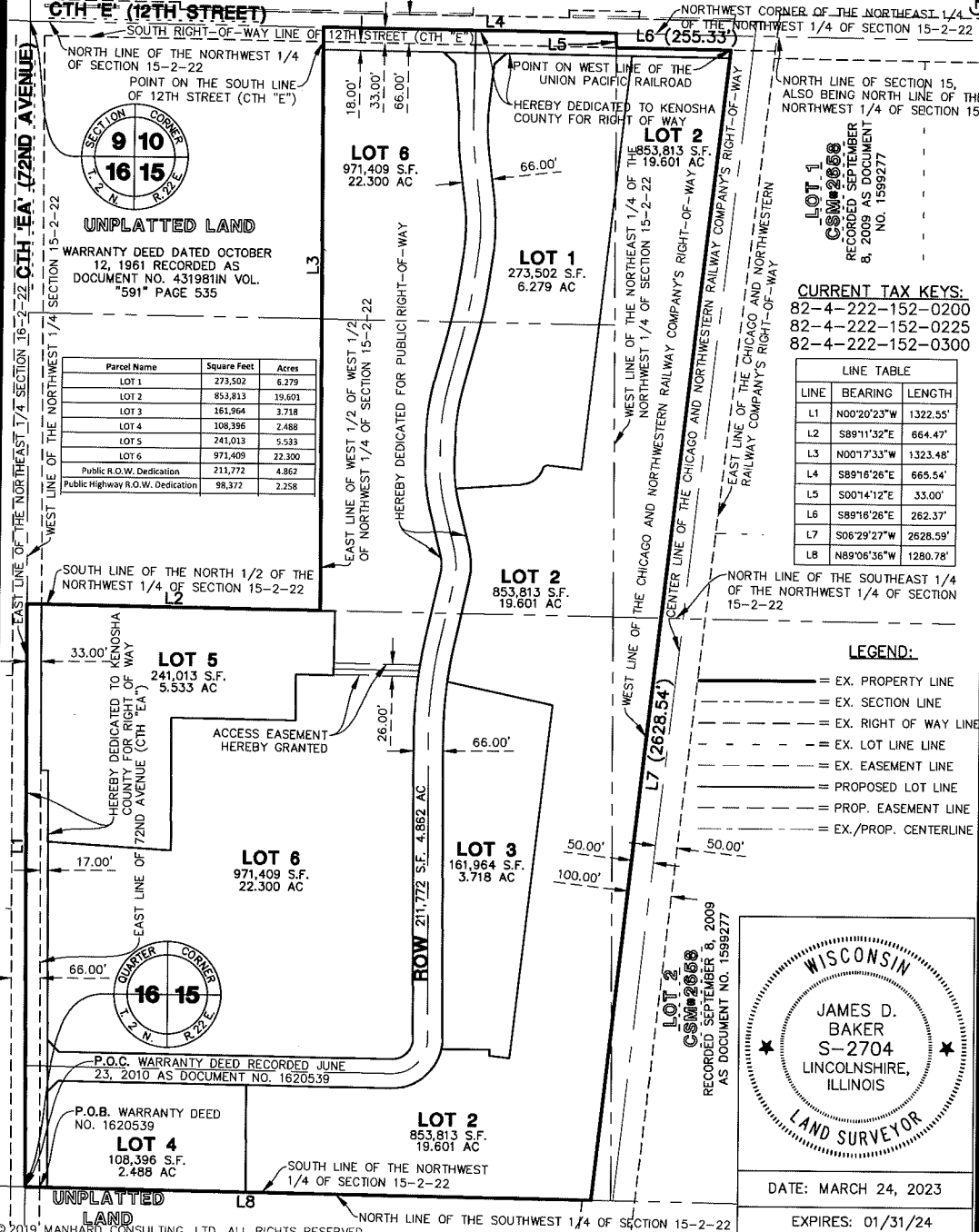
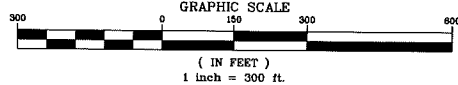


CERTIFIED SURVEY MAP NO.

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BASIS OF BEARINGS
BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011)
IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W



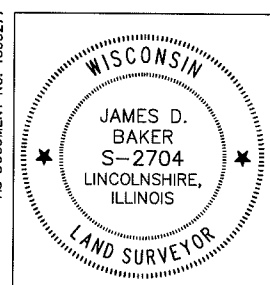
Parcel Name	Square Feet	Acres
LOT 1	273,502	6.279
LOT 2	853,813	19.601
LOT 3	161,964	3.718
LOT 4	108,396	2.488
LOT 5	241,013	5.533
LOT 6	971,409	22.300
Public R.O.W. Dedication	211,772	4.862
Public Highway R.O.W. Dedication	98,372	2.258

LOT 1
CSM#2658
RECORDED SEPTEMBER 8, 2009 AS DOCUMENT NO. 1599277

CURRENT TAX KEYS:
82-4-222-152-0200
82-4-222-152-0225
82-4-222-152-0300

LINE	BEARING	LENGTH
L1	N00°20'23"W	1322.55'
L2	S89°11'32"E	664.47'
L3	N00°17'33"W	1323.48'
L4	S89°16'26"E	665.54'
L5	S00°14'12"E	33.00'
L6	S89°16'26"E	262.37'
L7	S06°29'27"W	2628.59'
L8	N89°06'36"W	1280.78'

- LEGEND:**
- EX. PROPERTY LINE
 - EX. SECTION LINE
 - EX. RIGHT OF WAY LINE
 - EX. LOT LINE LINE
 - EX. EASEMENT LINE
 - PROPOSED LOT LINE
 - PROP. EASEMENT LINE
 - EX./PROP. CENTERLINE



DATE: MARCH 24, 2023
EXPIRES: 01/31/24

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Construction Managers • Environmental Scientists • Landscape Architects • Planners

SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP

PROJ. MGR.: **DB**
DRAWN BY: **LSM**
DATE: **03/24/23**
SCALE: **1"=300'**

SHEET
1 OF **32**
ALN.SMWI01

Dwg Name: P:\alnmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\01-ALNSMWI-CSM_1.dwg Updated By: LMoryl

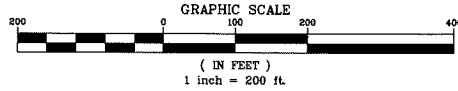
EXHIBIT A

PROPERTY

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE
SYSTEM (KENOSHA COUNTY) NAD 83 (2011)
IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15,
TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

=====	=	EX./PROP. PROPERTY LINE
-----	=	EX. SECTION LINE
-----	=	EX. RIGHT OF WAY LINE
-----	=	EX. LOT LINE LINE
-----	=	EX. EASEMENT LINE
=====	=	PROPOSED LOT LINE
-----	=	PROP. EASEMENT LINE
-----	=	EX./PROP. CENTERLINE



- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG
WEIGHT 1.30 LBS/FT. SET

FOUND CONCRETE MONUMENT
3 1/4" BRASS DISK AT CORNER
POINT ID: 2220590

HEREBY DEDICATED TO KENOSHA
COUNTY FOR RIGHT OF WAY

SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 10-2-22

665.54' CTH 'E' (12TH STREET)

NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 15-2-22

P.O.C. SEWER AND WATER MAIN EASEMENT RECORDED
DECEMBER 4, 2006 AS DOCUMENT NO. 1503390 &
SBC EASEMENT RECORDED MAY 23, 2006 AS
DOCUMENT NO. 1481030
27' SEWER AND WATERMAIN EASEMENT RECORDED
DECEMBER 4, 2006 AS DOCUMENT NO. 1503390

SEE LINE TABLE ON SHEET 4
SEE CURVE TABLE ON SHEET 3

UNPLATTED LAND

WARRANTY DEED DATED OCTOBER 12, 1961 RECORDED
AS DOCUMENT NO. 431981 IN VOL. "591" PAGE 535

S 89°13'59" E 664.95'

S 89°13'59" E 664.95'

ROW
21,772 S.F.
4.862 AC

HEREBY DEDICATED FOR
PUBLIC RIGHT-OF-WAY
30' SETBACK
HEREBY GRANTED

HEREBY DEDICATED FOR
PUBLIC RIGHT-OF-WAY
30' SETBACK
HEREBY GRANTED

HEREBY DEDICATED FOR
PUBLIC RIGHT-OF-WAY
30' SETBACK
HEREBY GRANTED

HEREBY DEDICATED FOR
PUBLIC RIGHT-OF-WAY
25' SETBACK
HEREBY GRANTED

LOT 6
971,409 S.F.
22.300 AC

LOT 1
273,502 S.F.
6.279 AC

LOT 2
853,813 S.F.
19.601 AC

SEE SHEET 3

SEE SHEET 5

L2 (N 89°21'36" E)

L3 (N 01°44'15" W)

L4 (N 89°16'47" E)

L43

L42

L41

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2 OF 32

ALN.SMWI01

CERTIFIED SURVEY MAP NO. _____

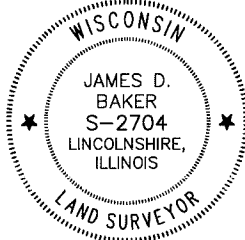
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LEGEND:

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- - - = PROPOSED LOT LINE
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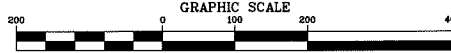
PREPARED BY:

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

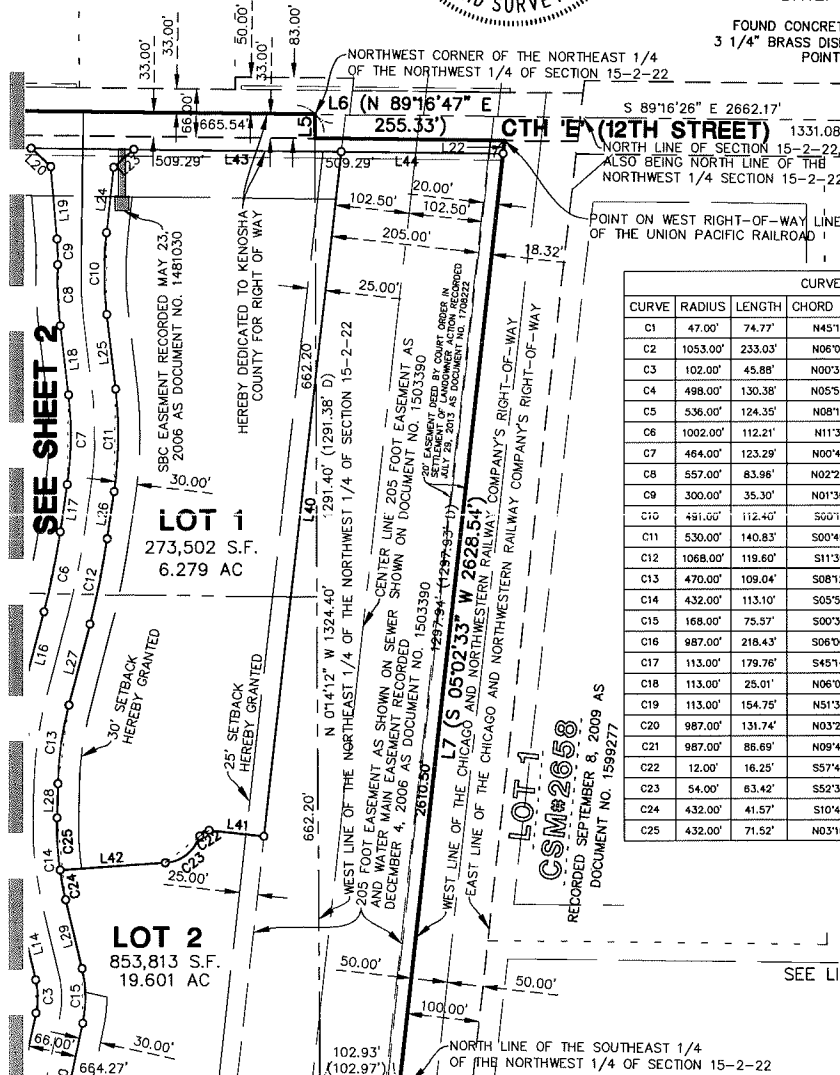
FOUND CONCRETE MONUMENT
3 1/4" BRASS DISK AT CORNER
POINT ID: 2220580



(IN FEET)
1 inch = 200 ft.

LEGEND

- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG
WEIGHT 1.30 LBS/FT. SET



CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE
C1	47.00'	74.77'	N45°14'03"E	67.13'	091°08'52"
C2	1053.00'	233.03'	N06°00'00"E	232.56'	012°40'47"
C3	102.00'	45.88'	N00°32'45"W	45.49'	025°46'18"
C4	498.00'	130.38'	N05°55'54"W	130.00'	015°00'00"
C5	536.00'	124.35'	N08°12'53"E	124.08'	013°17'34"
C6	1002.00'	112.21'	N11°39'11"E	112.15'	006°24'58"
C7	464.00'	123.29'	N00°49'58"E	122.93'	015°13'28"
C8	557.00'	83.96'	N02°27'40"W	83.88'	008°38'11"
C9	300.00'	35.30'	N01°30'49"W	35.28'	006°44'29"
C10	491.00'	112.40'	S00°13'17"E	112.15'	013°08'56"
C11	530.00'	140.83'	S00°49'58"W	140.42'	015°13'28"
C12	1068.00'	119.60'	S11°39'11"W	119.53'	006°24'58"
C13	470.00'	109.04'	S08°12'53"W	108.80'	013°17'34"
C14	432.00'	113.10'	S05°55'54"E	112.77'	015°00'00"
C15	168.00'	75.57'	S00°32'45"E	74.93'	025°46'18"
C16	987.00'	218.43'	S06°00'00"W	217.98'	012°40'47"
C17	113.00'	179.76'	S45°14'03"W	161.40'	091°08'52"
C18	113.00'	25.01'	N06°00'07"E	24.96'	012°41'00"
C19	113.00'	154.75'	N51°34'33"E	142.94'	078°27'51"
C20	987.00'	131.74'	N03°29'02"E	131.64'	007°38'51"
C21	987.00'	86.69'	N09°49'26"E	86.66'	005°01'56"
C22	12.00'	16.25'	S57°40'10"W	15.03'	077°34'28"
C23	54.00'	63.42'	S52°31'32"W	59.63'	067°17'11"
C24	432.00'	41.57'	S10°40'29"E	41.58'	005°30'50"
C25	432.00'	71.52'	N03°10'29"W	71.44'	009°29'10"

SEE LINE TABLE ON SHEET 4

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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP

PROJ. MGR.: **JDB**
DRAWN BY: **LSM**
DATE: **03/24/23**
SCALE: **1"=200'**

SHEET
3 OF **32**
ALN.SMWI01

14:42 Dwg Name: P:\Alnsmwi01.dwg Surv\Final Drawings\Certified Survey Map\CSM_1\02-05-ALNSMWI-CSM_1.dwg Updated By: L.Moray

CERTIFIED SURVEY MAP NO. _____

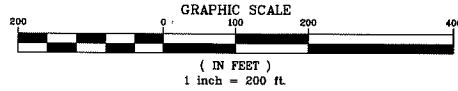
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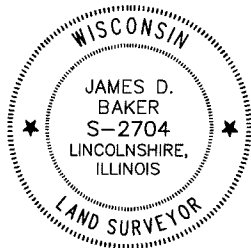
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LEGEND

- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG WEIGHT 1.30 LBS/FT. SET

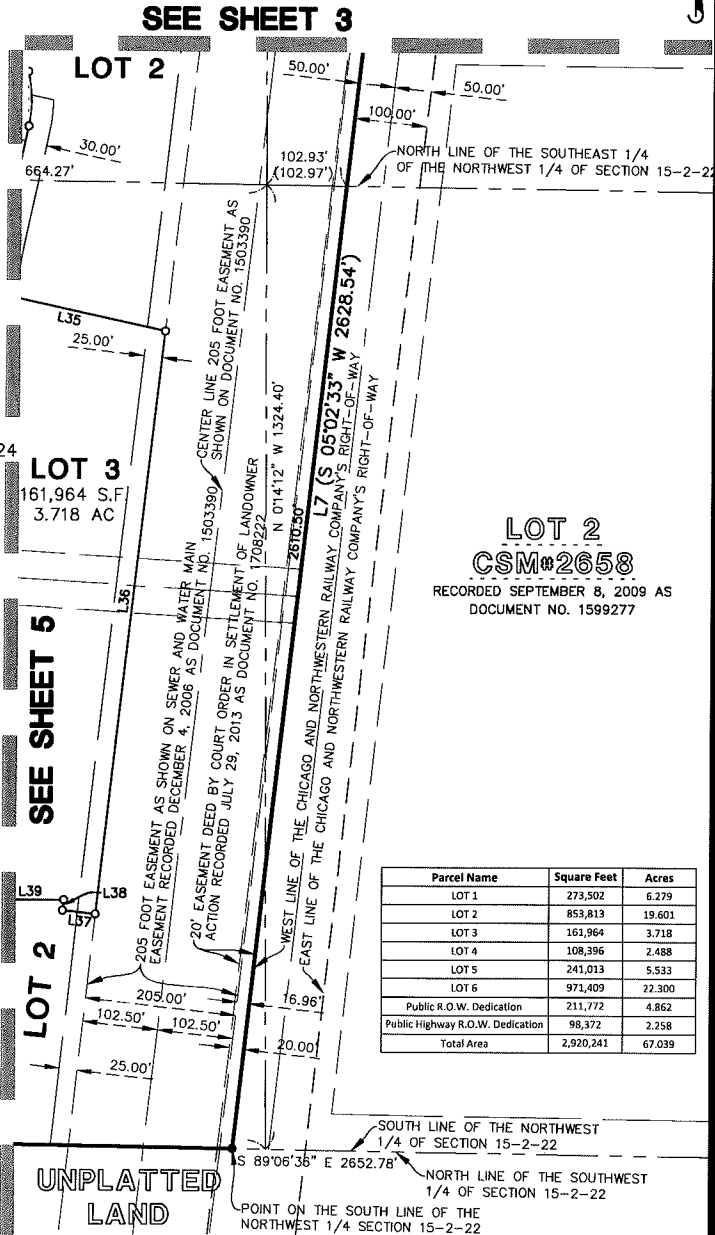


PREPARED BY: JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE CURVE TABLE ON SHEET 3

LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	N00°20'23"W	1322.55'	L28	S01°34'08"W	48.86'
L2	S89°11'32"E	664.47'	L29	S13°25'54"E	96.71'
L3	N00°17'33"W	1323.48'	L30	S12°20'24"W	146.98'
L4	S89°16'28"E	665.54'	L31	S00°20'23"E	677.49'
L5	S00°14'12"E	33.00'	L32	N89°11'32"W	755.89'
L6	S89°16'28"E	262.37'	L33	S45°14'03"W	35.00'
L7	S08°29'27"W	2628.59'	L34	N00°20'23"W	243.62'
L8	N89°06'36"W	1280.78'	L35	S77°39'36"E	241.98'
L9	S89°39'37"W	17.00'	L36	S06°27'24"W	805.98'
L10	S44°45'57"E	35.71'	L37	N83°32'36"W	45.67'
L11	S89°11'32"E	757.22'	L38	N06°27'24"E	14.47'
L12	N00°20'23"W	677.49'	L39	S89°39'37"W	108.58'
L13	N12°20'24"E	146.98'	L40	S06°27'24"W	944.48'
L14	N13°25'54"W	96.71'	L41	N83°32'36"W	75.85'
L15	N01°34'08"E	46.86'	L42	S86°10'07"W	146.50'
L16	N14°51'40"E	114.68'	L43	S89°16'28"E	284.78'
L17	N08°26'43"E	65.49'	L44	S89°16'28"E	224.53'
L18	N06°46'46"W	95.54'	L45	N00°20'23"W	449.82'
L19	N04°53'04"W	99.65'	L46	S89°11'32"E	665.15'
L20	N47°04'45"W	37.04'	L47	S00°48'28"W	146.25'
L21	N00°17'23"W	51.01'	L48	N89°11'32"W	86.05'
L22	S06°29'27"W	18.09'	L49	S00°20'23"E	104.27'
L23	S48°31'53"W	37.04'	L50	N89°11'32"W	281.95'
L24	S06°20'12"W	90.29'	L51	S00°20'23"E	301.57'
L25	S08°46'46"E	103.15'	L52	N86°26'45"W	277.81'
L26	S08°26'43"W	65.49'	L53	N00°20'23"W	162.35'
L27	S14°51'40"W	114.68'			



LOT 2
CSM#2658
RECORDED SEPTEMBER 8, 2009 AS
DOCUMENT NO. 1599277

Parcel Name	Square Feet	Acres
LOT 1	273,502	6.279
LOT 2	853,813	19.601
LOT 3	161,964	3.718
LOT 4	108,396	2.488
LOT 5	241,013	5.533
LOT 6	971,409	22.300
Public R.O.W. Dedication	211,772	4.862
Public Highway R.O.W. Dedication	98,372	2.258
Total Area	2,920,241	67.039

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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP

PROJ. MGR.: **JDS**
DRAWN BY: **LSM**
DATE: **03/24/23**
SCALE: **1"=200'**

SHEET
4 OF **32**
ALN.SMWI01

Dwg Name: P:\alnmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\02-05-ALNSMWI-CSM_1.dwg Updated By: LMoryl 14:42

CERTIFIED SURVEY MAP NO. _____

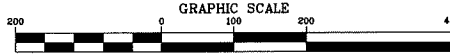
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LEGEND:

- EX./PROP. PROPERTY LINE
- - - EX. SECTION LINE
- - - EX. RIGHT OF WAY LINE
- - - EX. LOT LINE LINE
- - - EX. EASEMENT LINE
- - - PROPOSED LOT LINE
- - - PROP. EASEMENT LINE
- - - EX./PROP. CENTERLINE



(IN FEET)
1 inch = 200 ft.

LEGEND

- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG WEIGHT 1.30 LBS./FT. SET

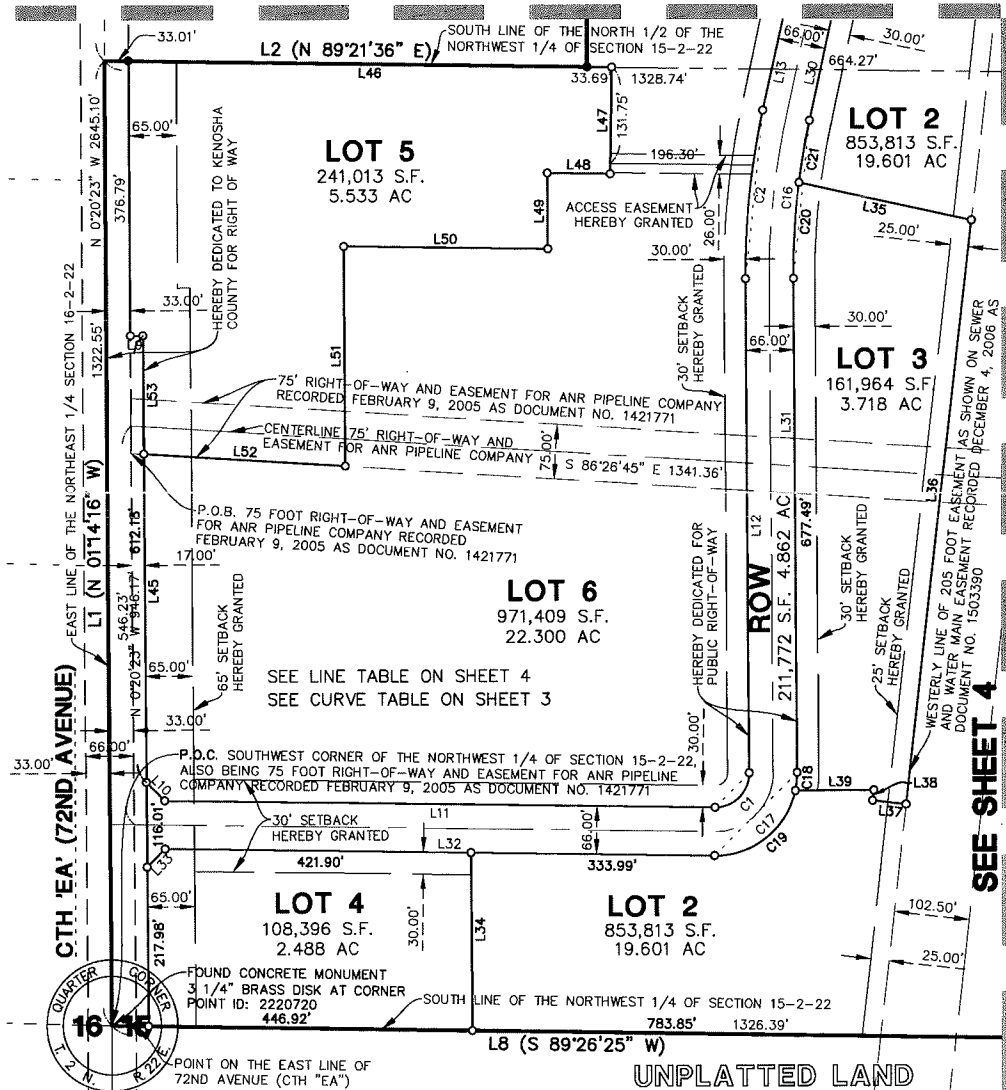
PREPARED BY:

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE SHEET 2



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	5 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=200'	

Dwg Name: P:\Alnsmwi01.dwg \Surv\Final Drawings\Certified Survey Map\CSM_1\02-05-ALNSMWI-1.dwg Updated By: L.Morly

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

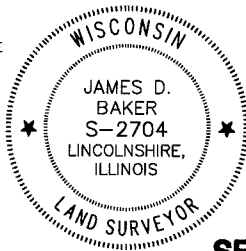
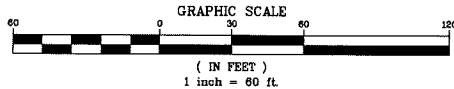
BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

LEGEND:

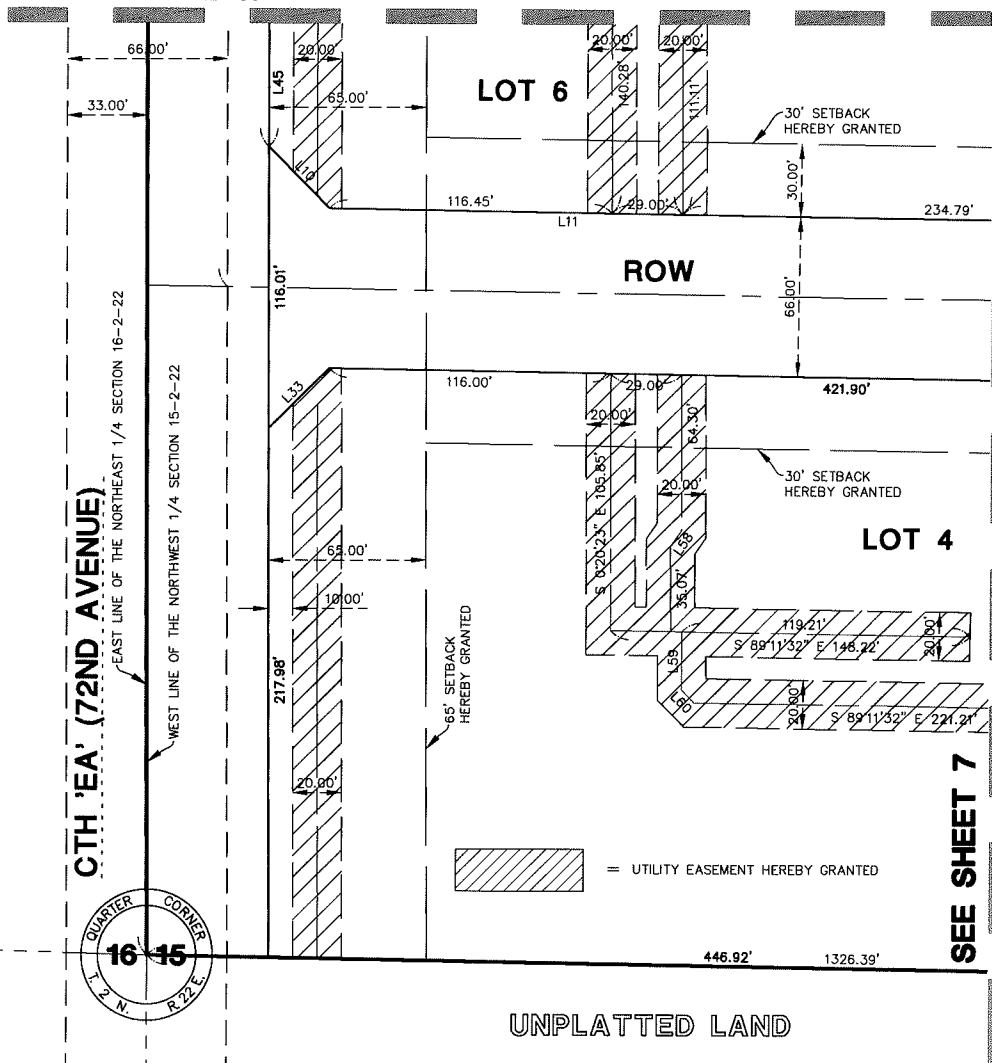
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- - - = EX. SECTION LINE
- - - = EX. RIGHT OF WAY LINE
- - - = EX. LOT LINE LINE
- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	6 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMory 14:41

CERTIFIED SURVEY MAP NO. _____

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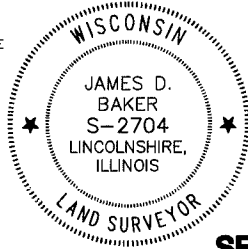
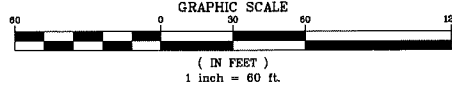
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BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

LEGEND:

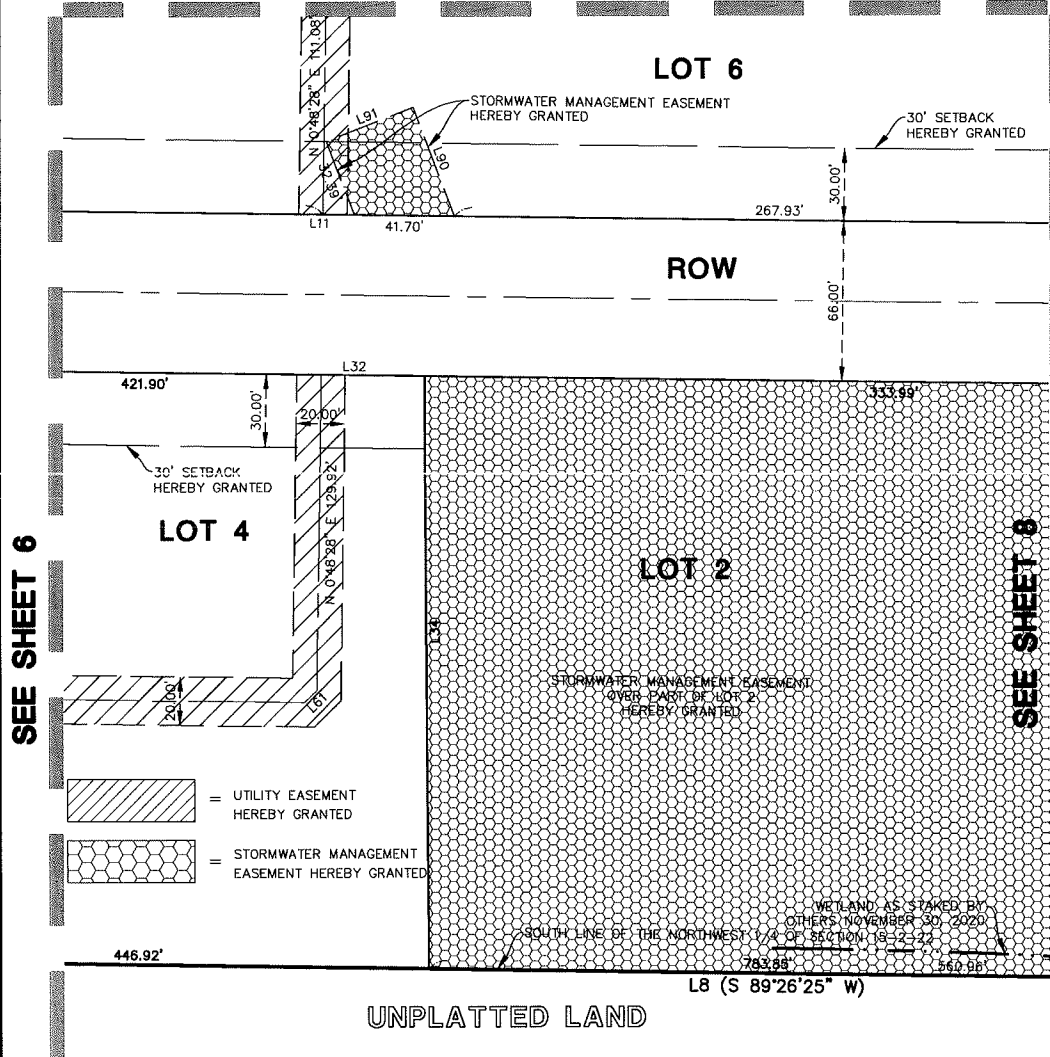
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- - - = EX. LOT LINE LINE
- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



PREPARED BY: JAMES D. BAKER,
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DATE: MARCH 24, 2023

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	7 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmw01.dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: L.Meryl

CERTIFIED SURVEY MAP NO. _____

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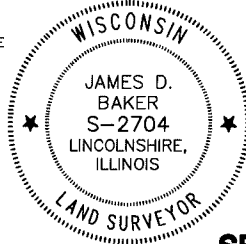
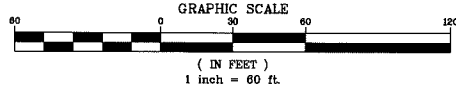
BASIS OF BEARINGS

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- = EX./PROP. PROPERTY LINE
- - - = EX. SECTION LINE
- - - = EX. RIGHT OF WAY LINE
- - - = EX. LOT LINE LINE
- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE

