"



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## STEIN FARMS LODGE REMODEL

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SHEET TITLE  
**DEMO PLAN  
LODGE**

PROJECT NO. **17-4974**

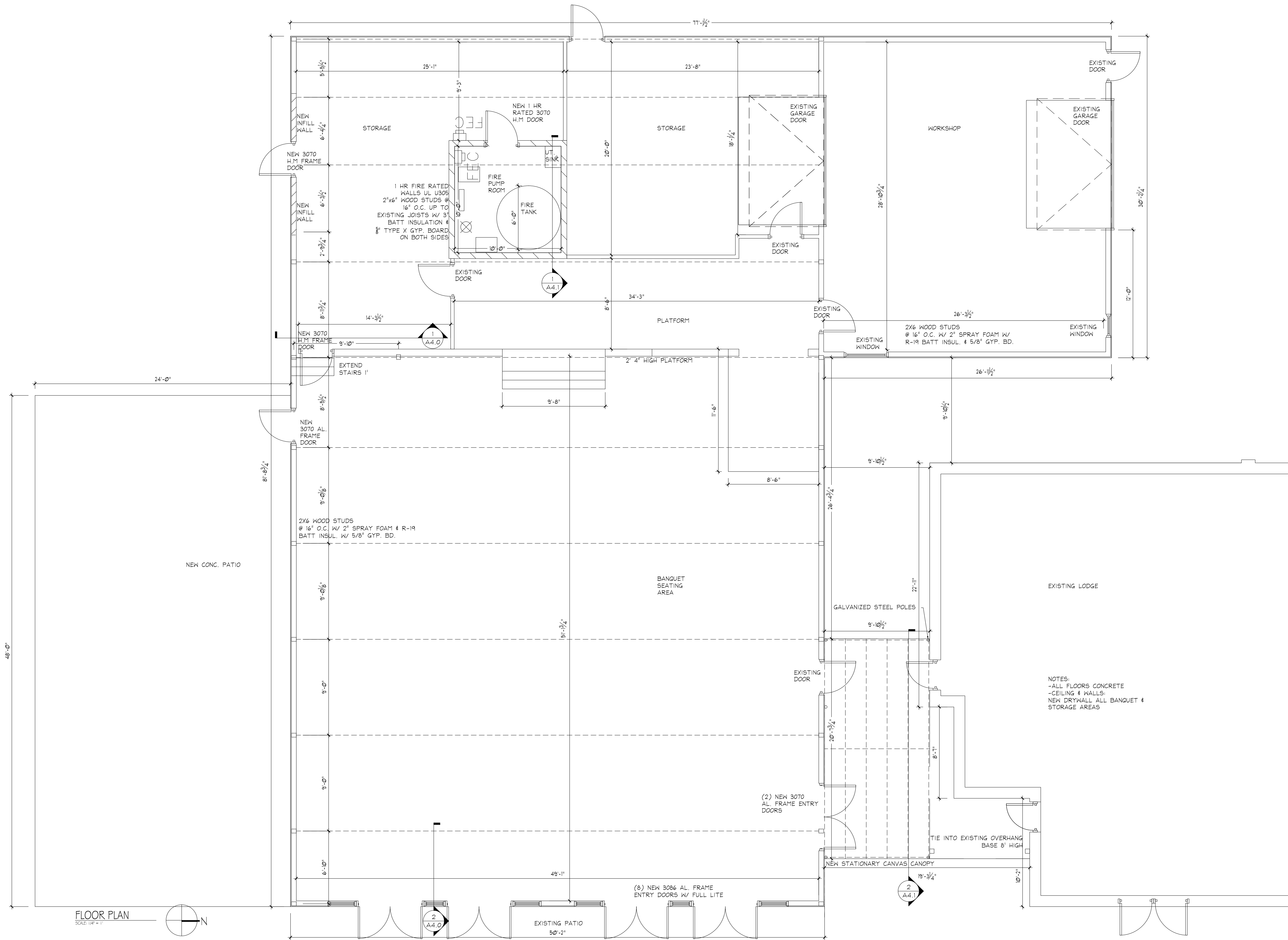
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SCALE **As Noted**

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SHEET **D1.1**



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SHEET TITLE  
FLOOR PLAN

PROJECT NO.

17-4974

DATE

6/27/17

SCALE

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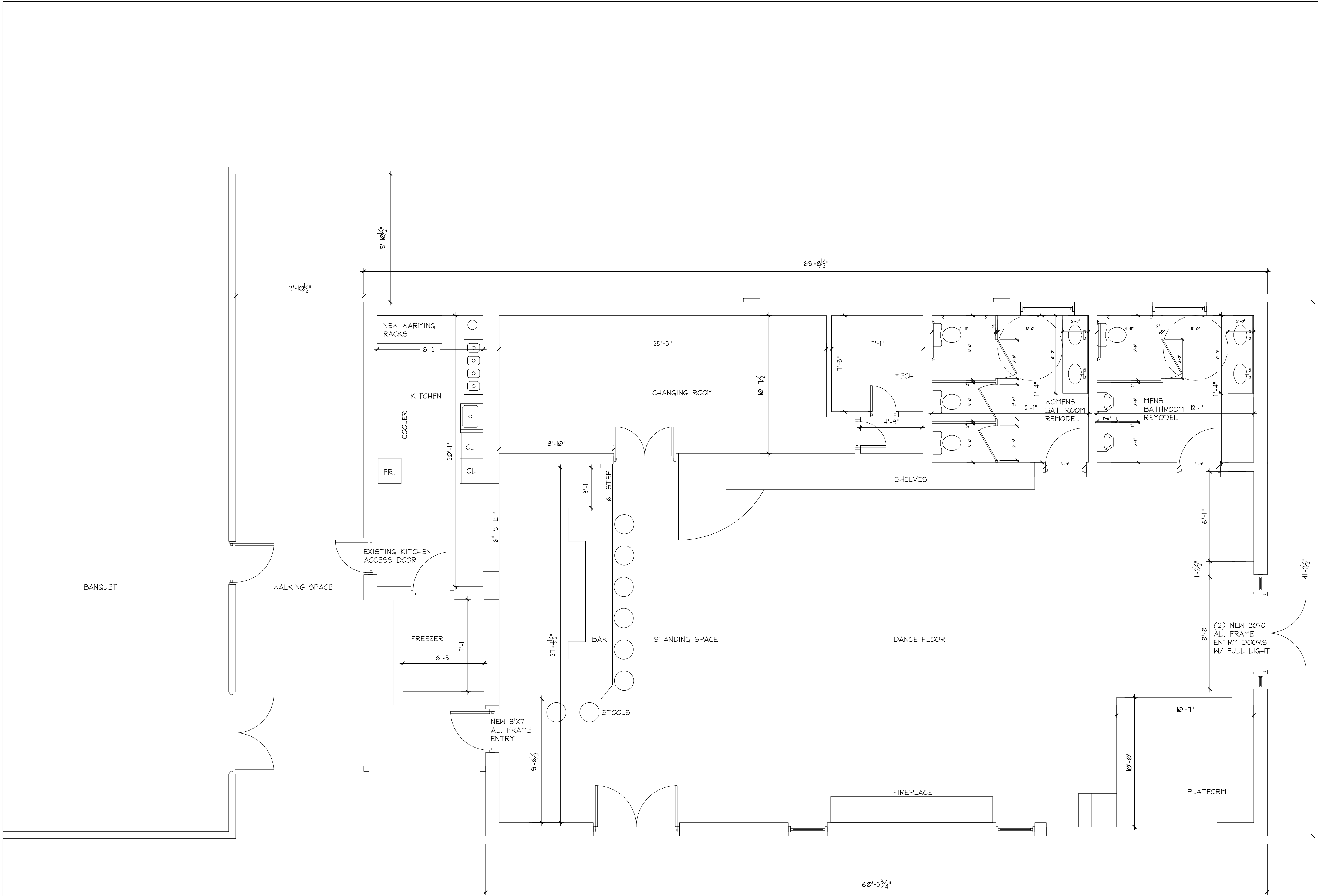
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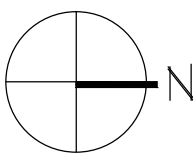
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A1.0



FLOOR PLAN

SCALE: 1/4" = 1'