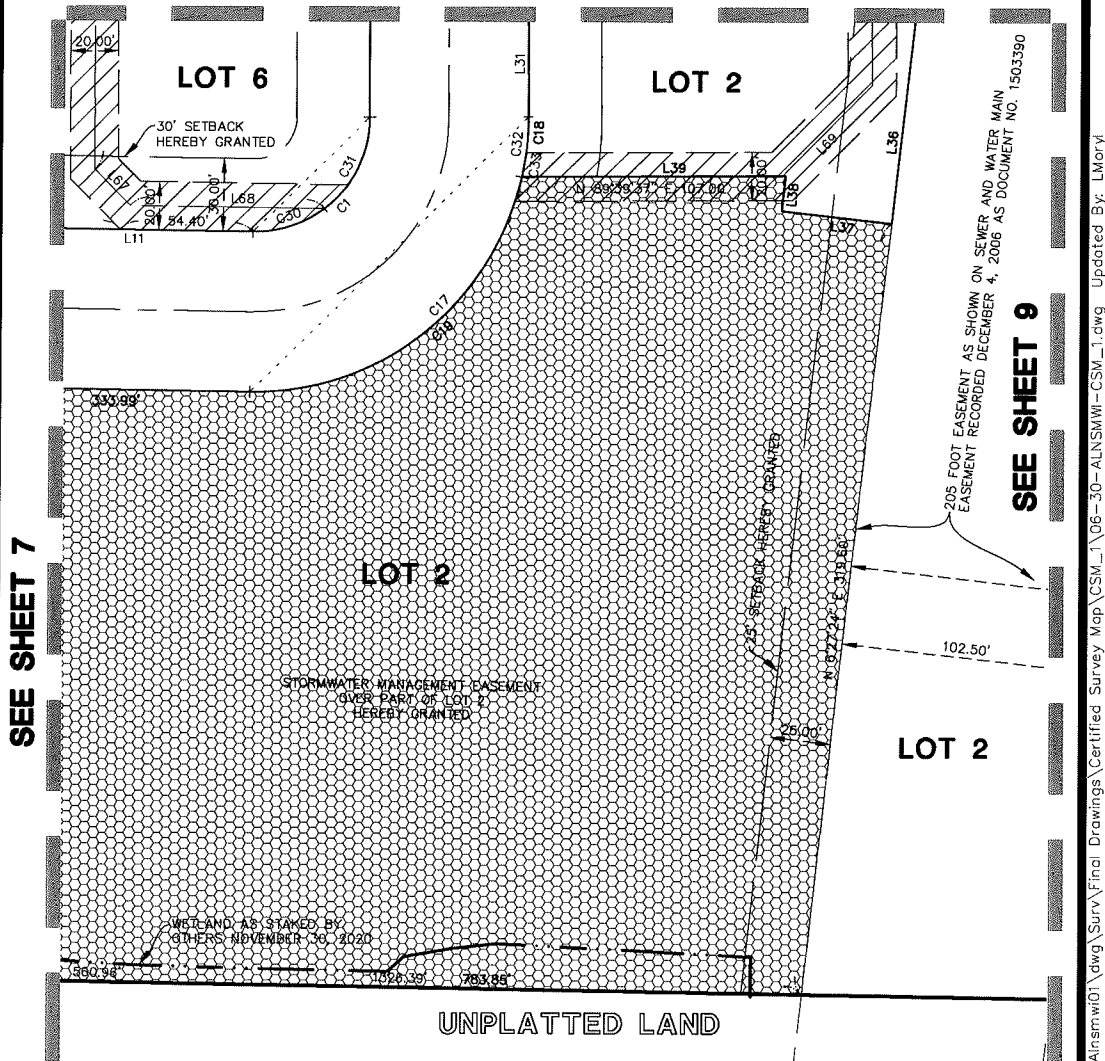
SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



- = UTILITY EASEMENT HEREBY GRANTED
- = STORMWATER MANAGEMENT EASEMENT HEREBY GRANTED

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DATE: MARCH 24, 2023

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	8 OF 32
DATE: 03/24/23	ALN.SMW101
SCALE: 1"=60'	

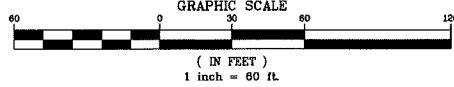
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CERTIFIED SURVEY MAP NO. _____

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IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W



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- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
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PREPARED BY: _____

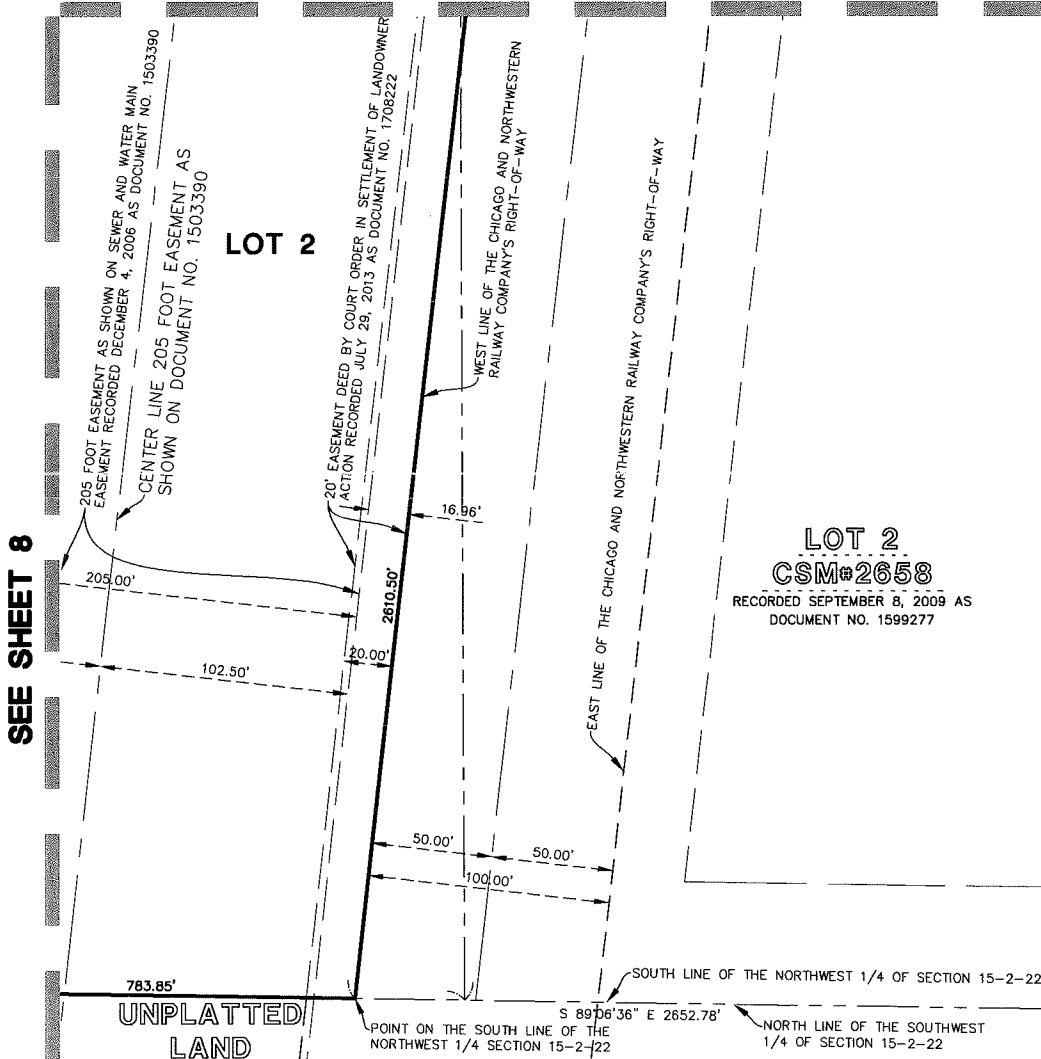
JAMES D. BAKER,

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DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	9 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

14:41 Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMeryl

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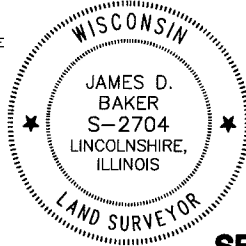
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- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



PREPARED BY:

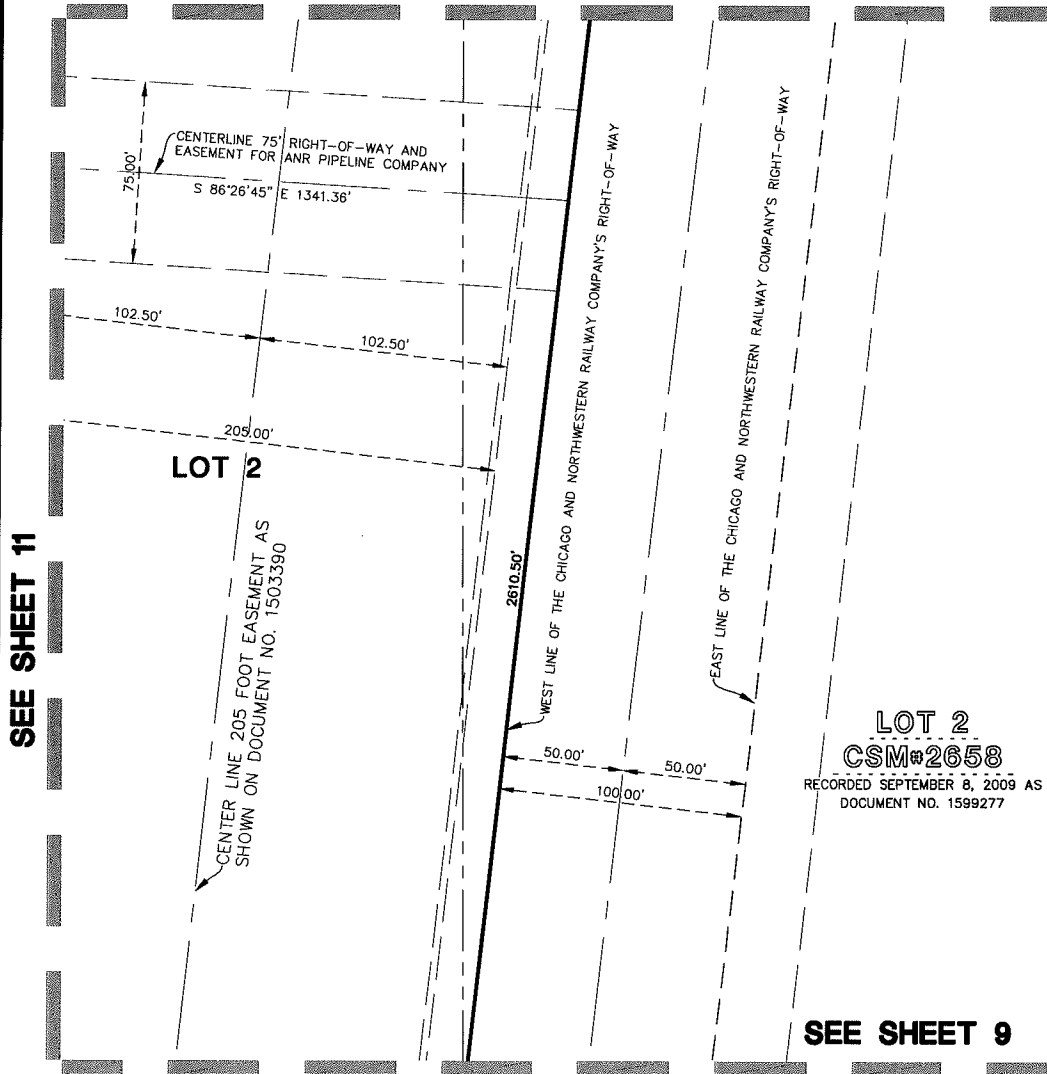
JAMES D. BAKER,

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DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: JDB

SHEET

DRAWN BY: LSM

DATE: 03/24/23

SCALE: 1"=60'

10 OF 32

ALN.SMW101

14:41 Dwg Name: P:\alnsmw101\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW-CSM_1.dwg Updated By: LMory

CERTIFIED SURVEY MAP NO. _____

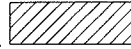
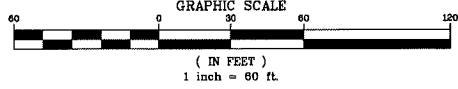
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BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

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- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



= UTILITY EASEMENT HEREBY GRANTED

PREPARED BY:

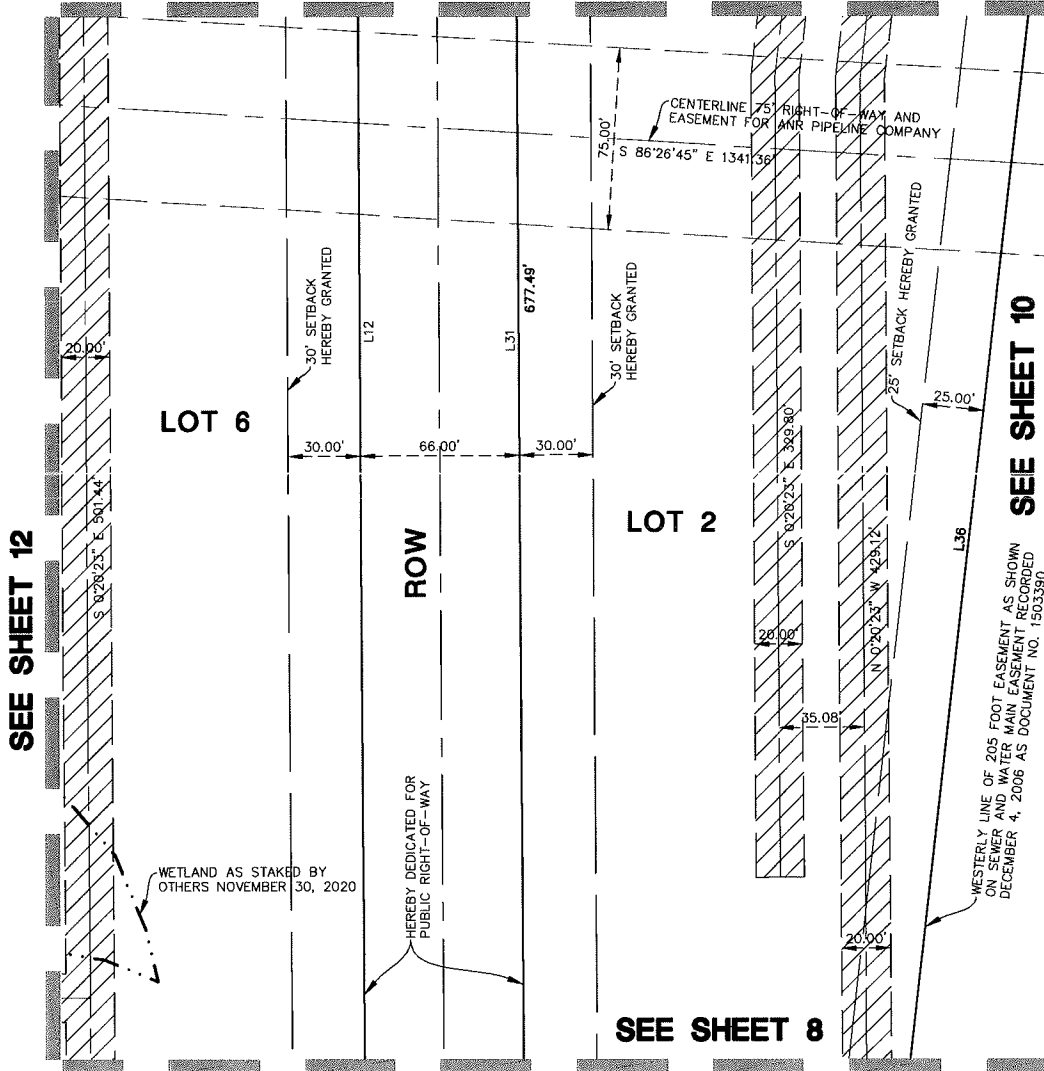
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 16



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JS	SHEET
DRAWN BY: LSM	11 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Ansmw\01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW-CSM_1.dwg Updated By: LMery

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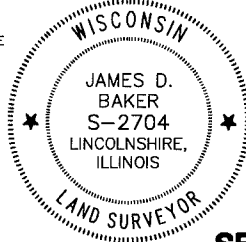
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LEGEND:

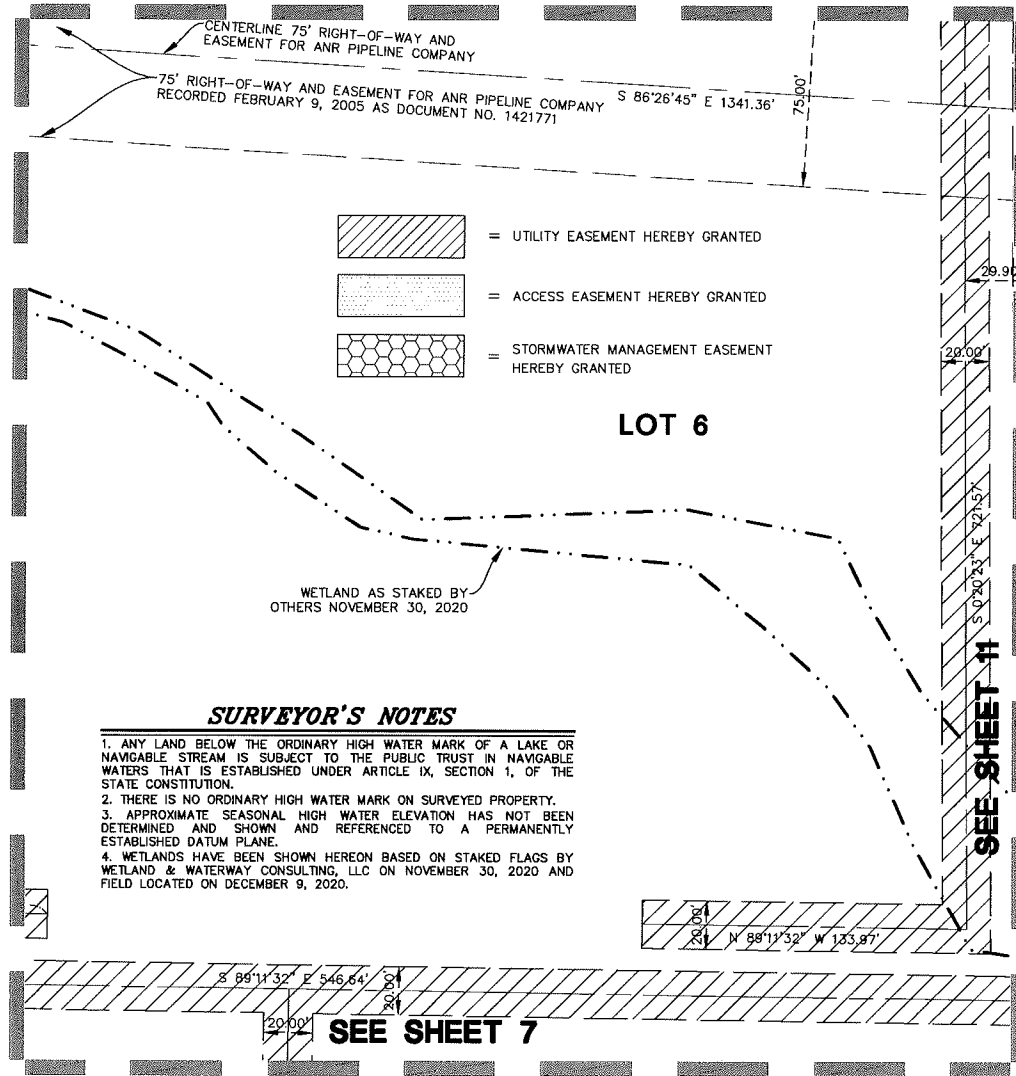
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- - - = EX. SECTION LINE
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- - - = EX. LOT LINE LINE
- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE SHEET 15

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



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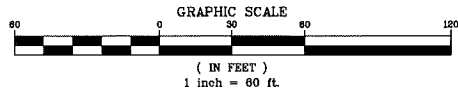
SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	12 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmwi01.dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: L.Mery

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE
SYSTEM (KEMOSHA COUNTY) NAD 83 (2011)
IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15,
TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

=====	=	EX./PROP. PROPERTY LINE
- - - - -	=	EX. SECTION LINE
=====	=	EX. RIGHT OF WAY LINE
- . - . -	=	EX. LOT LINE LINE
=====	=	EX. EASEMENT LINE
=====	=	PROPOSED LOT LINE
=====	=	PROP. EASEMENT LINE
-----	=	EX./PROP. CENTERLINE



PREPARED BY: _____
JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE SHEET 14



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: <u>DB</u>	SHEET
DRAWN BY: <u>LSM</u>	13 OF 32
DATE: <u>03/24/23</u>	ALN.SMW101
SCALE: <u>1"=60'</u>	

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CERTIFIED SURVEY MAP NO. _____

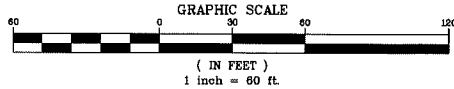
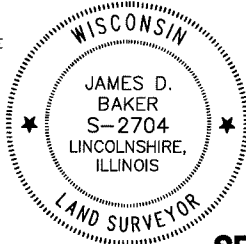
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- - - = PROPOSED LOT LINE
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- - - = EX./PROP. CENTERLINE



= UTILITY EASEMENT HEREBY GRANTED

PREPARED BY:

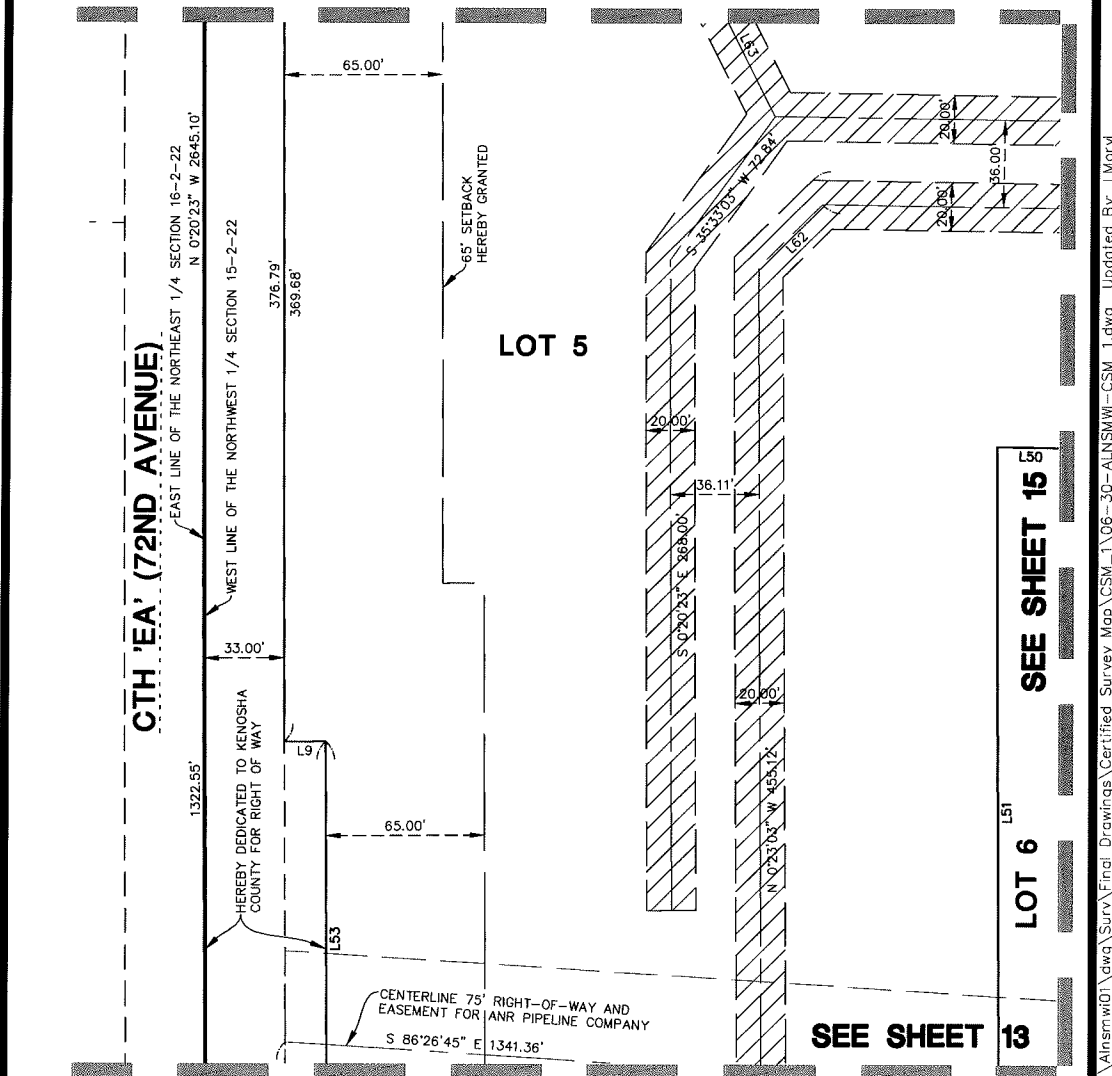
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: JDB

SHEET

DRAWN BY: LSM

DATE: 03/24/23

SCALE: 1"=60'

14

OF 32

ALN.SMW101

Dwg Name: P:\Alnsmw101\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW-CSM_1.dwg Updated By: L.Mory 14: 41

CERTIFIED SURVEY MAP NO. _____

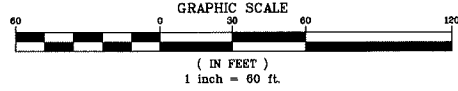
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BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011)
IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

LEGEND:

- = EX./PROP. PROPERTY LINE
- - - = EX. SECTION LINE
- - - = EX. RIGHT OF WAY LINE
- - - = EX. LOT LINE LINE
- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



PREPARED BY: _____

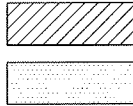
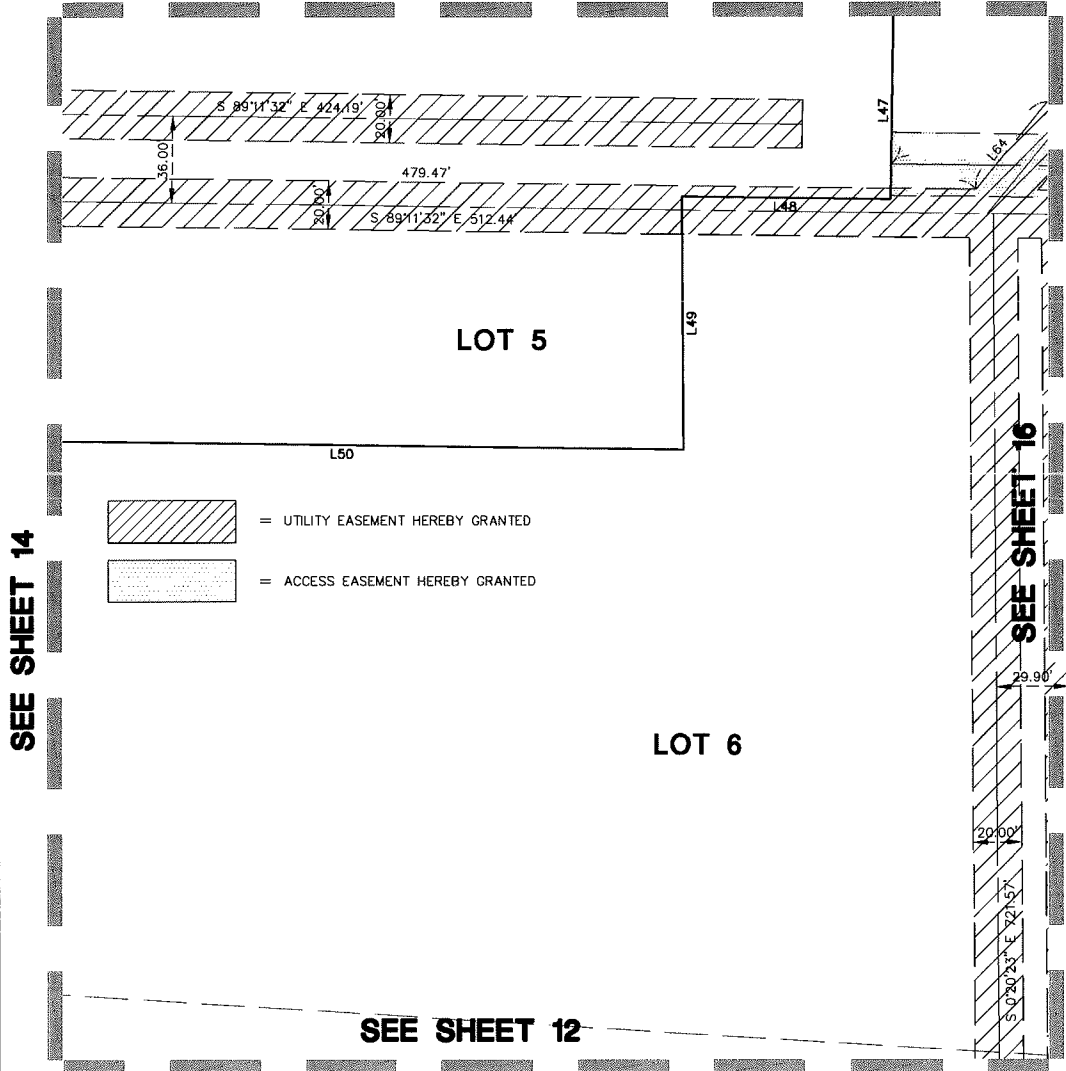
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JSB	SHEET
DRAWN BY: LSM	15 OF 32
DATE: 03/24/23	ALN.SMW101
SCALE: 1"=60'	

14:41 Dwg Name: P:\Alnsmw101.dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW-CSM_1.dwg Updated By: LMoryl

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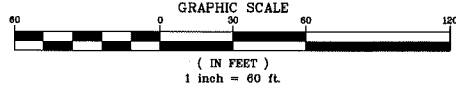
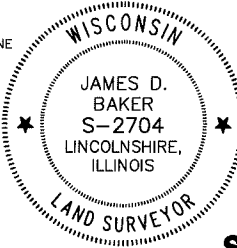
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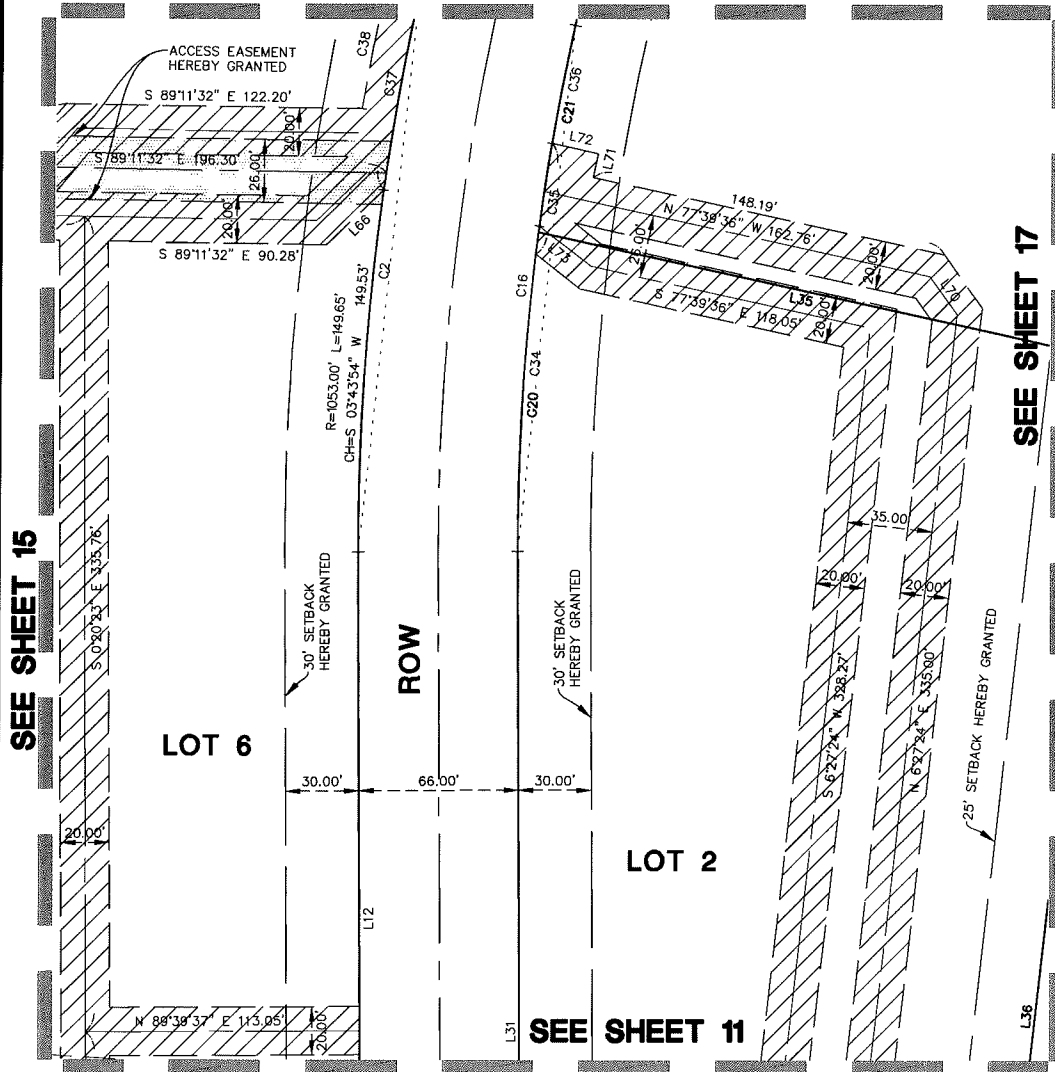


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PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 19



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	16 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: L.Mary

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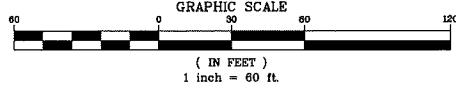
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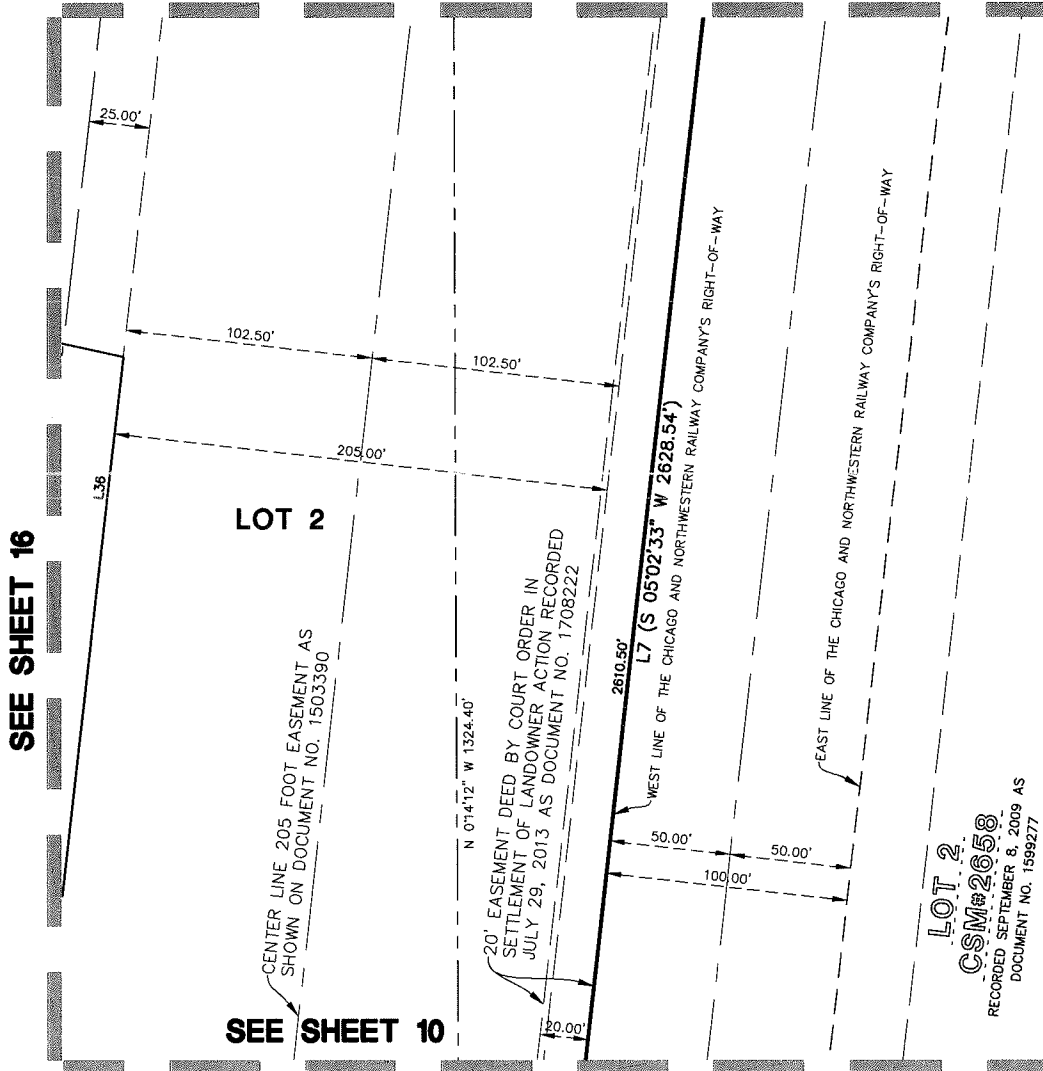
- = EX./PROP. PROPERTY LINE
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- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