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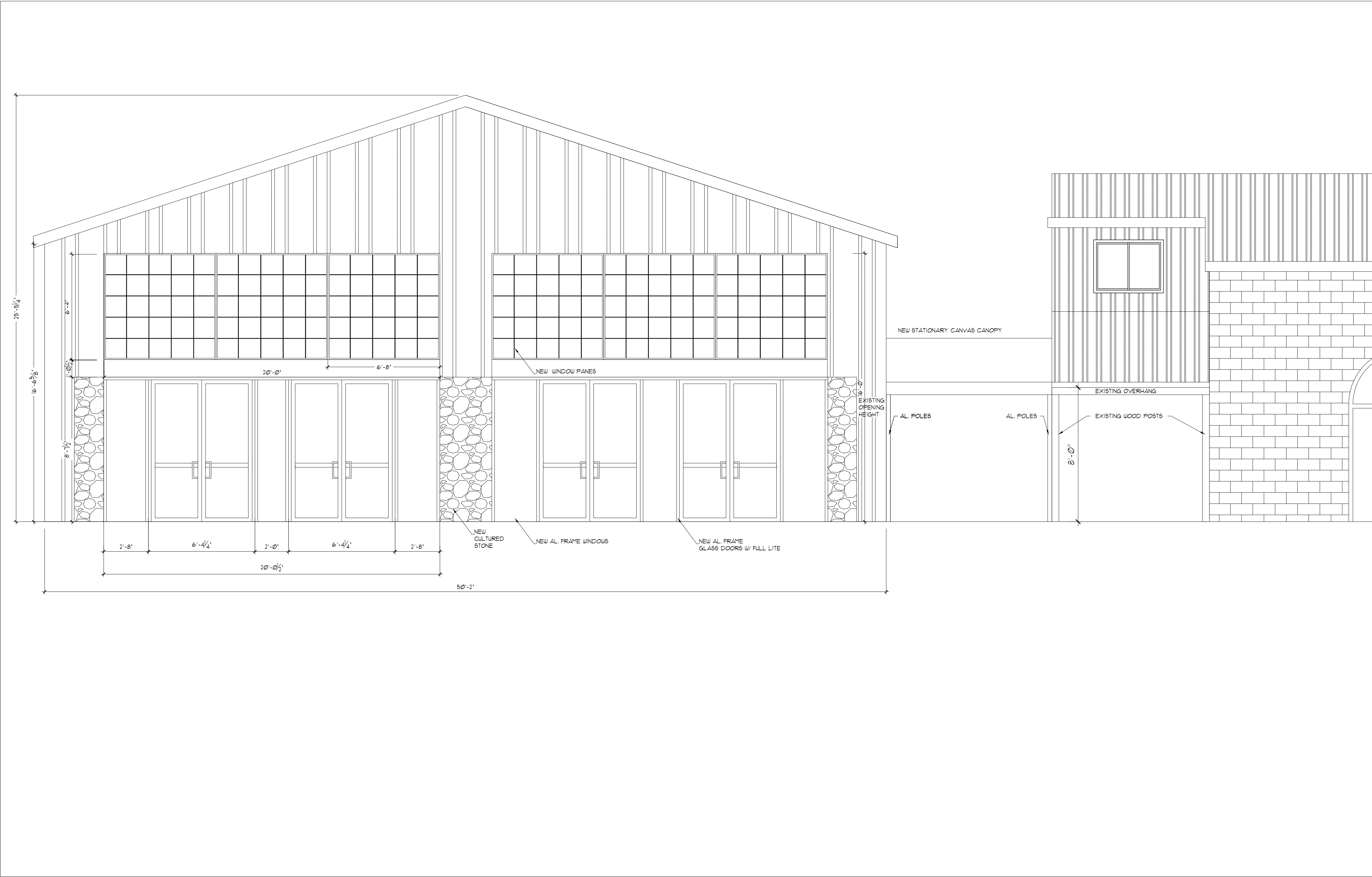
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LODGE REMODEL

5708 312th Ave  
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SHEET TITLE  
FLOOR PLAN  
LODGE

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DATE	6/27/17
SCALE	As Noted
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SHEET	A1.1



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SHEET TITLE

EAST ELEVATION

PROJECT NO.

17-4974

DATE

6/27/17

SCALE

3/8" = 1'

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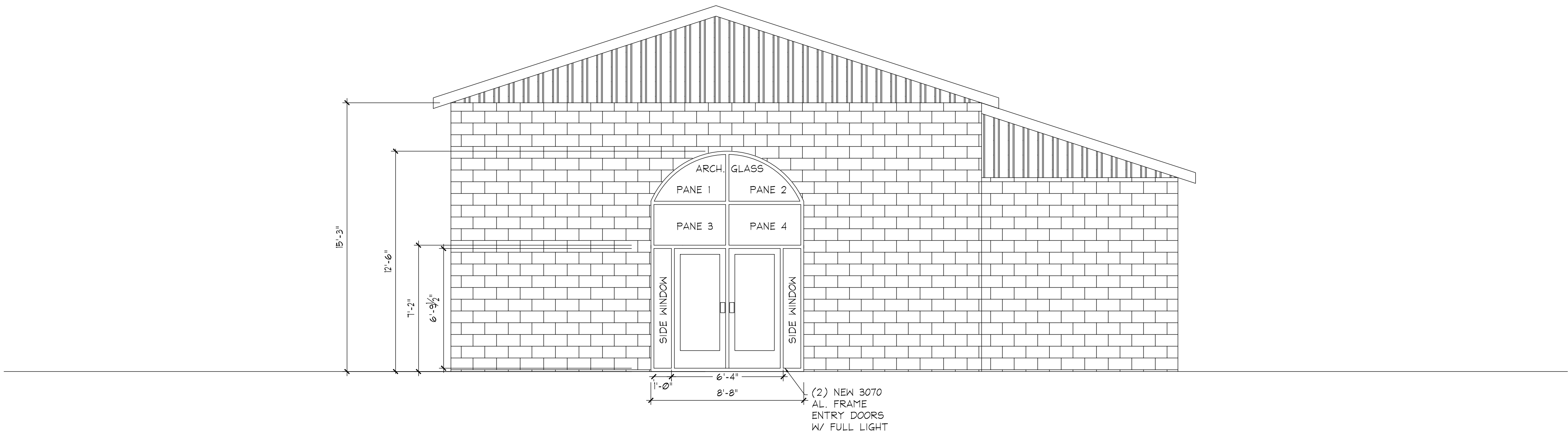
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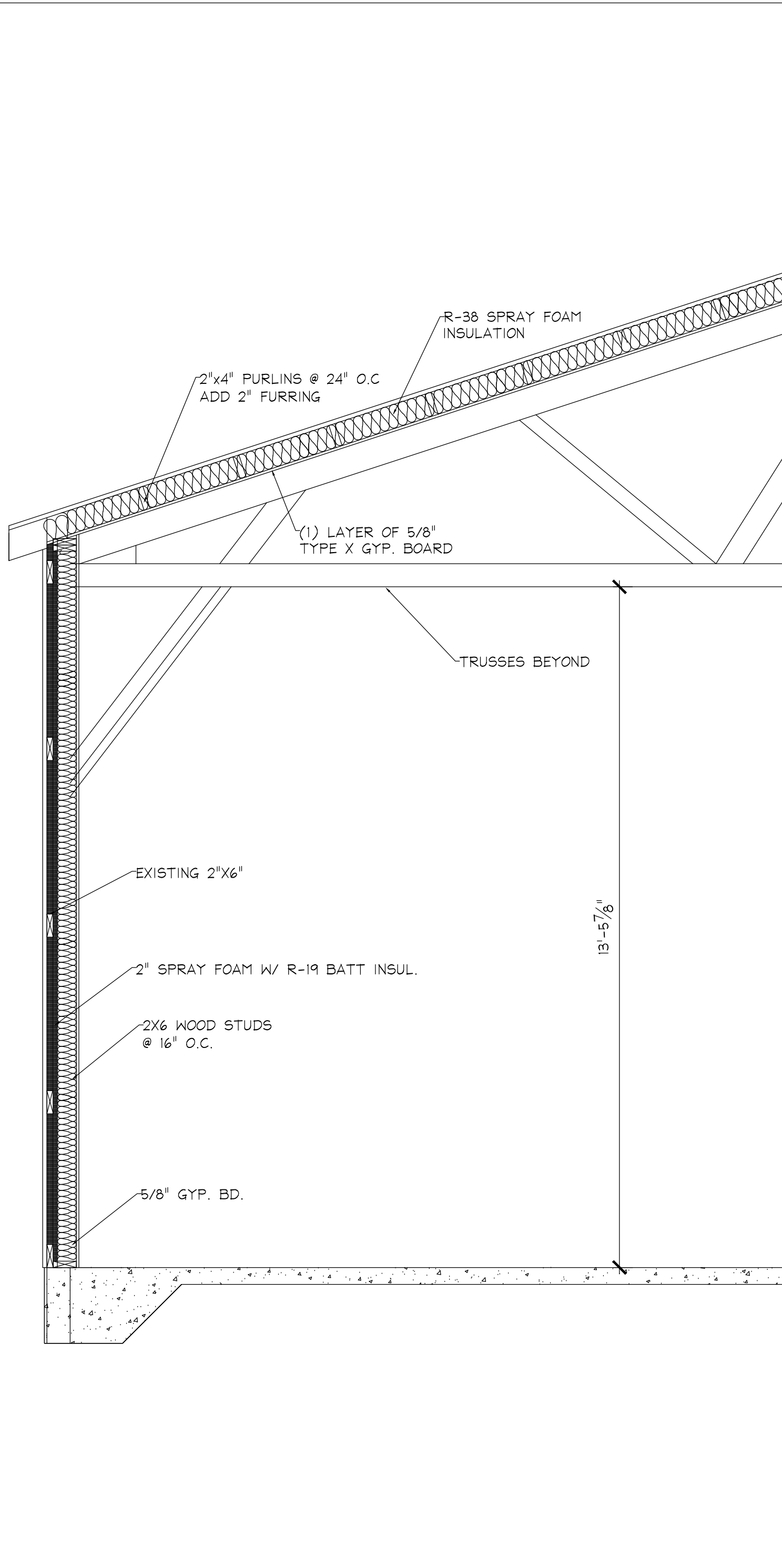
STEIN FARMS  
LODGE REMODEL