PREPARED BY: _____
JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	17 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

14: 41 Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMoryl

CERTIFIED SURVEY MAP NO. _____

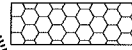
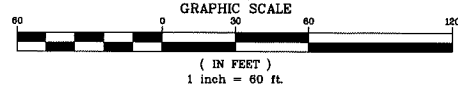
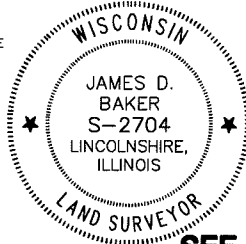
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- - - = EX./PROP. CENTERLINE



= STORMWATER MANAGEMENT EASEMENT
HEREBY GRANTED

PREPARED BY:

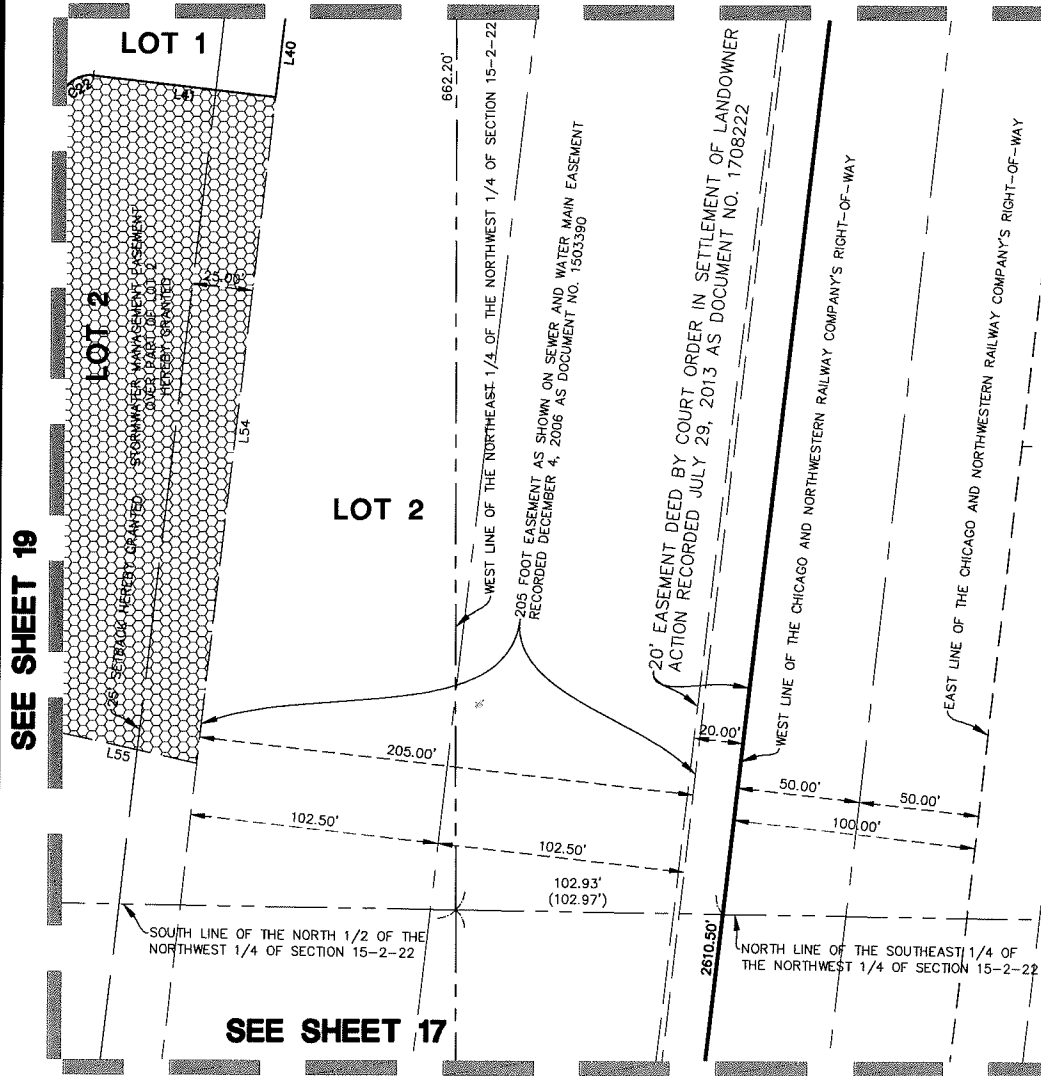
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 23 & 24



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	18 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALN.SMWI-CSM_1.dwg Updated By: LMeryl 14:41

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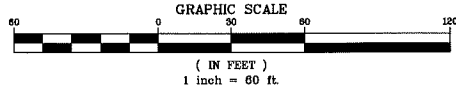
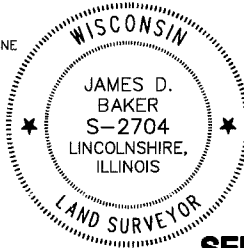
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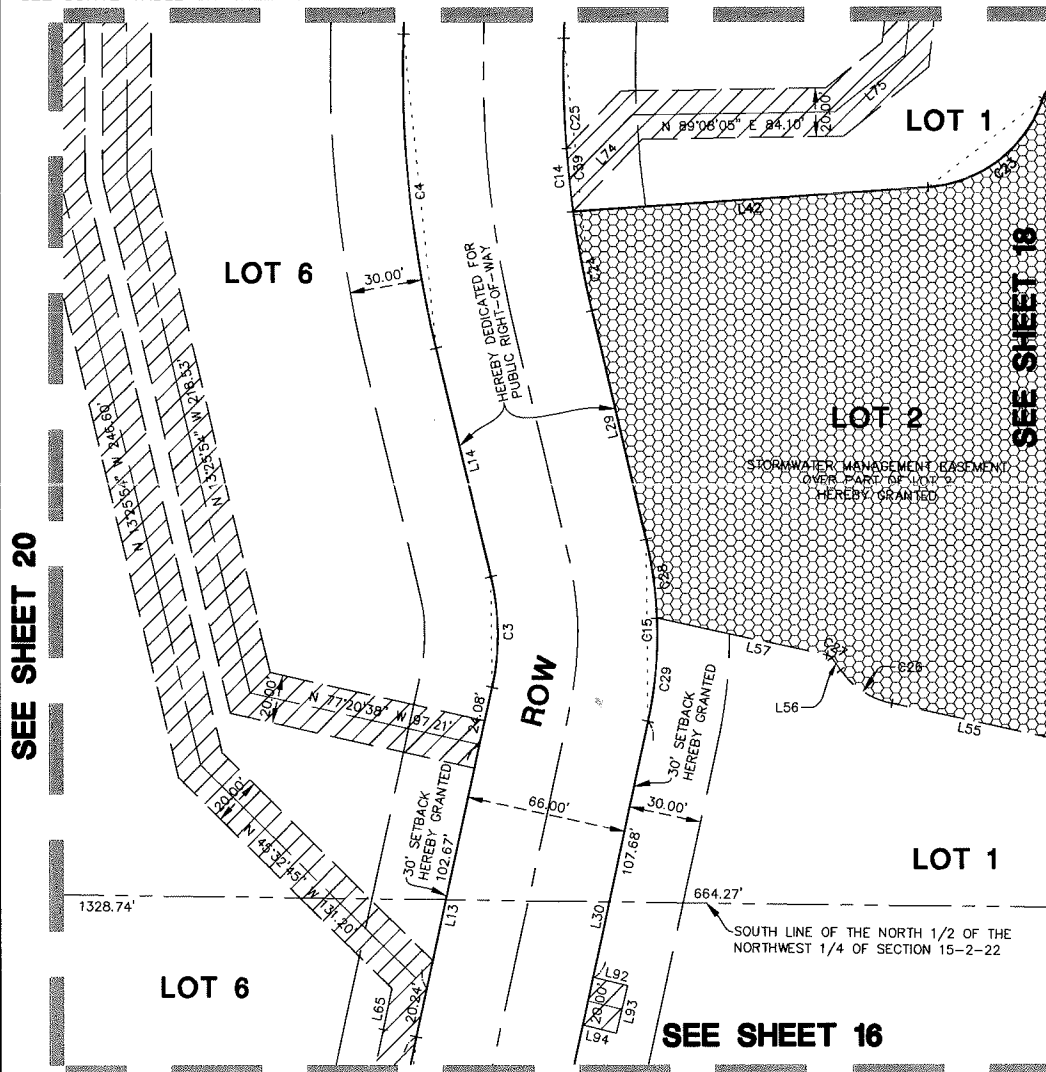


- = UTILITY EASEMENT HEREBY GRANTED
- = STORMWATER MANAGEMENT EASEMENT HEREBY GRANTED

PREPARED BY: JAMES D. BAKER,
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DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	19 OF 32
DATE: 03/24/23	ALN.SIMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmw\01\dwg\Surv\Final Drawings\Certified Survey Map (CSM_1)\06-30-ALNSMW-CSM_1.dwg Updated By: L.Way

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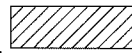
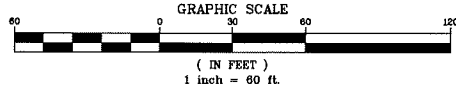
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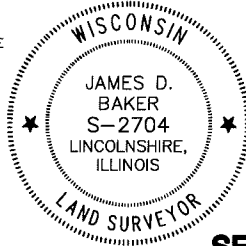
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SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



= UTILITY EASEMENT HEREBY GRANTED



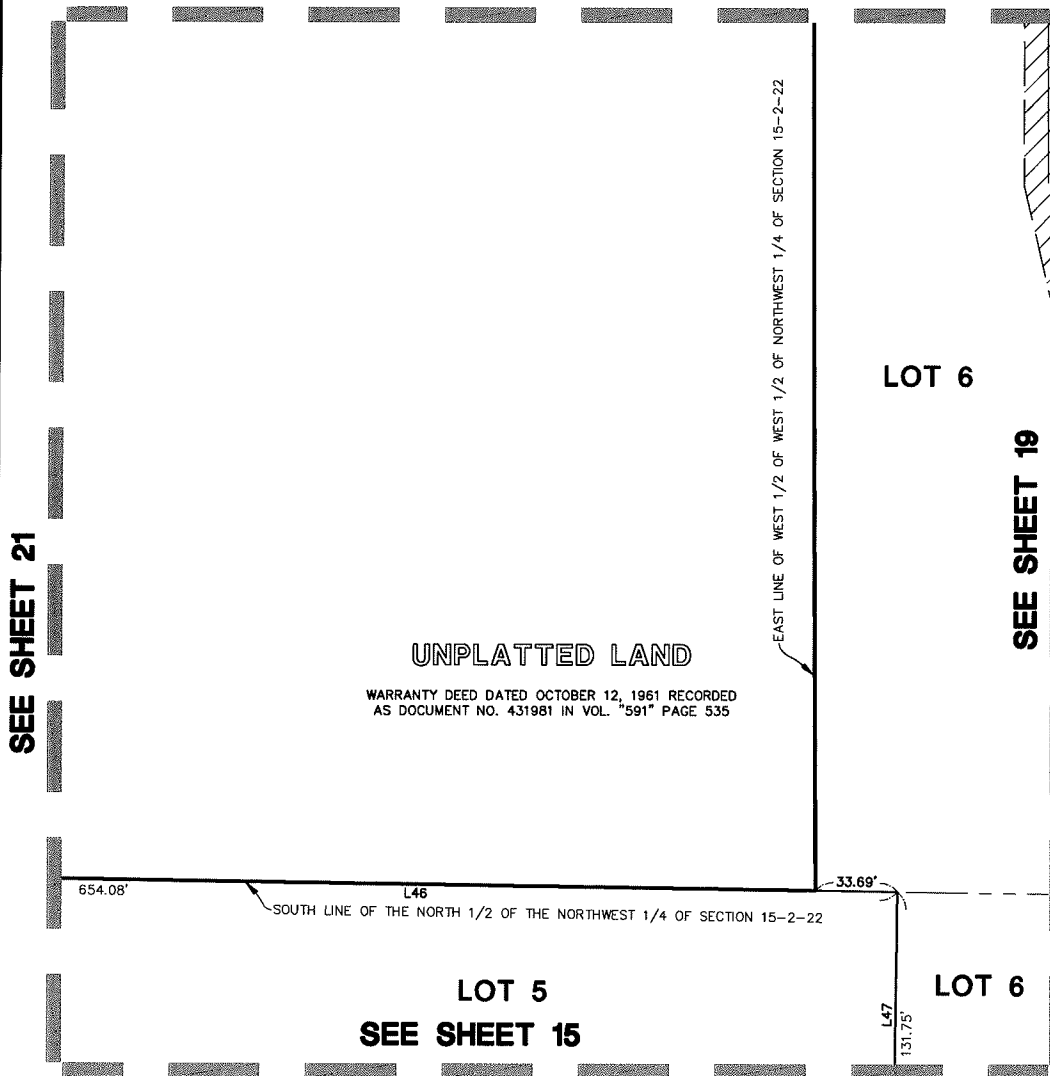
PREPARED BY:

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE SHEET 22



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	20 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

14:41 Dwg Name: P:\alnmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: L.Mary

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

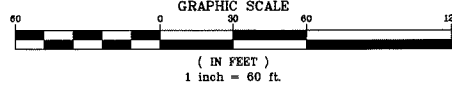
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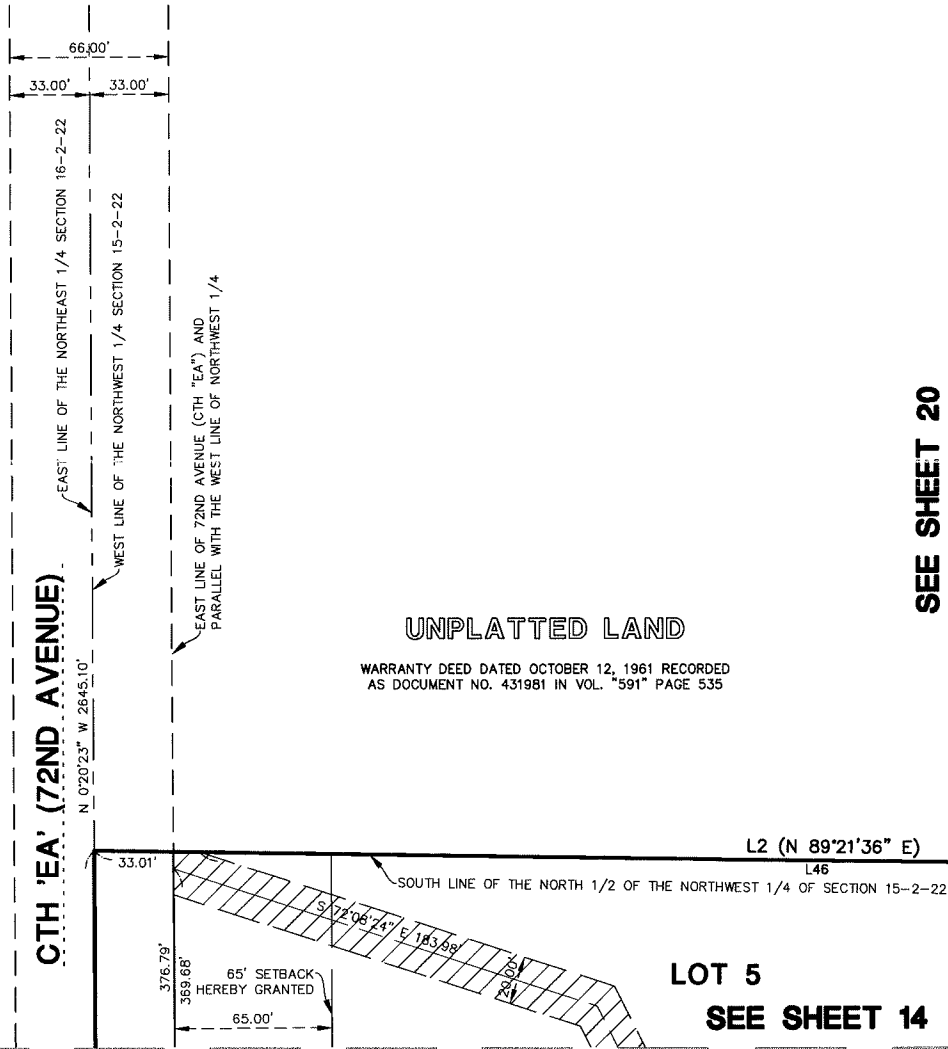
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SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



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PREPARED BY: _____
JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023



UNPLATTED LAND

WARRANTY DEED DATED OCTOBER 12, 1961 RECORDED
AS DOCUMENT NO. 431981 IN VOL. "591" PAGE 535

SEE SHEET 20

LOT 5
SEE SHEET 14

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JS	SHEET
DRAWN BY: LSM	21 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmw01.dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMery 14:41

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WISCONSIN
JAMES D. BAKER
S-2704
LINCOLNSHIRE, ILLINOIS
LAND SURVEYOR

P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

UNPLATTED LAND

WARRANTY DEED DATED OCTOBER 12, 1961 RECORDED
AS DOCUMENT NO. 431981 IN VOL. "591" PAGE 535

LOT 6

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SCALE: 1"=60'