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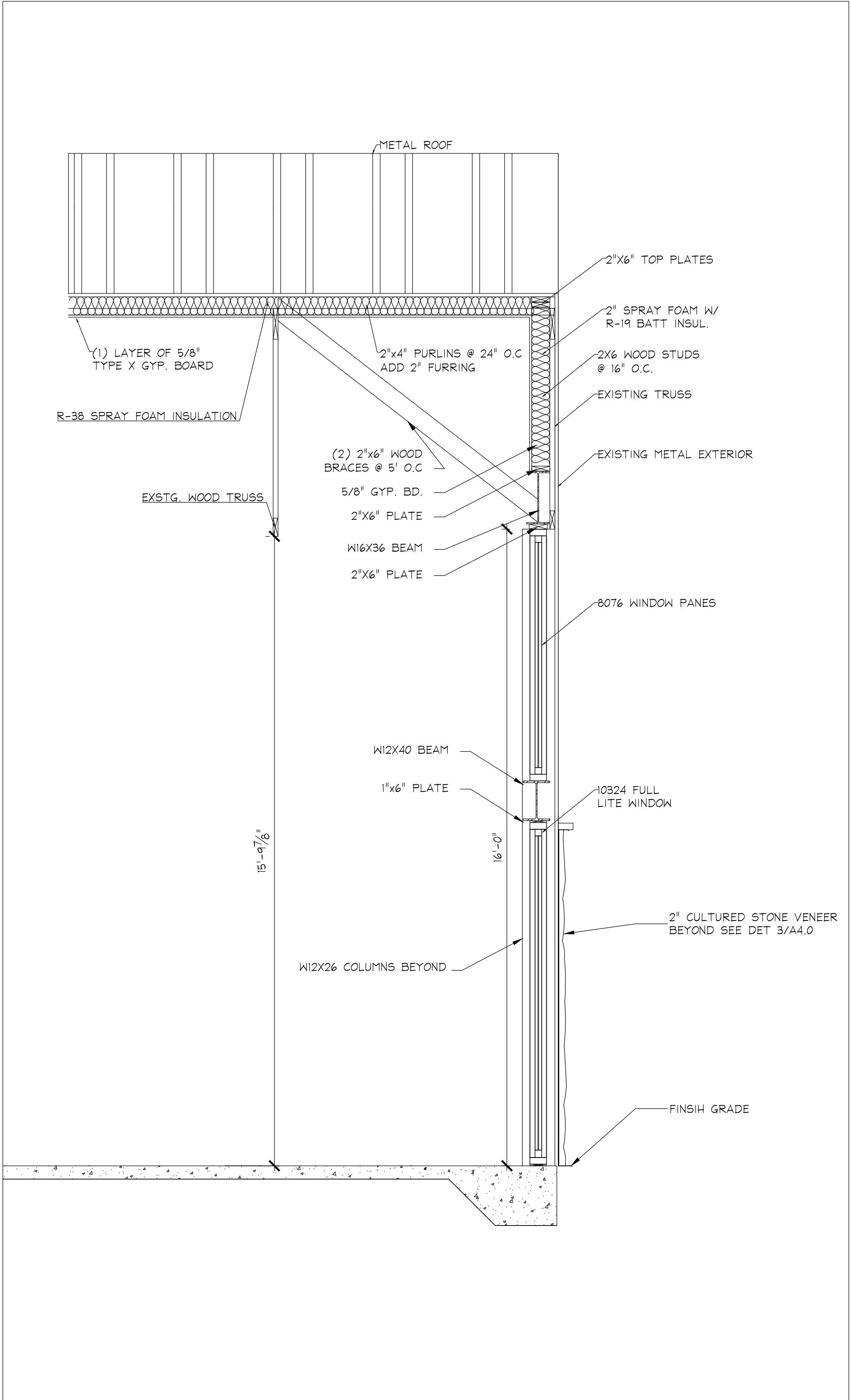
SHEET TITLE  
NORTH ELEVATION  
LODGE

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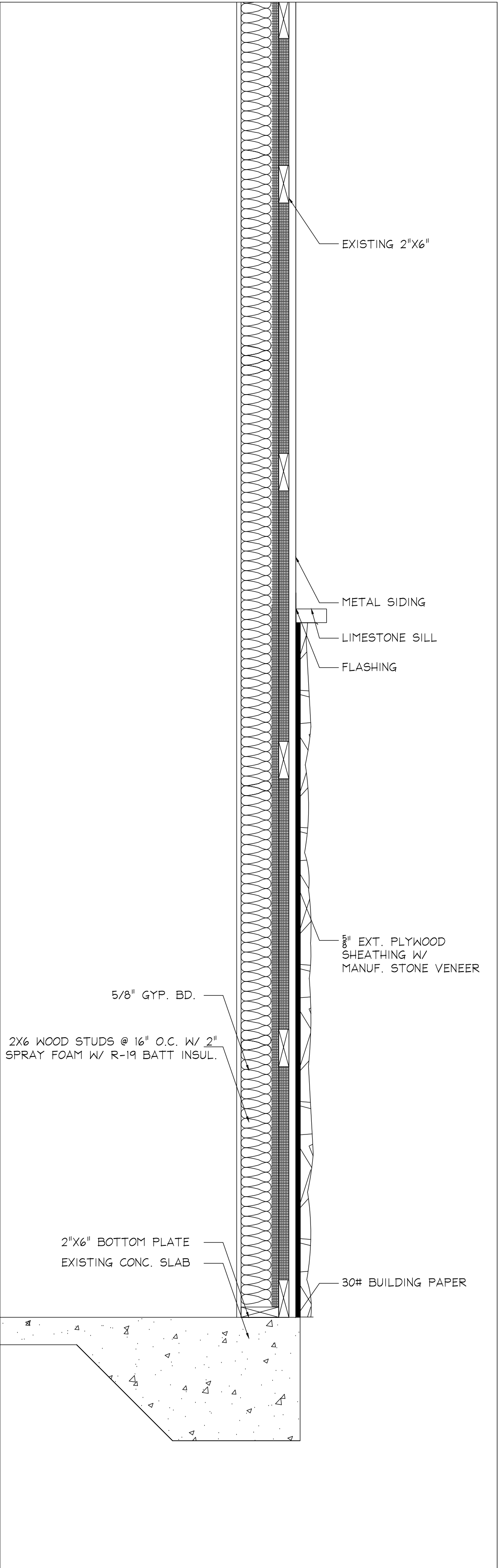




1 EXTERIOR WALL DETAIL  
SCALE: 1/2" = 1'-0"



2 EAST WINDOW DETAIL  
SCALE: 1/2" = 1'-0"



3 VENEER DETAIL  
SCALE: 1" = 1'-0"

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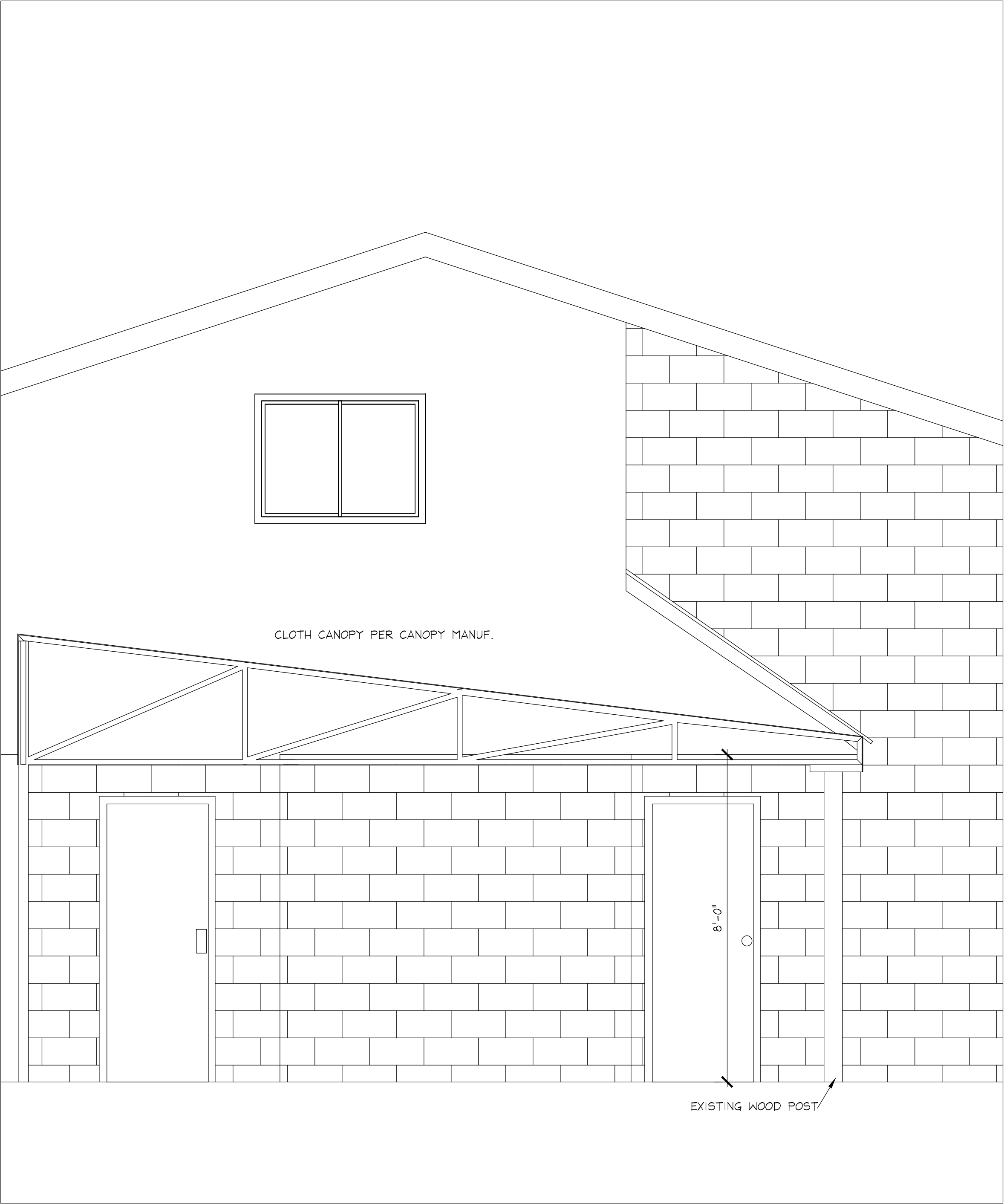
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STEIN FARMS  
BANQUET REMODEL

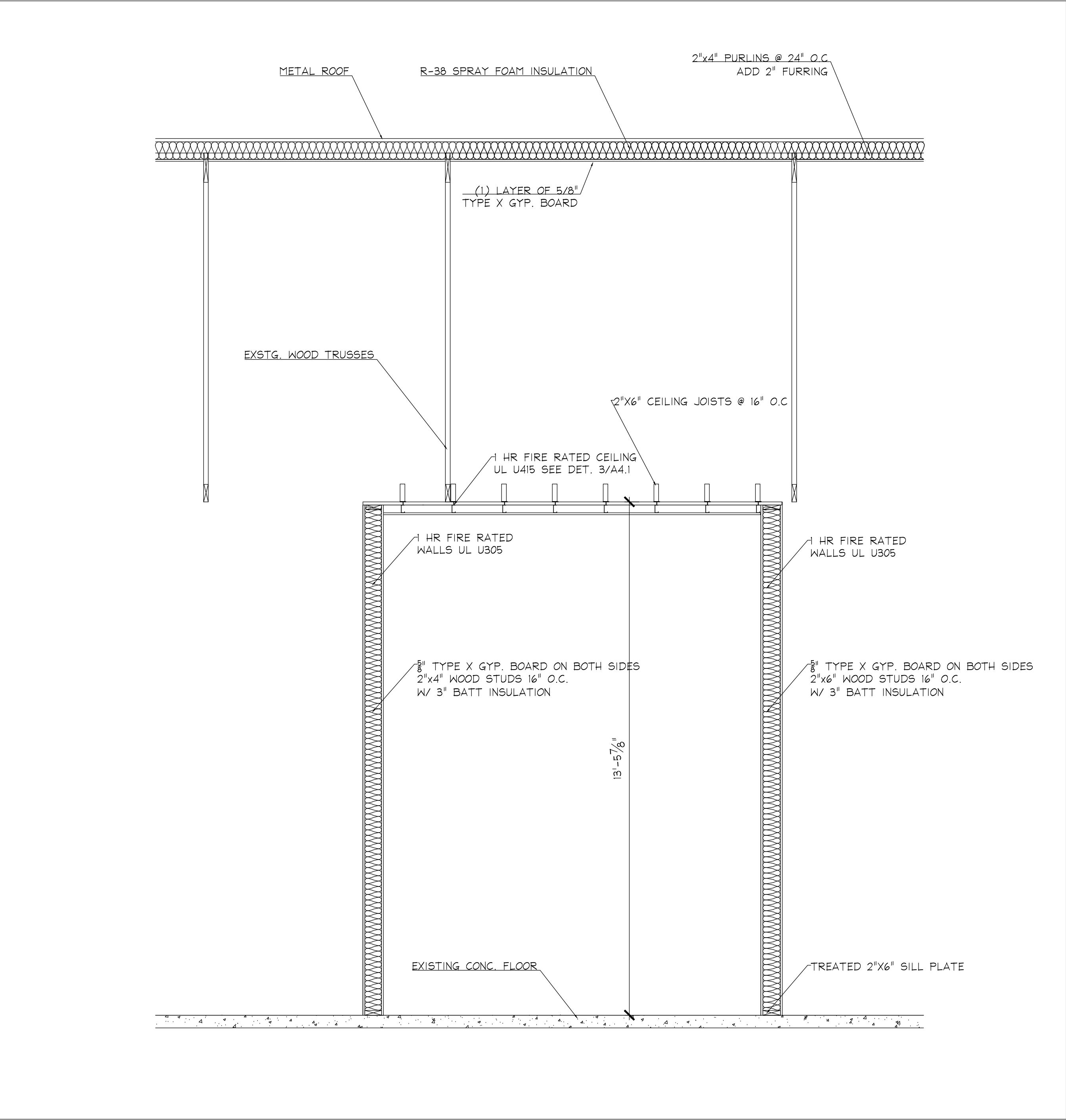
5708 312th Ave  
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& DETAILS

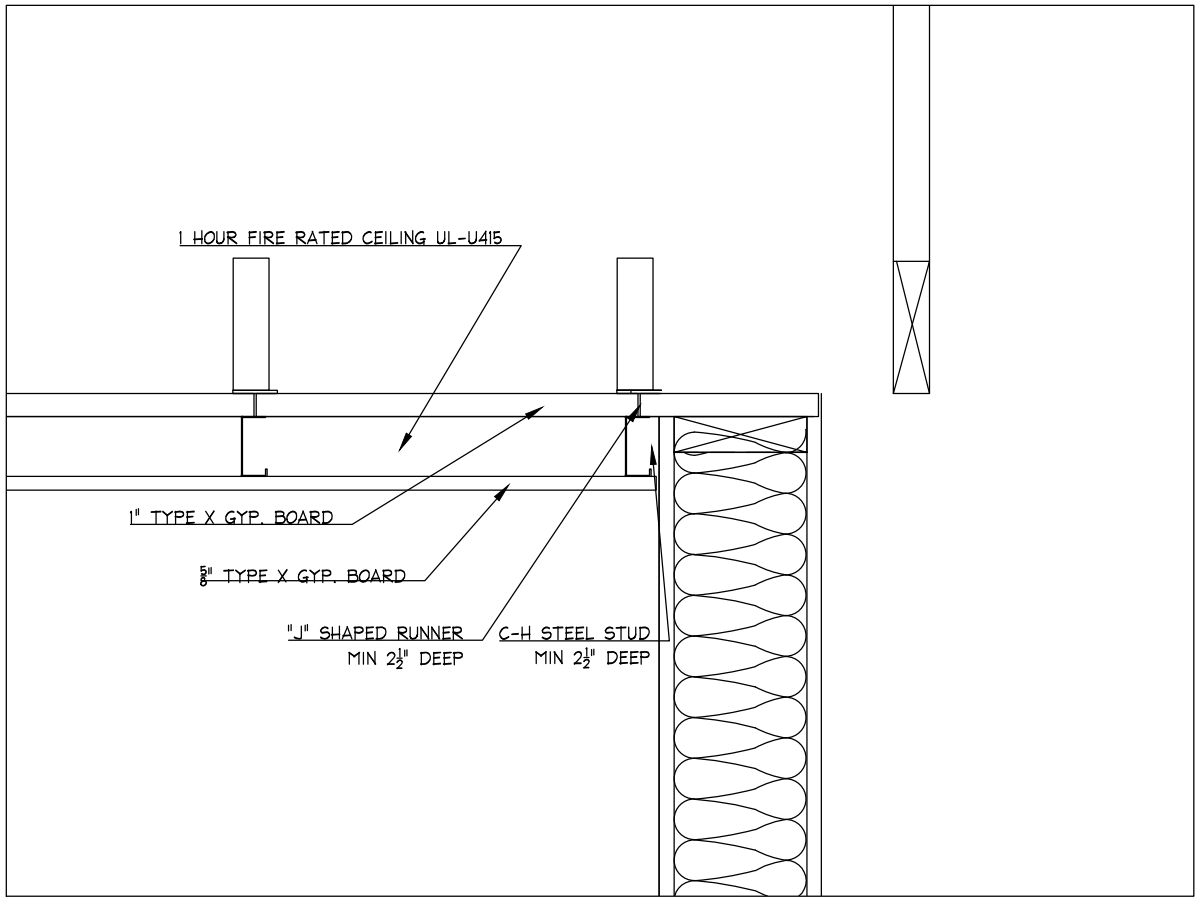
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DATE	6/19/17
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CHECKED BY	JFJ
DRAWN BY	BJB
SHEET	A4.0



2 CANOPY SECTION  
SCALE: 1/2" = 1'-0"



1 PUMP ROOM FIRE BARRIER DETAIL  
SCALE: 1/2" = 1'-0"



3 DETAIL  
SCALE: 1/2" = 1'-0"

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STEIN FARMS  
BANQUET REMODEL

5708 312th Ave  
Salem, WI 53168

SHEET TITLE  
SECTION  
& DETAILS

PROJECT NO.

17-4974

DATE

6/27/17

SCALE

As Noted

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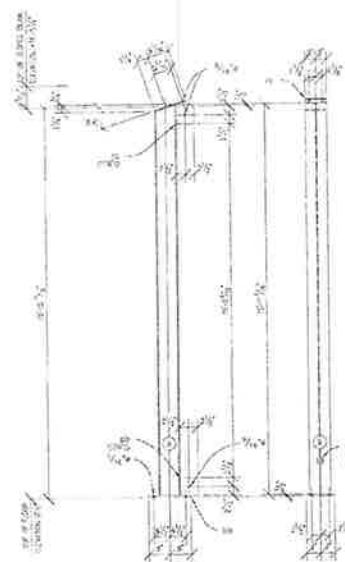
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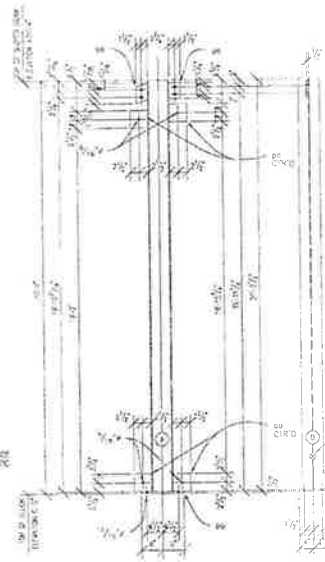




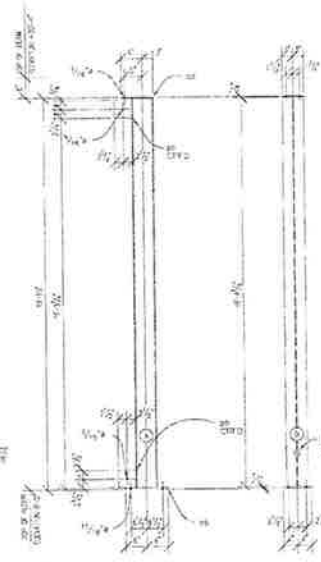




(1) COLUMN - 2C1



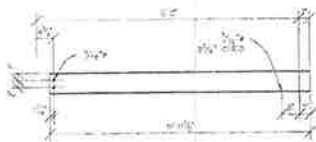
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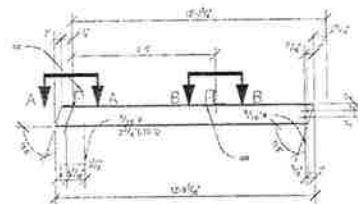
(1) COLUMN - 2C3

SECTION A-A

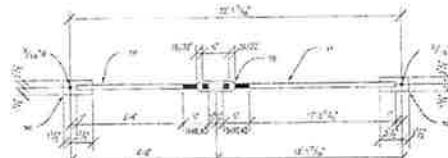
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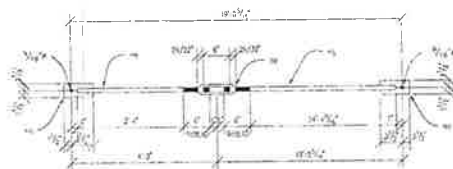
(1) BEAM - 2B1



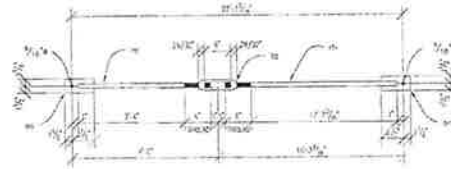
(1) BEAM - 2B2



(1) BRACE - 2BR1



(1) BRACE - 2BR2



(2) BRACE - 2BR3

NOTE:  
Superior Structural Corp. will not accept any back charges  
incurred to repair errors, to furnish extra material, or to  
do extra work not stated on our drawings, without proper  
authorization.