22 OF 32

ALN.SMWI01

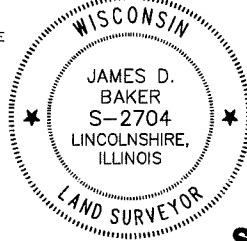
4: 41 Dwg Name: P:\Insmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMoryl

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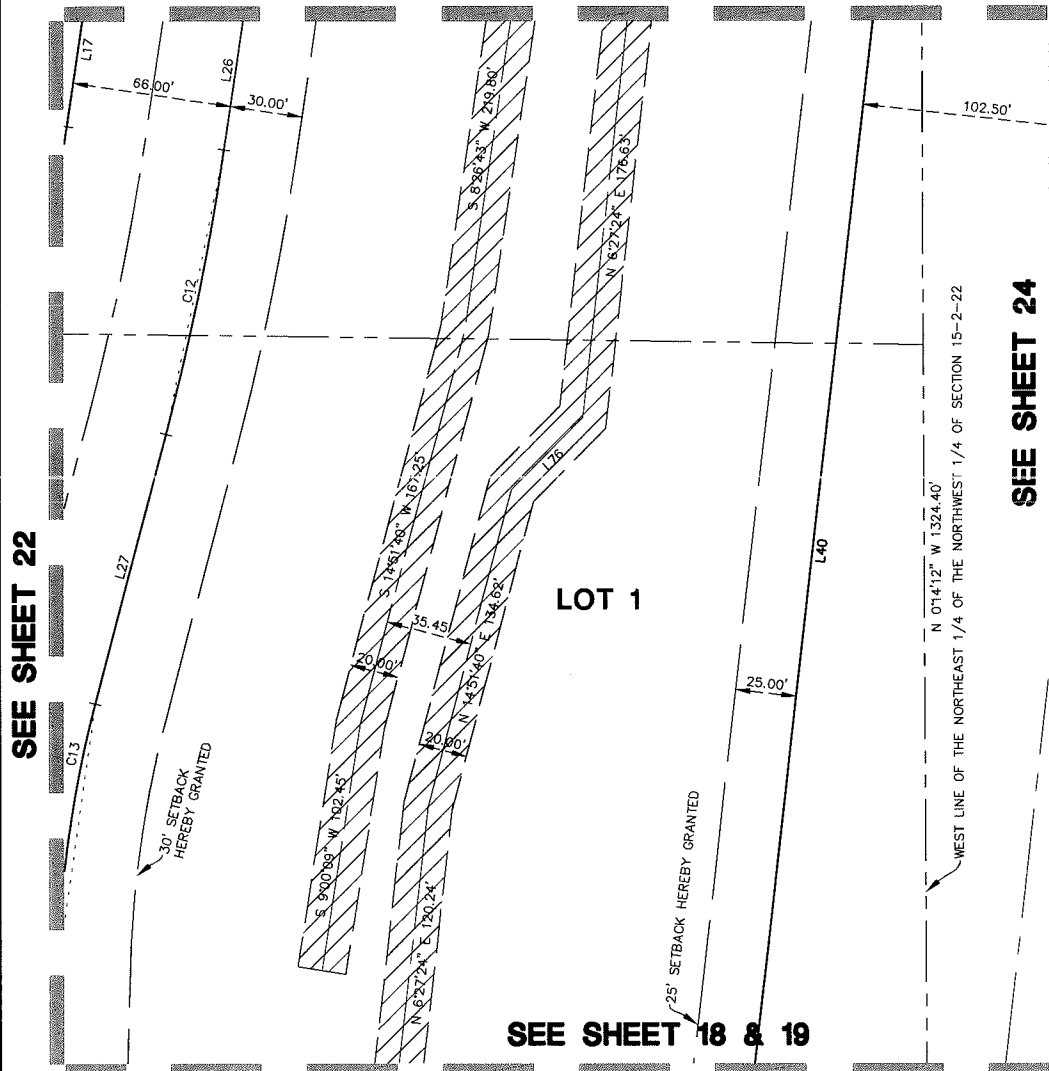


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PREPARED BY: _____
JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

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SEE CURVE TABLE ON SHEET 30

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**SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP**

PROJ. MGR.: JDB
DRAWN BY: LSM
DATE: 03/24/2
SCALE: 1"=80'

SHEET
23 OF 32
ALN.SMWI01

4: 41 Dwg Name: P:\Insmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMoryl

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) MAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

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- - - = EX. LOT LINE LINE
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PREPARED BY:

JAMES D. BAKER,

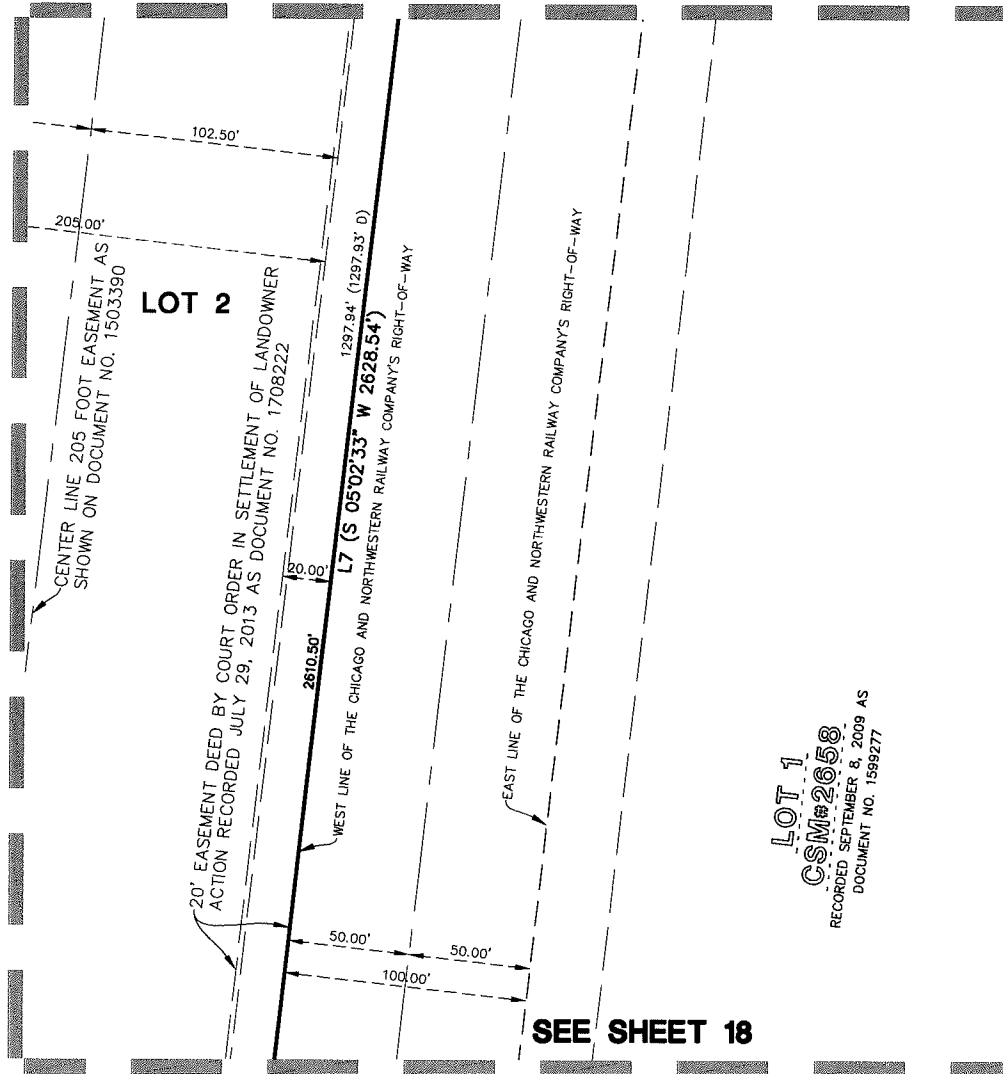
P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 25

SEE SHEET 23



SEE SHEET 18

LOT 1
CSM#2658
RECORDED SEPTEMBER 8, 2009 AS
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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: JDB

SHEET

DRAWN BY: LSM

24 OF 32

DATE: 03/24/23

SCALE: 1"=60'

ALN.SMW101

14: 41 Dwg Name: P:\alnmw101\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW-CSM_1.dwg Updated By: LMaryj

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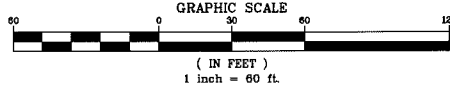
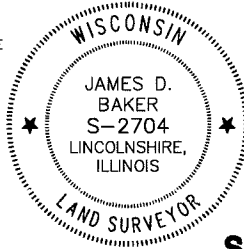
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PREPARED BY: _____

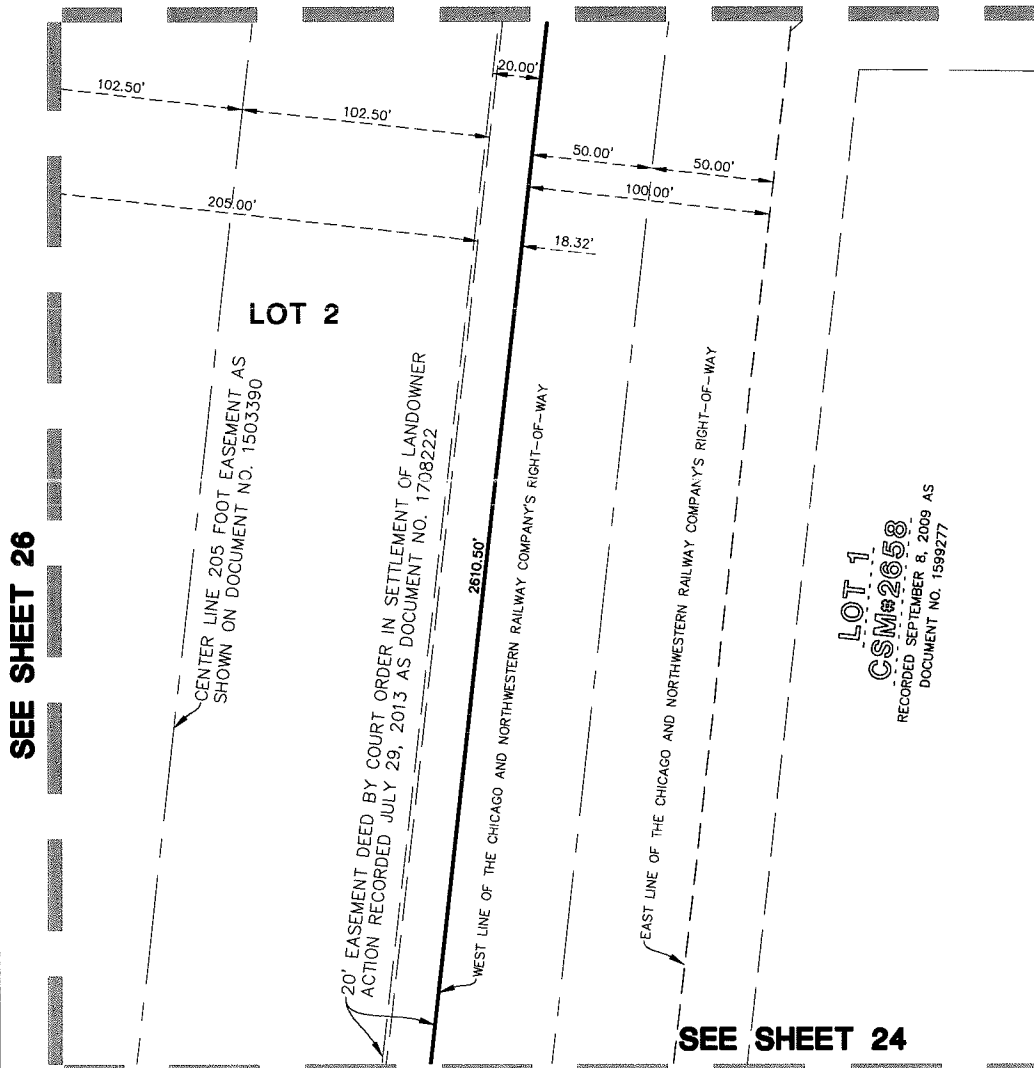
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 30



SEE SHEET 26

SEE SHEET 24

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	25 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMorj 14:41

CERTIFIED SURVEY MAP NO. _____

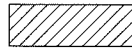
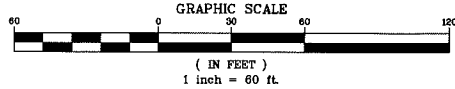
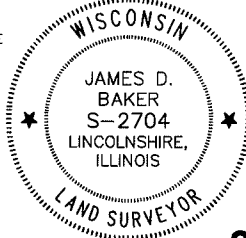
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= UTILITY EASEMENT HEREBY GRANTED

PREPARED BY:

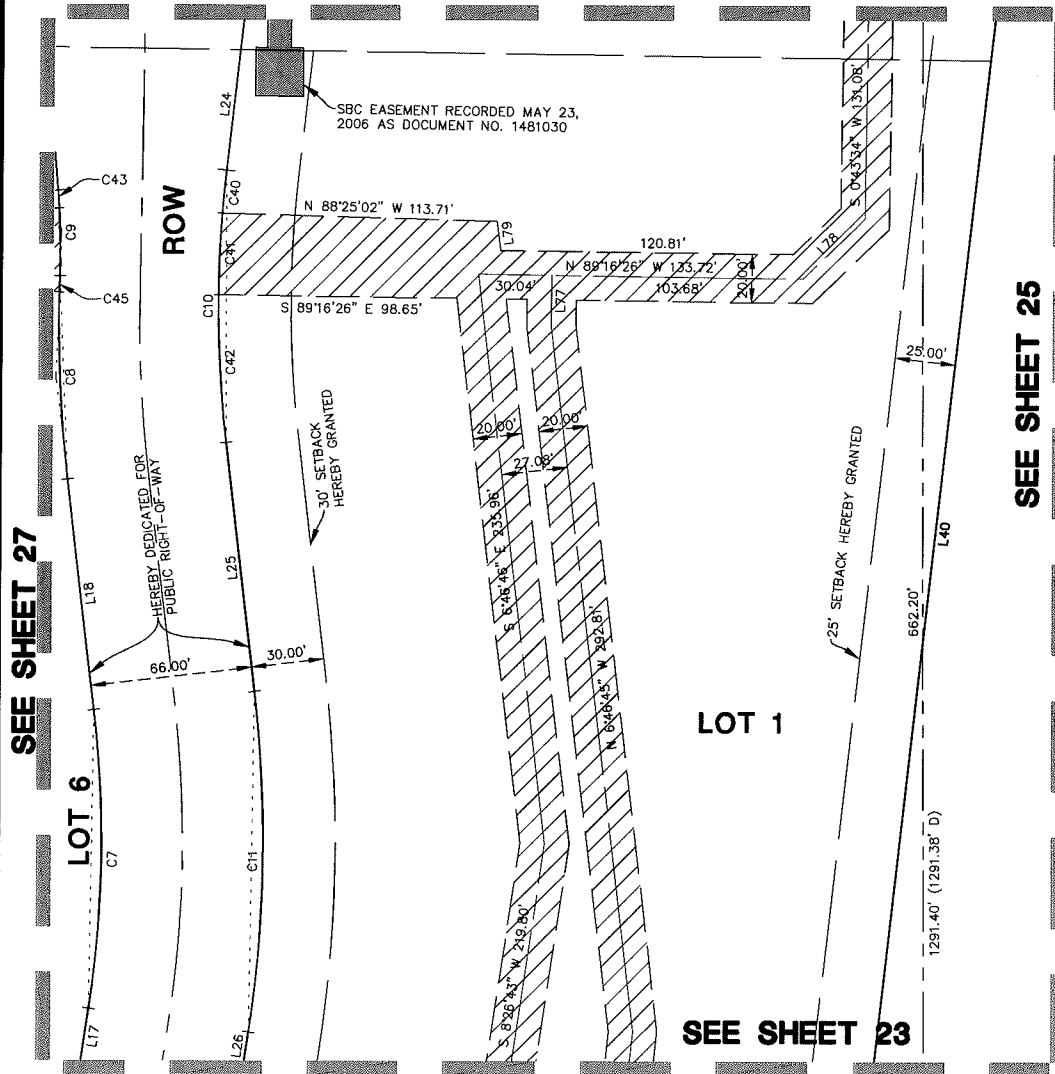
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 29



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	26 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Ansmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW-CSM_1.dwg Updated By: LMoyle

CERTIFIED SURVEY MAP NO. _____

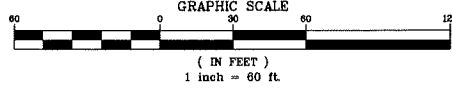
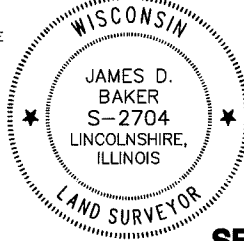
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PREPARED BY: _____

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 28

UNPLATTED LAND

WARRANTY DEED DATED OCTOBER 12, 1961 RECORDED AS DOCUMENT NO. 431981 IN VOL. 591 PAGE 535

661.74

LOT 6

SEE SHEET 22

30' SETBACK HEREBY GRANTED

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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: **JB**

DRAWN BY: **LSM**

DATE: **03/24/23**

SCALE: **1"=60'**

SHEET

27 OF **32**

ALN.SMWI01

Dwg Name: P:\alnsmw01.dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMery 14:41