# BILL OF MATERIAL

REV	DATE	DESCRIPTION	QTY	REMARKS	WEIGHT
2C1		1 COLUMN			
		1 1/2" x 1/2" x 1/2"	19 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
2C2		1 COLUMN			
		1 1/2" x 1/2" x 1/2"	20 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
2C3		1 COLUMN			
		1 1/2" x 1/2" x 1/2"	19 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
2B1		1 BEAM			
		1 1/2" x 1/2" x 1/2"	19 1/2"		
2B2		1 BEAM			
		1 1/2" x 1/2" x 1/2"	19 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
2BR1		1 BRACE			
		1 1/2" x 1/2" x 1/2"	2 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 1/2"	17 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 1/2"	1 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
2BR2		1 BRACE			
		1 1/2" x 1/2" x 1/2"	2 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 1/2"	14 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 1/2"	1 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		
2BR3		2 BRACE			
		1 1/2" x 1/2" x 1/2"	3 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 1/2"	18 1/2"	1" THREAD ONE END	
		1 1/2" x 1/2" x 1/2"	1 1/2"		
		1 1/2" x 1/2" x 1/2"	1 1/2"		

## GENERAL NOTES:

SEE TO EACH DRAWING, NOTES AND SPECIFICATIONS FOR DETAILS.

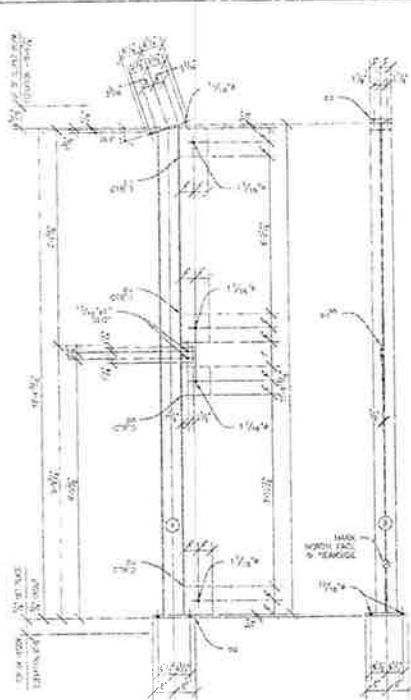
REVISIONS: \_\_\_\_\_

REV	DESCRIPTION	BY	DATE
FOR APPROVAL	TO SHOP		
R & R APPROVAL	AS BUILT		

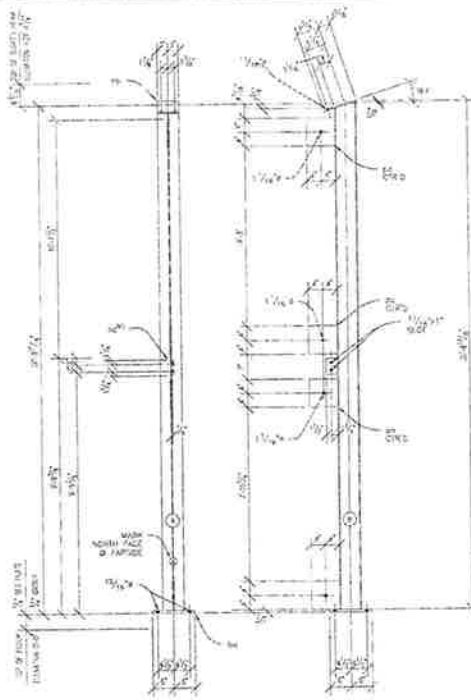
Superior Structural Corp.  
 10000 W. Lincoln Avenue  
 New Berlin, Wisconsin 53146  
 Phone (262) 542-1900  
 Fax (262) 542-1901  
 Website: <http://www.superiorstructural.com>

JOB NAME: Stein Farms Banquet Remodel  
 LOCATION: 5708 112th Ave., Salem, WI 53159  
 CONTRACTOR: Stein Farms  
 DESCRIPTION: "X" Bracing Drawings - West

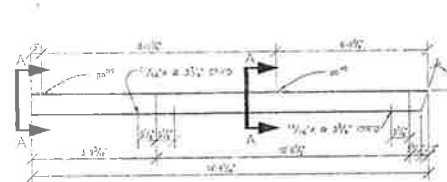
DRAWN BY: RCH  
 CHECKED BY:  
 SCALE: 3/4" = 1'-0"  
 DATE: 10-16-17  
 JOB NUMBER: 15-117  
 #6058 2



(1) COLUMN - 1C1



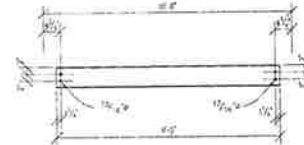
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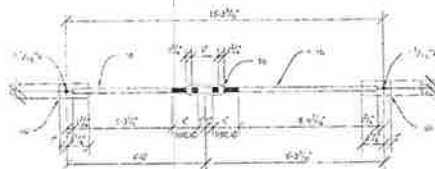
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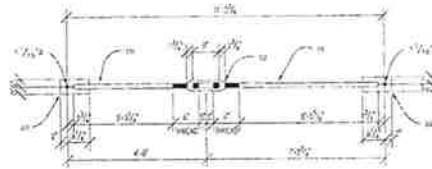
SECTION A-A



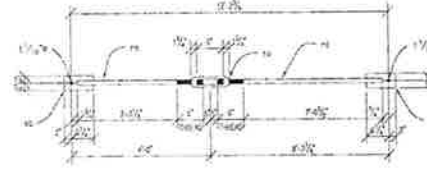
(1) BEAM - 1B2



(1) BRACE - 1BR1



(1) BRACE - 1BR2



(2) BRACE - 1BR3

# BILL OF MATERIAL

ITEM NO.	QTY	DESCRIPTION	UNIT	REMARKS	WEIGHT
101	1	COLUMN			
101	1	4x15			17.4
101	1	4x15			17.4
101	1	4x15			17.4
101	1	4x15			17.4
101	1	4x15			17.4
102	1	COLUMN			
102	1	4x15			17.4
102	1	4x15			17.4
102	1	4x15			17.4
102	1	4x15			17.4
102	1	4x15			17.4
103	1	BEAM			
103	1	4x15			17.4
103	1	4x15			17.4
103	1	4x15			17.4
103	1	4x15			17.4
103	1	4x15			17.4
104	1	BRACE			
104	1	4x15			17.4
104	1	4x15			17.4
104	1	4x15			17.4
104	1	4x15			17.4
104	1	4x15			17.4
105	1	BRACE			
105	1	4x15			17.4
105	1	4x15			17.4
105	1	4x15			17.4
105	1	4x15			17.4
105	1	4x15			17.4
106	1	BRACE			
106	1	4x15			17.4
106	1	4x15			17.4
106	1	4x15			17.4
106	1	4x15			17.4
106	1	4x15			17.4
107	1	BRACE			
107	1	4x15			17.4
107	1	4x15			17.4
107	1	4x15			17.4
107	1	4x15			17.4
107	1	4x15			17.4

NOTE:  
Superior Structural Corp. will not accept any back charge incurred to repair errors, to furnish extra material, or to do extra work not stated on our drawings, without proper authorization.

DATE: 10-16-17  
SCALE: 3/4" = 1'-0"  
PLOT RATIO: 1:18

## GENERAL NOTES

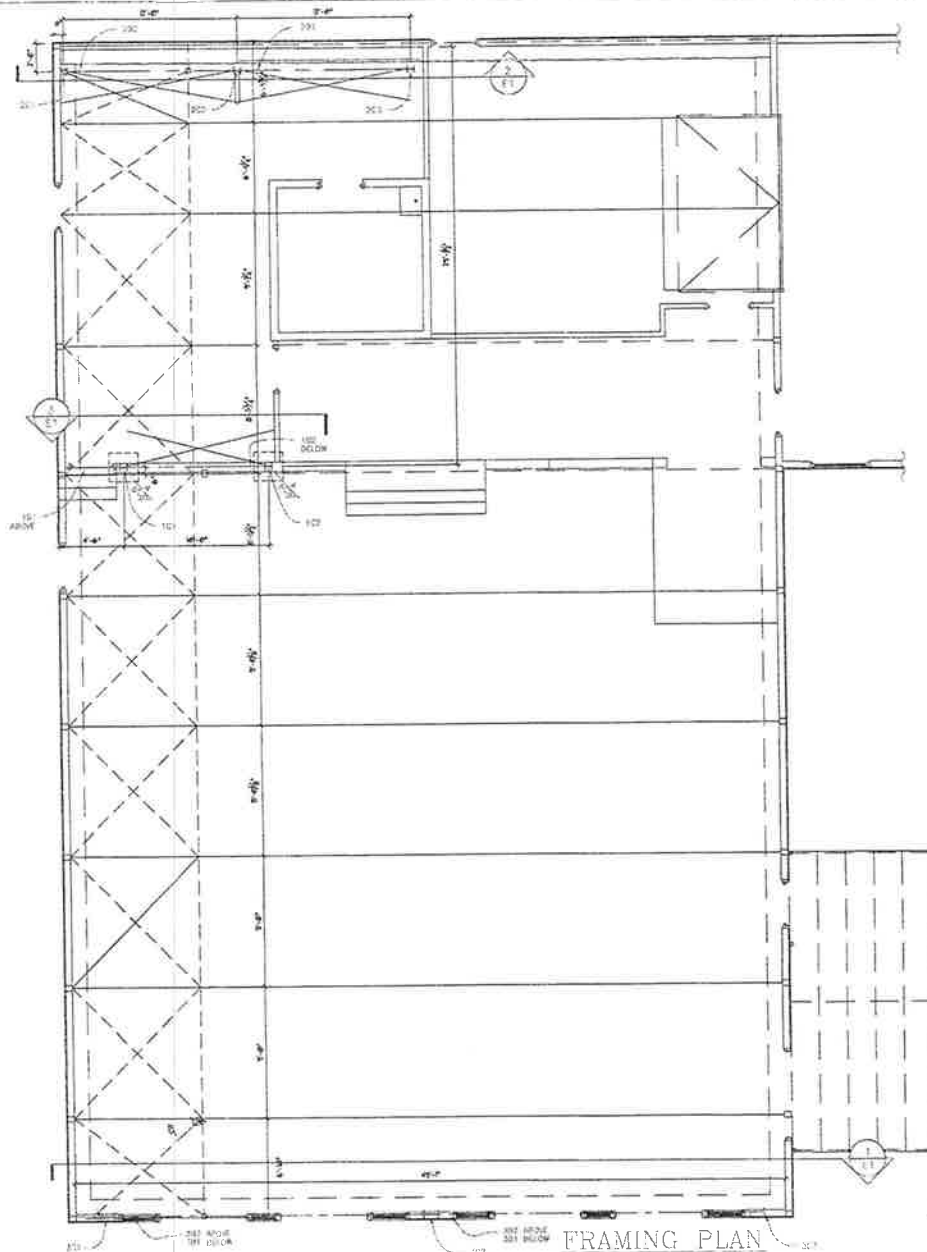
REV	DESCRIPTION	BY	DATE
FOR APPROVAL	TO SHOP		
N & R APPROVAL	AS BUILT		

JOB NAME: Stein Farms Banquet Remodel  
 LOCATION: 2708 312th Ave, Salem, WI 53108  
 CONTRACTOR: Stein Farms  
 DESCRIPTION: 7x7 Bracing Drawings

DRAWN BY: RGH  
 SCALE: 3/4" = 1'-0"  
 DATE: 10-16-17  
 JOB NUMBER: #6658  
 SHEET: 1

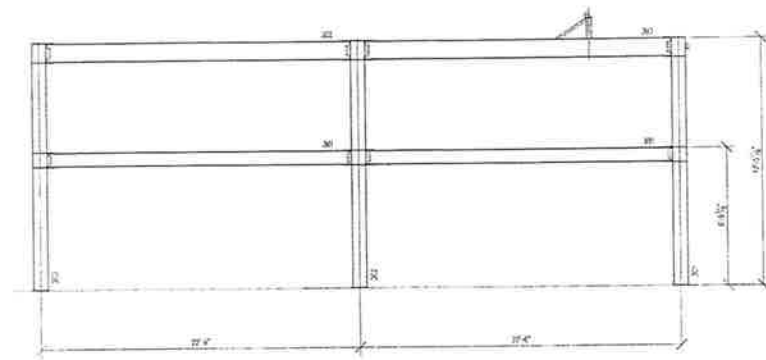
Superior Structural Corp.  
 23000 W. Glendale Avenue  
 New Berlin, Wisconsin 53146  
 Phone: (262) 547-7721  
 Fax: (262) 547-7723  
 Website: <http://www.superiorstructural.com>  
 E-mail: [info@superiorstructural.com](mailto:info@superiorstructural.com)





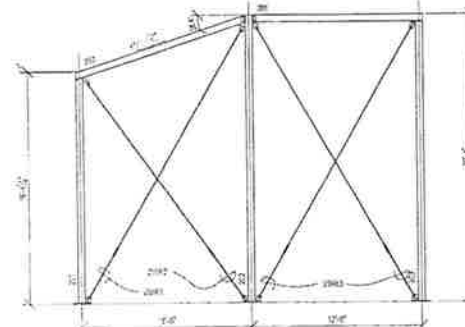
FRAMING PLAN

NOT TO SCALE



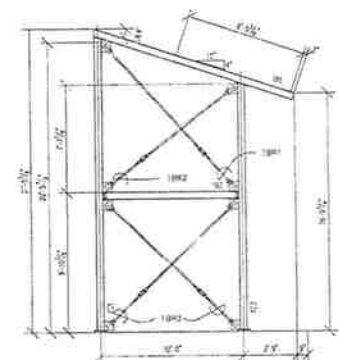
1 PORTAL FRAMING ELEVATION

NOT TO SCALE



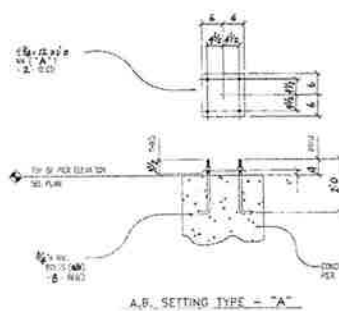
2 WEST X-BRACE FRAMING ELEVATION

NOT TO SCALE




3 MID X-BRACE FRAMING ELEVATION

NOT TO SCALE

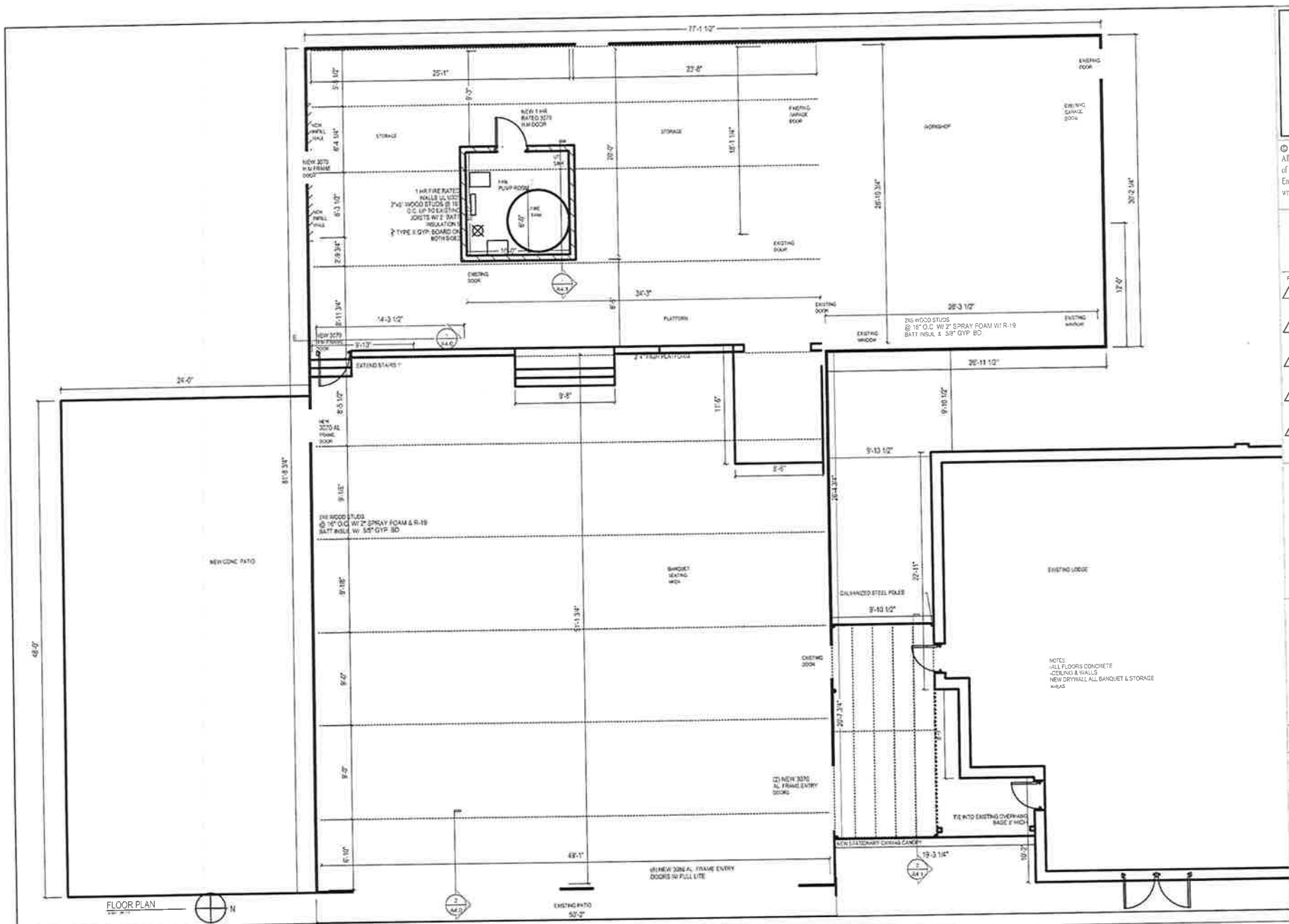


A.B. SETTING TYPE = "A"

NOTE:  
Superior Structural Corp. will not accept any back-charge  
incurred to repair errors, to furnish extra material, or to  
do extra work not stated on our drawings, without proper  
authorization.