CERTIFIED SURVEY MAP NO. _____

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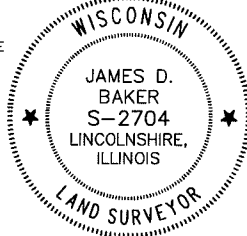
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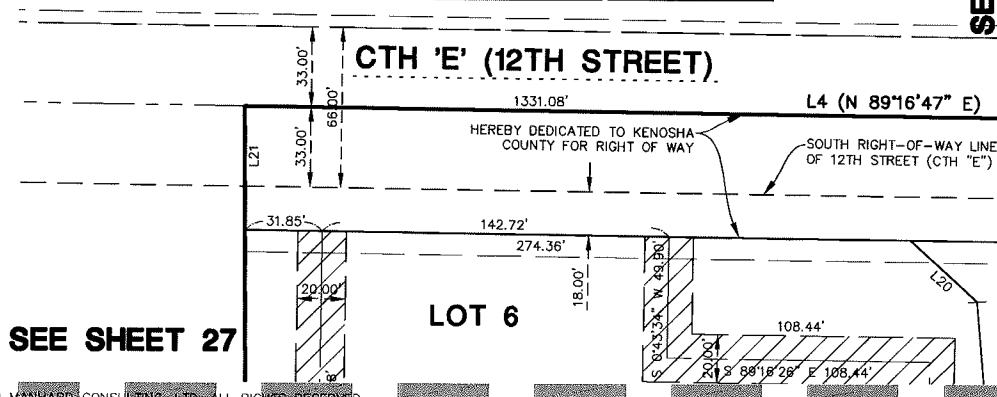
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SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

LINE TABLE			LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	N00°20'23"W	1322.55'	L33	S45°14'03"W	35.00'	L65	N12°20'24"E	17.22'
L2	S89°11'32"E	664.47'	L34	N00°20'23"W	243.62'	L66	N45°46'28"E	32.45'
L3	N00°17'33"W	1323.48'	L35	S77°39'36"E	241.96'	L67	N45°20'23"W	21.14'
L4	S89°16'26"E	665.54'	L36	S08°27'24"W	805.98'	L68	N89°11'32"W	79.39'
L5	S00°14'12"E	33.00'	L37	N83°32'36"W	45.67'	L69	N44°39'37"E	52.69'
L6	S89°16'26"E	262.37'	L38	N06°27'24"E	14.47'	L70	N35°36'06"W	19.33'
L7	S06°29'27"W	2628.59'	L39	S89°39'37"W	108.58'	L71	N12°20'24"E	10.00'
L8	N89°06'36"W	1280.78'	L40	S06°27'24"W	944.48'	L72	N77°39'36"W	19.63'
L9	S89°39'37"W	17.00'	L41	N83°32'36"W	75.85'	L73	S51°58'38"E	26.74'
L10	S44°45'57"E	35.71'	L42	S86°10'07"W	146.50'	L74	N43°44'43"E	37.18'
L11	S89°11'32"E	757.22'	L43	S89°16'26"E	284.76'	L75	N50°52'47"E	36.98'
L12	N00°20'23"W	677.49'	L44	S89°16'26"E	224.53'	L76	N44°51'40"E	41.89'
L13	N12°20'24"E	146.98'	L45	N00°20'23"W	449.82'	L77	N00°43'34"E	20.65'
L14	N13°25'54"W	96.71'	L46	S89°11'32"E	665.15'	L78	S45°43'34"W	35.36'
L15	N01°34'06"E	46.86'	L47	S00°48'28"W	146.25'	L79	N06°46'46"W	11.97'
L16	N14°51'40"E	114.68'	L48	N89°11'32"W	86.05'	L80	S00°43'34"W	91.33'
L17	N08°26'43"E	65.49'	L49	S00°20'23"E	104.27'	L81	S86°25'02"E	19.18'
L18	N06°46'46"W	95.54'	L50	N89°11'32"W	281.95'	L82	S89°16'26"E	90.44'
L19	N04°53'04"W	99.65'	L51	S00°20'23"E	301.57'	L83	S44°16'26"E	12.72'
L20	N47°04'45"W	37.04'	L52	N86°26'45"W	277.81'	L84	N85°49'31"E	33.65'
L21	N00°17'23"W	51.01'	L53	N00°20'23"W	182.35'	L85	S00°43'34"W	72.00'
L22	S06°29'27"W	18.09'	L54	S06°27'24"W	276.24'	L86	S85°49'31"W	52.24'
L23	S48°31'53"W	37.04'	L55	N77°39'36"W	122.31'	L87	N44°16'26"W	7.47'
L24	S06°20'12"W	90.29'	L56	N35°39'59"W	6.19'	L88	N44°16'26"W	14.14'
L25	S06°46'46"E	103.15'	L57	N77°39'36"W	71.86'	L89	N44°42'28"E	42.49'
L26	S08°26'43"W	65.49'	L58	S34°47'39"W	7.82'	L90	N21°09'46"W	47.99'
L27	S14°51'40"W	114.68'	L59	S00°20'23"E	24.09'	L91	S88°50'14"W	38.67'
L28	S01°34'06"W	46.86'	L60	S44°45'58"E	7.14'	L92	S78°27'00"E	14.71'
L29	S13°25'54"E	96.71'	L61	N45°46'28"E	7.07'	L93	S13°33'00"W	20.00'
L30	S12°20'24"W	146.98'	L62	N45°14'03"E	36.68'	L94	N76°27'00"W	14.29'
L31	S00°20'23"E	677.49'	L63	S26°40'34"E	61.65'			
L32	N89°11'32"W	755.89'	L64	N39°18'10"E	46.38'			



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	28 OF 32
DATE: 03/24/23	ALN.SMW101
SCALE: 1"=60'	

Dwg Name: P:\almsmw101.dwg \Surf\Final Drawings\Certified Survey Map\CSW_1\06-30-ALNSMW-1.dwg Updated By: L.Wory

CERTIFIED SURVEY MAP NO. _____

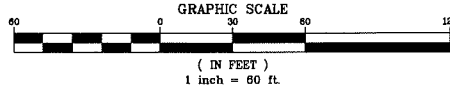
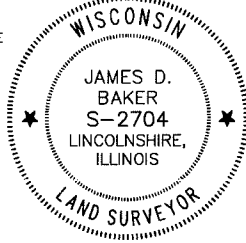
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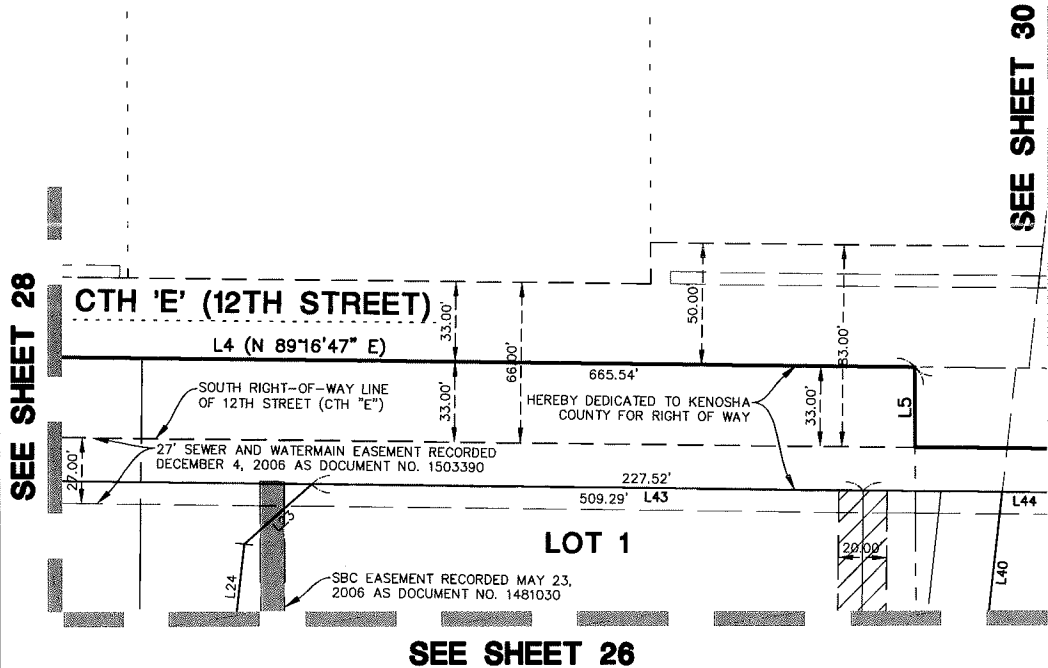
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PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



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PROJ. MGR.: <u>JDB</u>	SHEET
DRAWN BY: <u>LSM</u>	29 OF 32
DATE: <u>03/24/23</u>	ALN.SMWI01
SCALE: <u>1"=60'</u>	

14: 41 Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALN.SMWI-CSM_1.dwg Updated By: LMeryl

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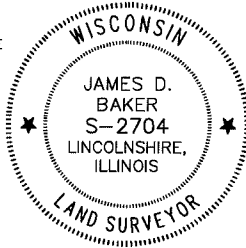
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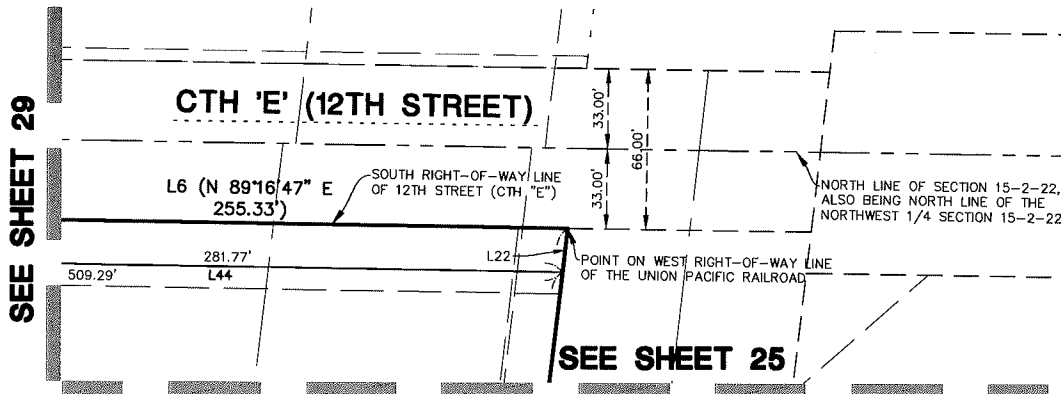
DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE
C1	47.00'	74.77'	N45°14'03"E	67.13'	091°08'52"
C2	1053.00'	233.03'	N08°00'00"E	232.56'	012°40'47"
C3	102.00'	45.88'	N00°32'45"W	45.49'	025°46'18"
C4	495.00'	130.38'	N05°55'54"W	130.00'	015°00'00"
C5	536.00'	124.35'	N08°12'53"E	124.08'	013°17'34"
C6	1002.00'	112.21'	N11°39'11"E	112.15'	006°24'58"
C7	484.00'	123.29'	N00°49'58"E	122.93'	015°13'28"
C8	557.00'	83.96'	N02°27'40"W	83.88'	008°38'11"
C9	300.00'	35.30'	N01°30'49"W	35.28'	006°44'29"
C10	491.00'	112.40'	S00°13'17"E	112.15'	013°08'58"
C11	530.00'	140.83'	S00°49'58"W	140.42'	015°13'28"
C12	1068.00'	119.60'	S11°39'11"W	119.53'	006°24'58"
C13	470.00'	109.04'	S08°12'53"W	108.80'	013°17'34"
C14	432.00'	113.10'	S05°55'54"E	112.77'	015°00'00"
C15	168.00'	75.57'	S00°32'45"E	74.93'	025°46'18"
C16	987.00'	218.43'	S06°00'00"W	217.98'	012°40'47"
C17	113.00'	179.76'	S45°14'03"W	161.40'	091°08'52"
C18	113.00'	25.01'	N06°00'07"E	24.96'	012°41'00"
C19	113.00'	154.75'	N51°34'33"E	142.94'	078°27'51"
C20	987.00'	131.74'	N03°29'02"E	131.64'	007°38'51"
C21	987.00'	86.69'	N09°49'26"E	86.66'	005°01'56"
C22	12.00'	18.25'	S57°40'10"W	15.03'	077°34'28"
C23	54.00'	83.42'	S52°31'32"W	59.83'	067°17'11"

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE
C24	432.00'	41.57'	N10°40'29"W	41.56'	005°30'50"
C25	432.00'	71.52'	S03°10'29"E	71.44'	009°29'10"
C26	35.00'	25.65'	N56°39'48"W	25.08'	041°59'37"
C27	3.00'	2.20'	N56°39'48"W	2.15'	041°59'37"
C28	168.00'	32.75'	N07°50'51"W	32.69'	011°10'05"
C29	168.00'	42.82'	N05°02'18"E	42.70'	014°36'13"
C30	47.00'	45.07'	N63°20'21"E	43.36'	054°56'15"
C31	47.00'	43.54'	N26°11'53"E	42.00'	053°04'32"
C32	113.00'	25.01'	S06°00'07"W	24.96'	012°41'00"
C33	113.00'	20.53'	N12°23'49"E	20.50'	010°24'40"
C34	987.00'	134.34'	N03°33'34"E	134.23'	007°47'54"
C35	987.00'	46.15'	N08°07'17"E	46.14'	002°40'44"
C36	987.00'	49.60'	N10°54'01"E	49.59'	002°52'45"
C37	1053.00'	83.38'	N10°04'17"E	83.36'	004°32'13"
C38	1067.00'	52.54'	N10°55'45"E	52.54'	002°49'17"
C39	432.00'	26.14'	N06°11'03"W	26.14'	003°28'01"
C40	491.00'	17.83'	S05°17'47"W	17.83'	002°04'50"
C41	491.00'	33.59'	S02°17'47"W	33.58'	003°55'10"
C42	491.00'	60.98'	S03°13'17"E	60.94'	007°06'58"
C43	300.00'	7.50'	S04°10'07"E	7.49'	001°25'53"
C44	300.00'	27.80'	S00°47'53"E	27.79'	005°18'36"
C45	557.00'	8.78'	S01°30'29"W	6.78'	000°41'52"
C46	557.00'	77.18'	N02°48'36"W	77.11'	007°56'19"

CURVE TABLE							
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE	TANGENT BEARING START	TANGENT BEARING END
C8	557.00'	83.98'	N02°27'40"W	83.88'	008°38'11"	N6°46'46"W	N1°51'25"E
C9	300.00'	35.30'	N01°30'49"W	35.28'	006°44'29"	N1°51'25"E	N4°53'04"W



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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP

PROJ. MGR.: **DB**
DRAWN BY: **LSM**
DATE: **03/24/23**
SCALE: **1"=60'**

SHEET
30 OF **32**
ALN.SMW101

14: 41 Dwg Name: P:\Alnsmw101\dwg\Survey Map\CSM_1\06-30-ALNSMW1-CSM_1.dwg Updated By: LMory

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

OWNER'S CERTIFICATE

AS OWNER(S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED ON THE PLAT. I (WE) ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF SOMERS. WITNESS THE HAND AND SEAL OF SAID OWNER(S)

THIS _____ DAY OF _____, 2023.

ON THIS _____ DAY OF _____, 2023.

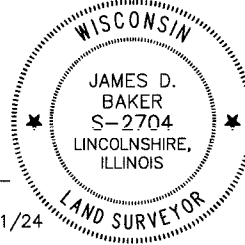
BY: _____

TITLE: _____ PREPARED BY: _____

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023



NOTARY'S CERTIFICATE

STATE OF _____ }
COUNTY OF _____ } S.S.

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE

AFORESAID, DO HEREBY CERTIFY THAT _____ AND

_____ OF SAID CORPORATION, PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THIS INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC

VILLAGE OF SOMERS BOARD APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF SOMERS AND DEDICATION ACCEPTED ON THIS _____ DAY OF _____, 2023.

GEORGE STONER, VILLAGE PRESIDENT

MARY COLE, VILLAGE CLERK

VILLAGE OF SOMERS PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE VILLAGE PLAN COMMISSION OF THE VILLAGE OF SOMERS AND ADOPTED ON THIS _____ DAY OF _____, 2023.

GEORGE STONER, VILLAGE PRESIDENT

MARY COLE, VILLAGE CLERK

VILLAGE TREASURER CERTIFICATE

STATE OF WISCONSIN)
KENOSHA COUNTY)SS

I, _____, BEING THE DULY ELECTED (APPOINTED), QUALIFIED AND ACTING TREASURER OF THE VILLAGE OF SOMERS, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF _____, 2023 AFFECTING THE LANDS INCLUDED IN THIS PLAT.

(DATE)

TREASURER

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: <u>JS</u>	SHEET
DRAWN BY: <u>LSW</u>	31 OF 32
DATE: <u>03/24/23</u>	ALN.SMWI01
SCALE: <u>N.T.S.</u>	

14:41 Dwg Name: P:\Ansmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\31-32-ALNSMW-CSM_1.dwg Updated By: LMory

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF LAKE)

I, JAMES D. BAKER, A WISCONSIN PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED AND CONSOLIDATED A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN, DESCRIBED AS FOLLOWS:

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN., BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 15; THENCE NORTH 00 DEGREES 20 MINUTES 23 SECONDS WEST, ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 15, A DISTANCE OF 1322.55 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 15; THENCE SOUTH 89 DEGREES 11 MINUTES 32 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 664.47 FEET TO A POINT ON THE EAST LINE OF WEST 1/2 OF WEST 1/2 OF NORTHWEST 1/4 OF SAID SECTION 15; THENCE NORTH 00 DEGREES 17 MINUTES 33 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 1323.48 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 15; THENCE SOUTH 89 DEGREES 16 MINUTES 26 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 665.54 FEET; THENCE SOUTH 00 DEGREES 14 MINUTES 12 SECONDS EAST, A DISTANCE OF 33.00 FEET TO A POINT ON A LINE 33.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 15; THENCE SOUTH 89 DEGREES 16 MINUTES 26 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 262.37 FEET TO A POINT ON THE WEST LINE OF THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY'S RIGHT-OF-WAY; THENCE SOUTH 06 DEGREES 29 MINUTES 27 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 2628.59 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION; THENCE NORTH 89 DEGREES 06 MINUTES 36 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 1280.78 FEET TO THE POINT OF BEGINNING.

THAT I HAVE MADE THIS SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF CARDINAL CAPITAL MANAGEMENT.