REV	DESCRIPTION	BY	DATE
FOR APPROVAL	TO SHOP	TO FIELD	
B & R APPROVAL	AS BUILT	PROJECT	1 - 48
<div>  <b>Superior Structural Corp.</b>            Website: <a href="http://www.superiorstructural.com">http://www.superiorstructural.com</a>            E-mail: <a href="mailto:superior@superior.com">superior@superior.com</a>            Phone (262) 547-7372            Fax (262) 547-7346            2010 W. Lincoln, Jordan, WI 53146         </div>			
JOB NAME	Stein Forms Banquet Remodel	DRAWN BY	40H
LOCATION	5708 312th Ave Salem, WI 53168	CHECKED BY	
CONTRACTOR	Stein Forms	SCALE	1/4" = 1'-0"
DESCRIPTION	Framing Plan	DATE	10-18-17
		JOB NUMBER	#6658
		SHEET	E1





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- REVISIONS
- △
  - △
  - △
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## STEIN FARMS BANQUET REMODEL

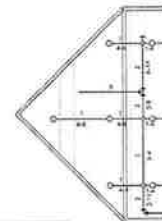
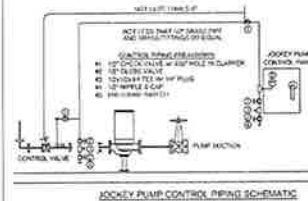
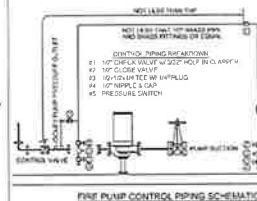
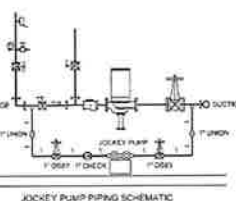
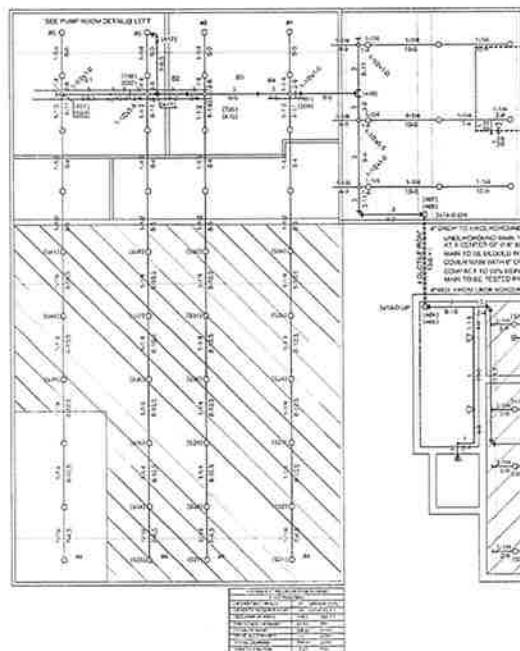
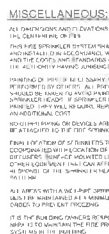
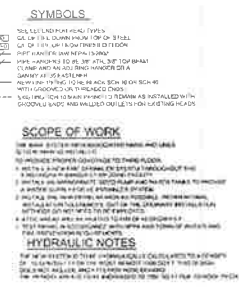
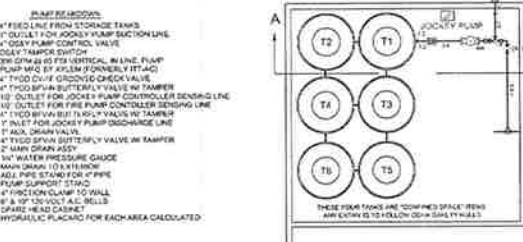
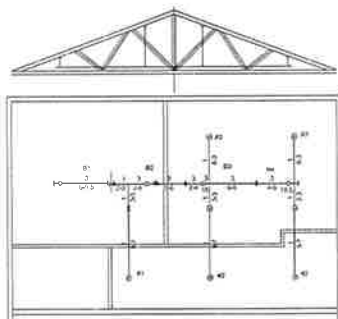
5708 312th Ave  
Salem, WI 53168

### SHEET TITLE FLOOR PLAN

PROJECT NO.	17-4974
DATE	6/27/17
SCALE	As Noted
CHECKED BY	JFJ
DRAWN BY	BJB

SHEET  
**A1.0**

19.



Variable	Mean	Standard Deviation
Age	34.5	10.2
Gender	1.2	0.4
Education	12.5	1.5
Income	45.0	15.0
Health	2.5	0.8
Stress	3.5	1.2
Life Satisfaction	4.0	1.0

WATERFLOW INFORMATION	
1	2
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79	80
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85	86
87	88
89	90
91	92
93	94
95	96
97	98
99	100

Symbol		Number of Sprinklers	
Enriched	Description	Total This Sheet #	Total This Project #
4000	WET WALL TYPICAL FRONT		
4000	WET WALL TYPICAL BACK		
4000	WET WALL TYPICAL SIDE		
4000	WET WALL TYPICAL CORNER		
4000	WET WALL TYPICAL JUNCTION		
4000	WET WALL TYPICAL INTERIOR		
4000	WET WALL TYPICAL EXTERIOR		
4000	WET WALL TYPICAL ROOF		
4000	WET WALL TYPICAL GROUND		
4000	WET WALL TYPICAL BASE		
4000	WET WALL TYPICAL TOP		
4000	WET WALL TYPICAL BOTTOM		
4000	WET WALL TYPICAL MIDDLE		
4000	WET WALL TYPICAL END		
4000	WET WALL TYPICAL START		
4000	WET WALL TYPICAL FINISH		
4000	WET WALL TYPICAL PAINT		
4000	WET WALL TYPICAL STAIN		
4000	WET WALL TYPICAL GLASS		
4000	WET WALL TYPICAL METAL		
4000	WET WALL TYPICAL WOOD		
4000	WET WALL TYPICAL CONCRETE		
4000	WET WALL TYPICAL BRICK		
4000	WET WALL TYPICAL STONE		
4000	WET WALL TYPICAL TILE		
4000	WET WALL TYPICAL CARPET		
4000	WET WALL TYPICAL FLOOR		
4000	WET WALL TYPICAL CEILING		
4000	WET WALL TYPICAL WALL		
4000	WET WALL TYPICAL DOOR		
4000	WET WALL TYPICAL WINDOW		
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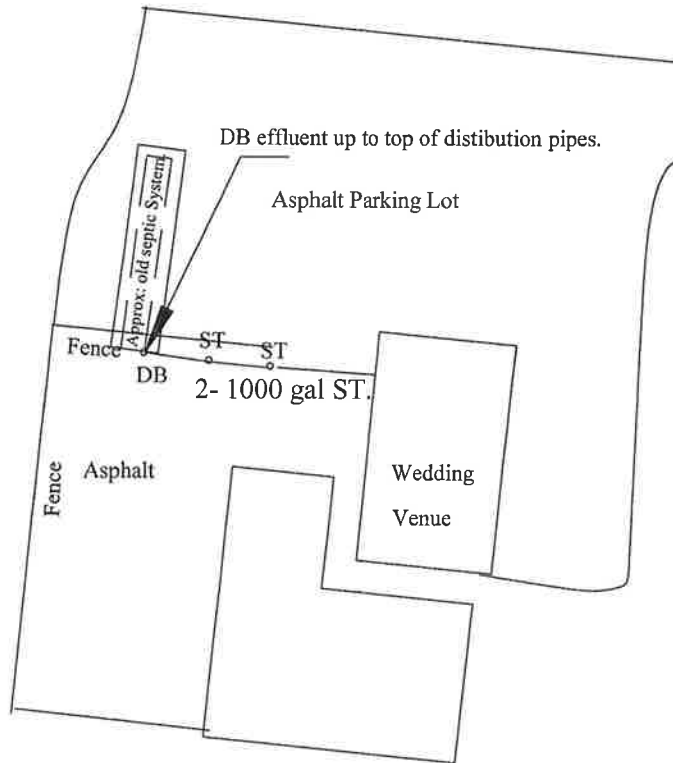
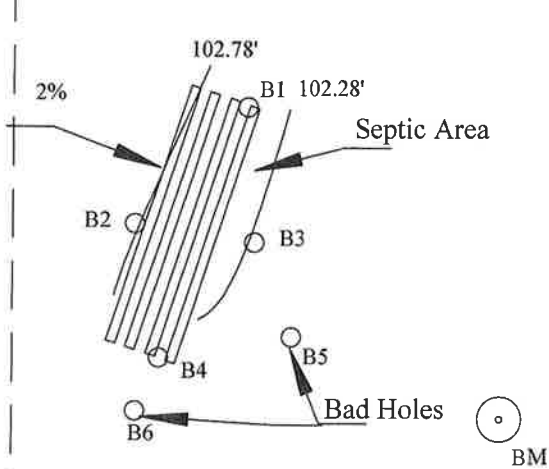
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**UNITED MECHANICAL, INC.**  
 1300 13 TH ST. TELEPHONE (502) 837-8131  
 ARLINE, WIS 53005 622 8112

Scaled Area

1985

Well >300'



312th Ave. ("NN")

No Kitchen Waste.  
Assembly Hall Wedding Hall Primary used Saturday nights

275 People x 1.3 = 357.5 gals.

2 Floordrains x 25 = 50 gals.

2 Employees x 13 = 26 gals.

Total = 433.5 gals. x 1.5 = 651 gals.

16 +/- Acres

Property Owner  
Clem Stein  
5708 312th Ave.  
Salem, WI. 53168  
Location  
SE1/4 S36T2NR19E  
Town of Wheatland  
Kenosha County  
BM=100'

Nail 15"up in Multi trunk tree.

Scale 1"= 60'

(Except as noted)

Christian Johnson

220687/4-20-17

498.19'

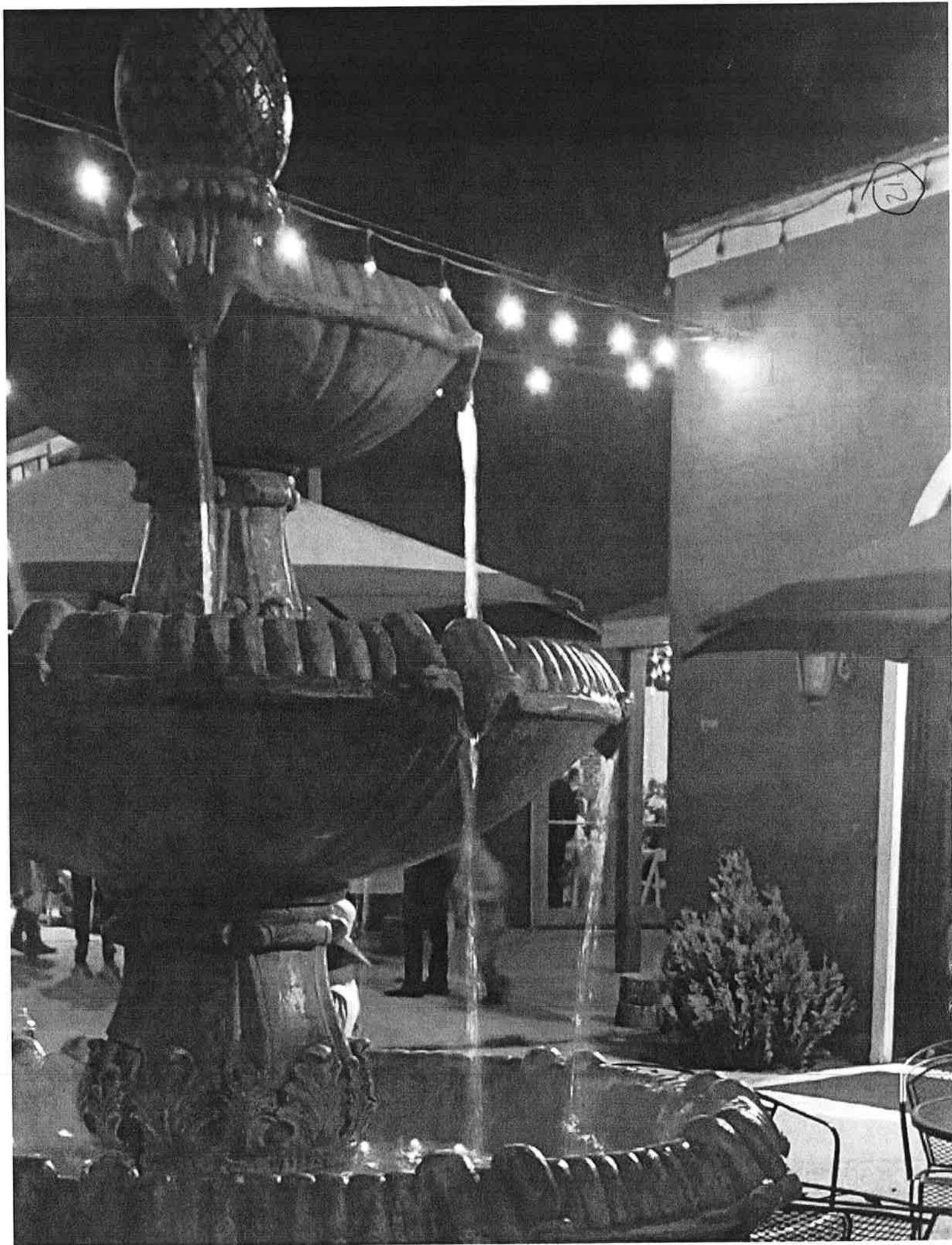


23.62'

C.T.H. "K"





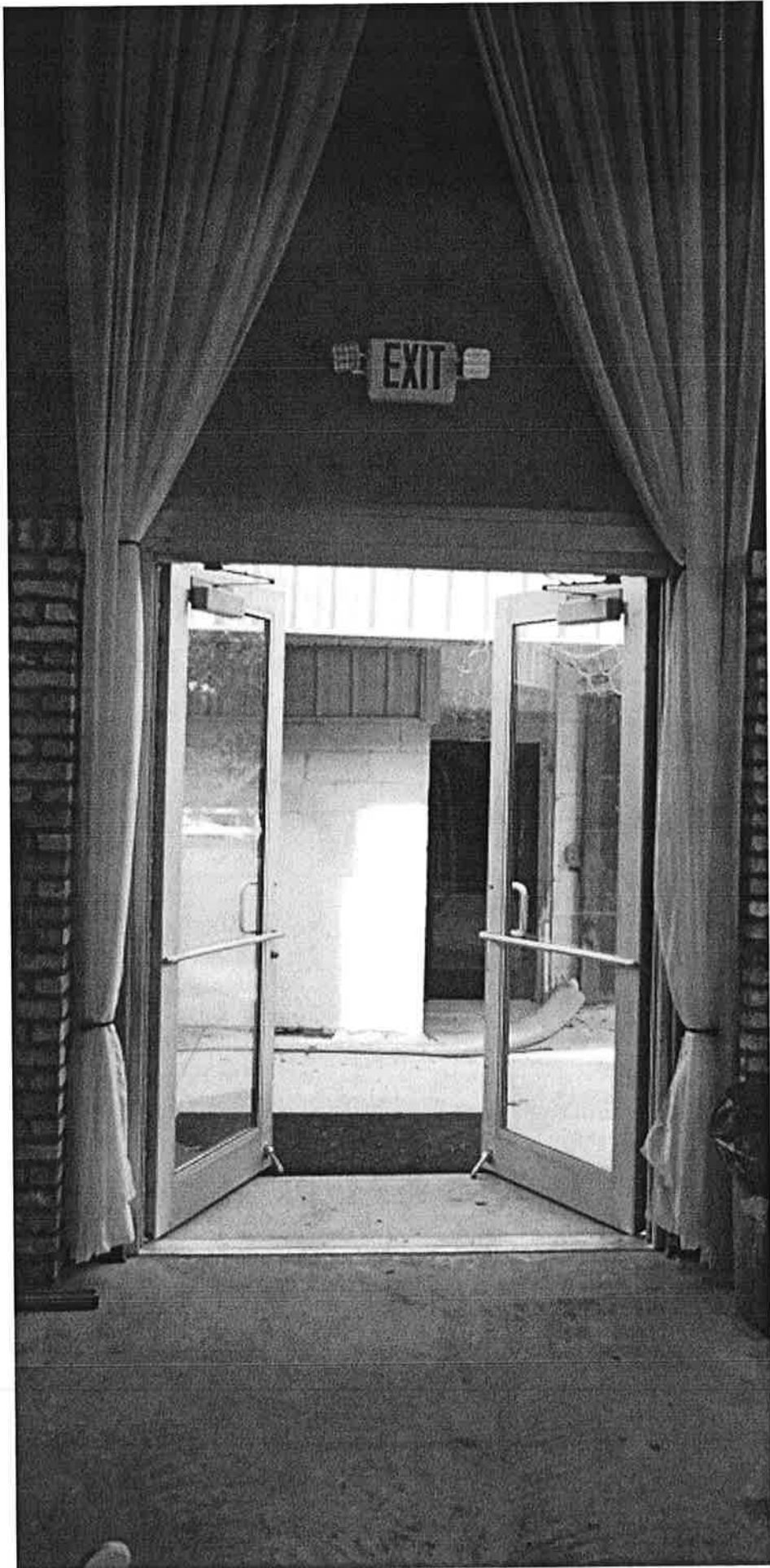




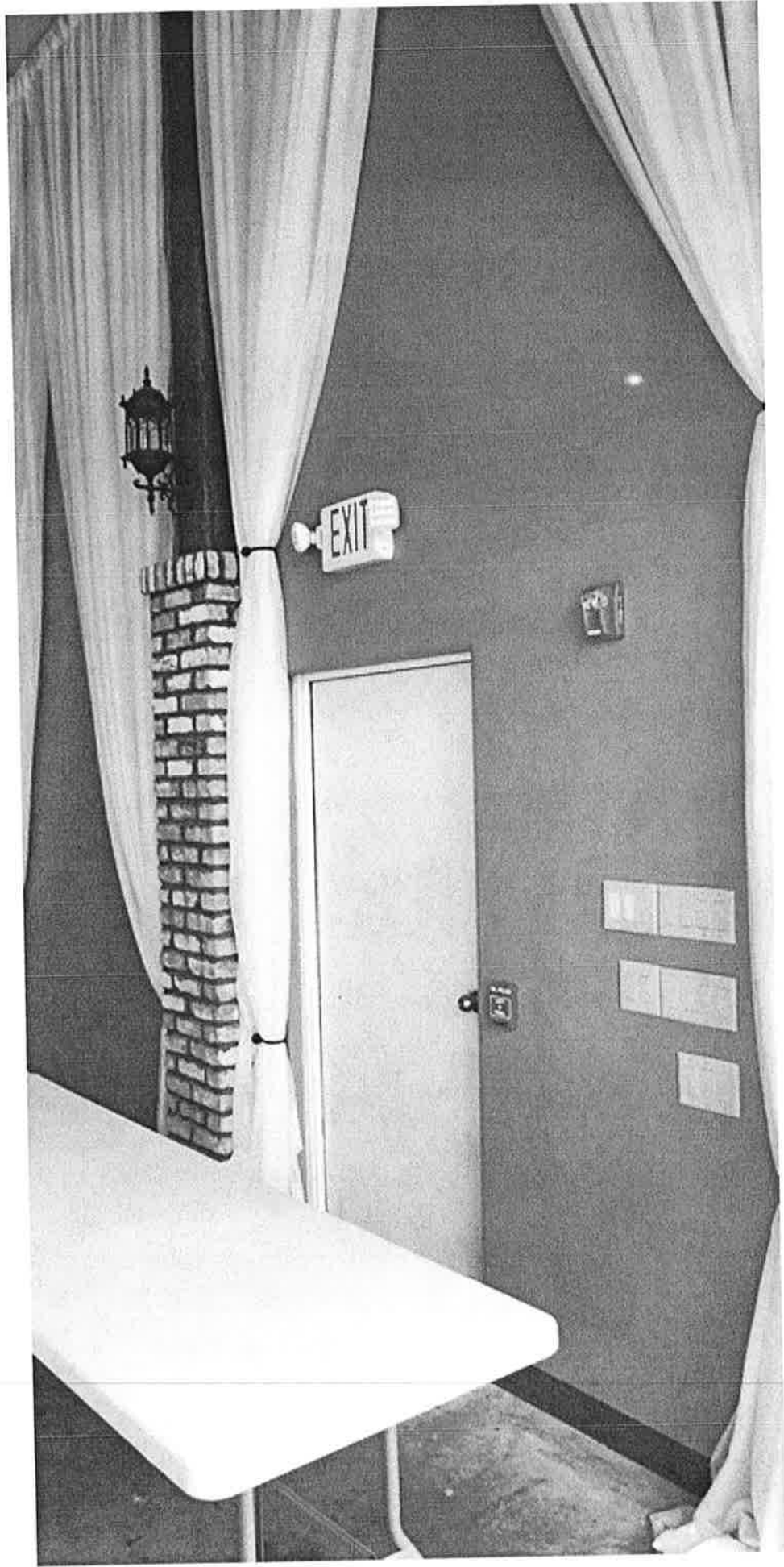




24.



25.





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