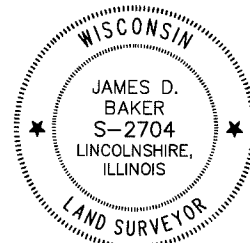
SUBJECT TO EASEMENTS, RESTRICTIONS AND ROADWAYS OF RECORD, SAID PARCEL CONTAINING 67.039 ACRES.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE LAND DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES AND THE CODE OF GENERAL ORDINANCES FOR THE VILLAGE OF SOMERS, DIVIDING AND MAPPING THE SAME.

DATED THIS 24TH DAY OF MARCH, 2023

SURVEYOR: JAMES D. BAKER
WISCONSIN PROFESSIONAL LAND SURVEYOR NO. 2704-8



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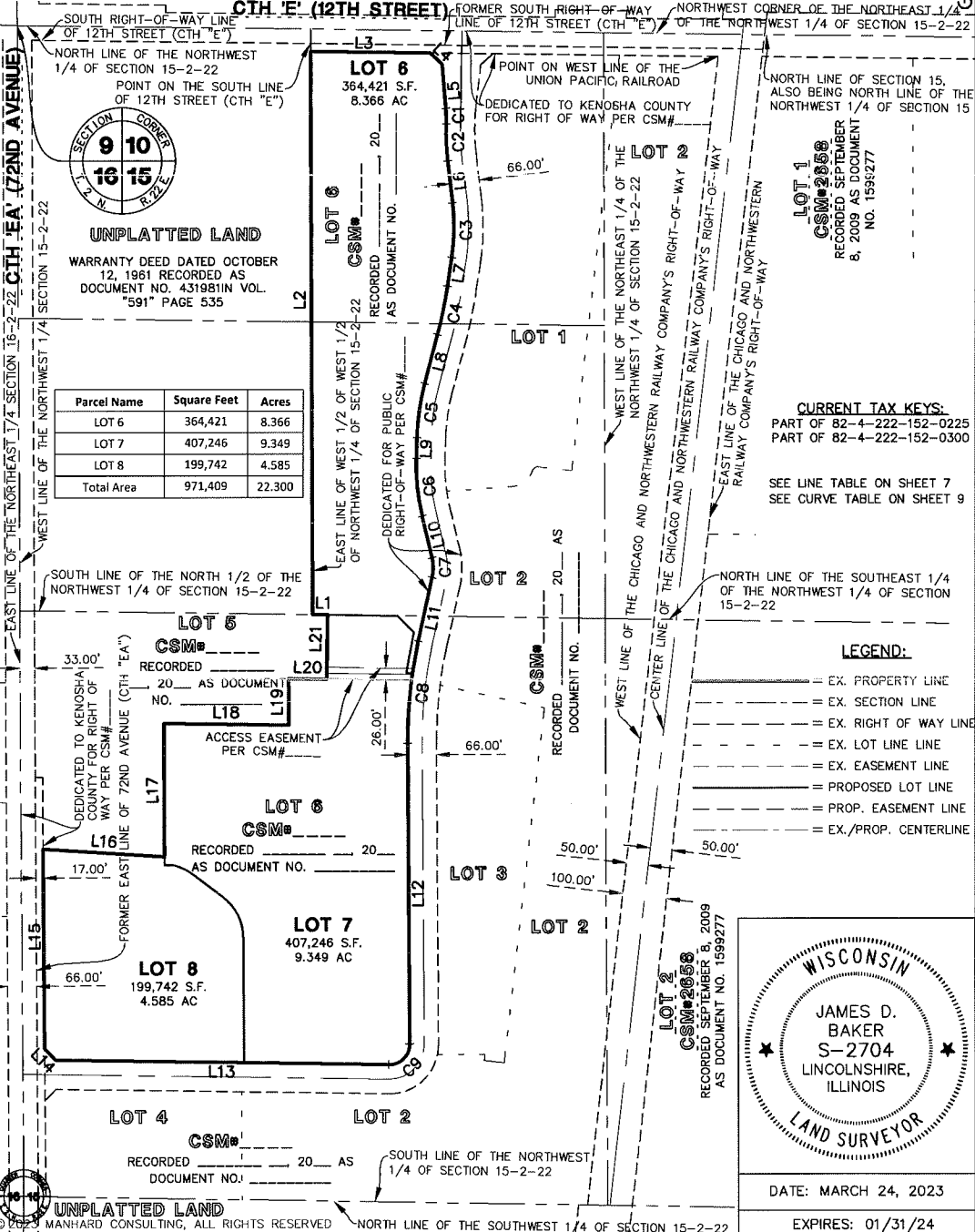
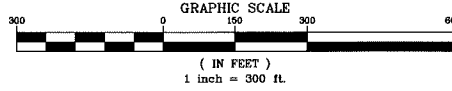
SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: <u>JD</u>	SHEET
DRAWN BY: <u>LSM</u>	32 OF 32
DATE: <u>03/24/23</u>	
SCALE: <u>N.T.S.</u>	
ALN.SMWI01	

Dwg Name: P:\Ansmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\31-32-ALNSMWI-CSM_1.dwg Updated By: L.Worley 14:41

CERTIFIED SURVEY MAP NO.

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BASIS OF BEARINGS
BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011)
IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W



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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP
PROJ. MGR.: JDB
DRAWN BY: LSM
DATE: 03/24/23
SCALE: 1"=300'
SHEET 1 OF 11
ALN.SMWI01

15:44 Dwg Name: P:\alnsmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\01-ALNSMWI-CSM_2.dwg Updated By: L.Mory

CERTIFIED SURVEY MAP NO. _____

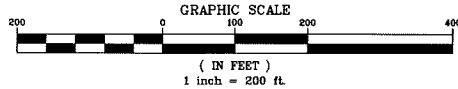
THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

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LEGEND:

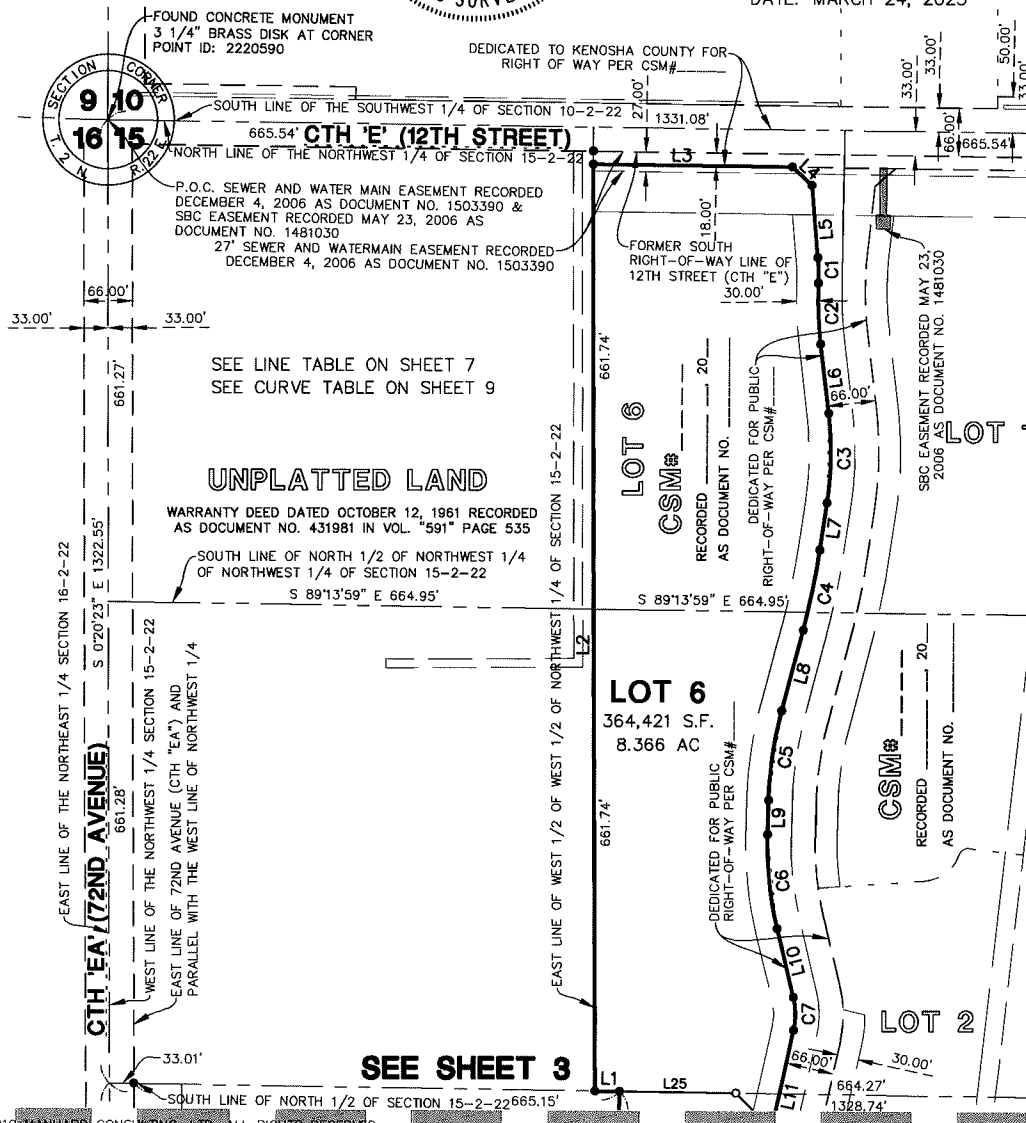
- = EX./PROP. PROPERTY LINE
- - - = EX. SECTION LINE
- - - = EX. RIGHT OF WAY LINE
- - - = EX. LOT LINE LINE
- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



LEGEND

- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG WEIGHT 1.30 LBS/FT. SET

PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	2 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=200'	

Dwg Name: P:\Alnsmwi01.dwg, Surv\Final Drawings\Certified Survey Map\CSM_2\02-03-ALNSMWI-CSM_2.dwg Updated By: L.Mery

CERTIFIED SURVEY MAP NO. _____

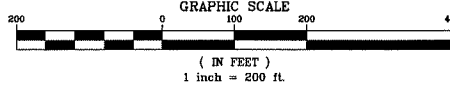
THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

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LEGEND:

- = EX./PROP. PROPERTY LINE
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LEGEND

- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG WEIGHT 1.30 LBS/FT. SET

PREPARED BY: _____

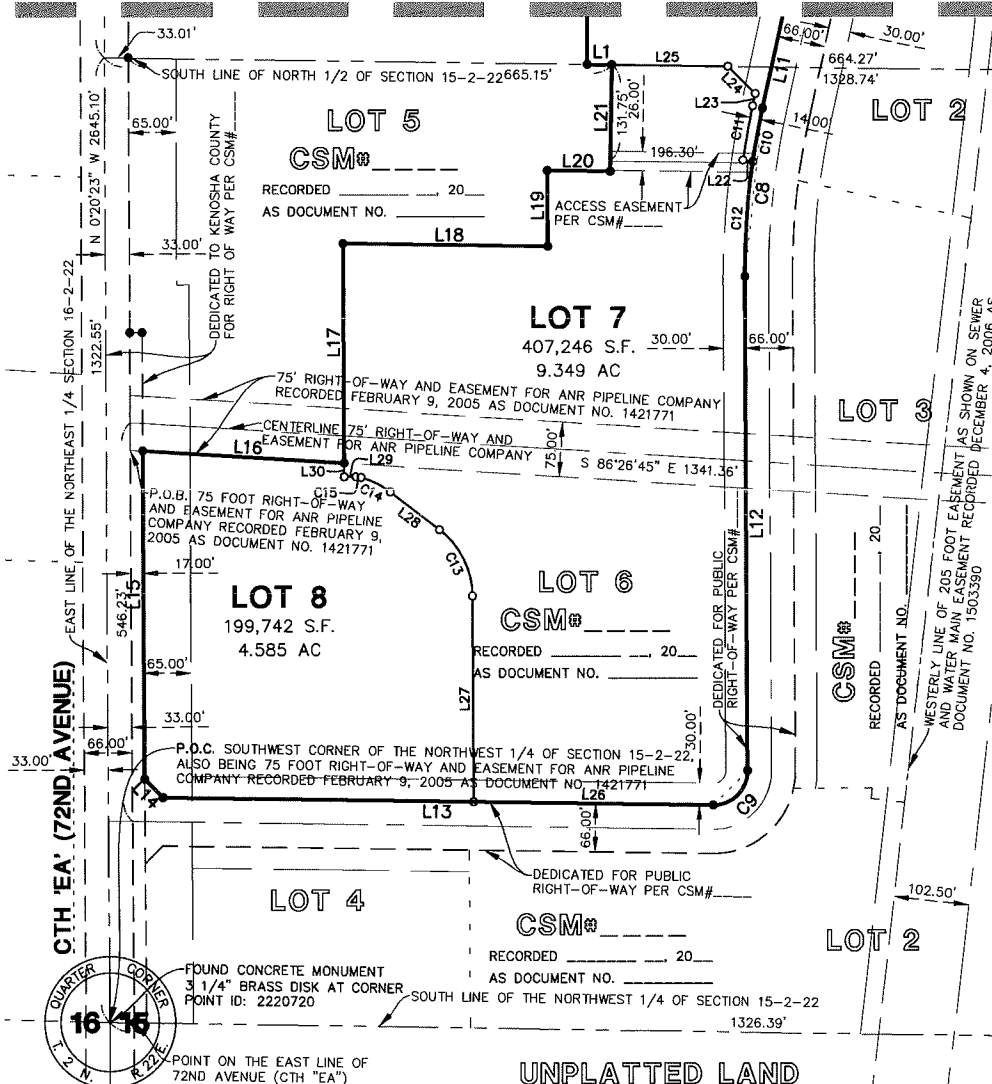
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE SHEET 2

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE ON SHEET 9



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UNPLATTED LAND

SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: JDB

SHEET

DRAWN BY: LSM

3 OF 11

DATE: 03/24/23

SCALE: 1"=200'

ALN.SMWI01

Dwg Name: P:\Ansmw\01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\02-03-ALNSMWI-CSM_2.dwg Updated By: L.Wory 15:44

CERTIFIED SURVEY MAP NO.

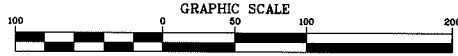
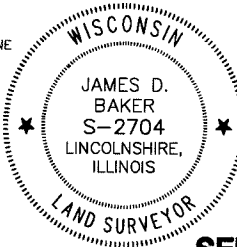
THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

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BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

LEGEND:

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- - - = EX. SECTION LINE
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- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



(IN FEET)
1 inch = 100 ft.

= UTILITY EASEMENT PER CSM#

= STORMWATER MANAGEMENT EASEMENT PER CSM#

PREPARED BY:

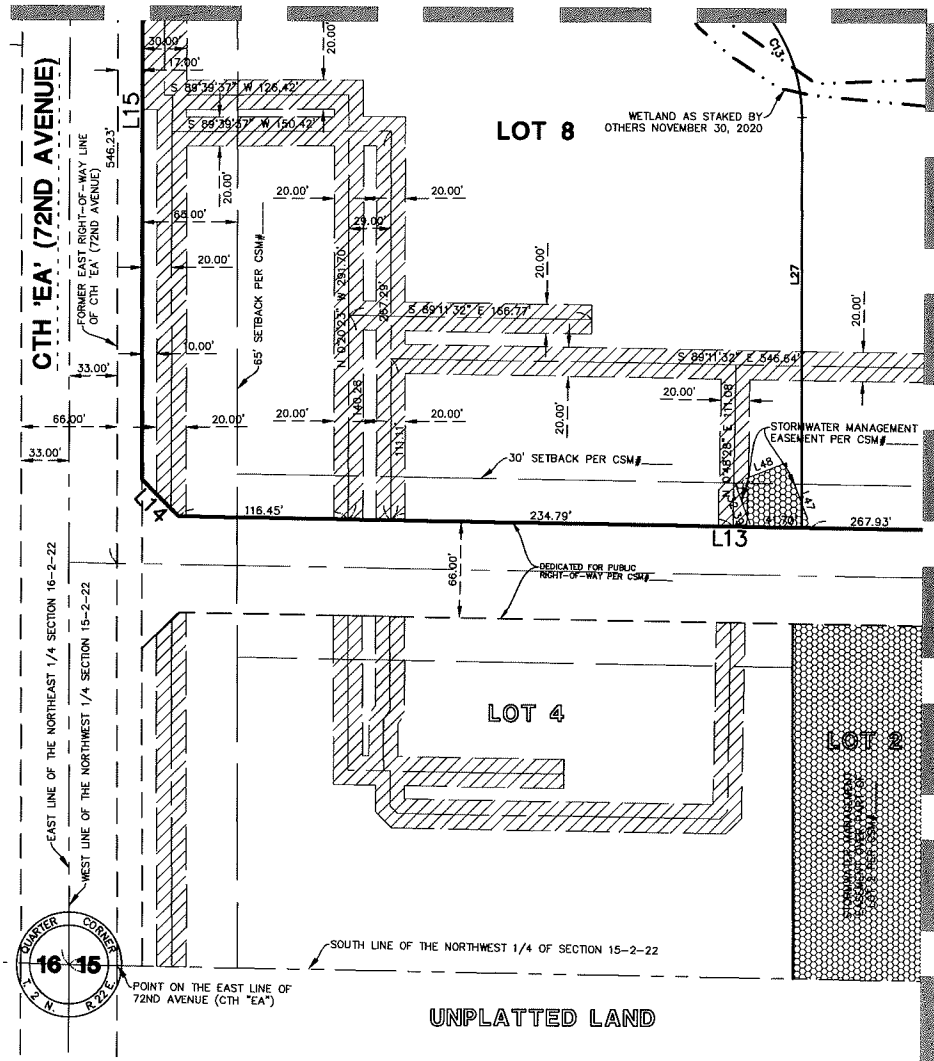
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE ON SHEET 9

SEE SHEET 5



SEE SHEET 6

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	4 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=100'	

Dwg Name: P:\alnmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\04-09-ALNSMWI-CSM_2.dwg Updated By: L.Moryl 16:09

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

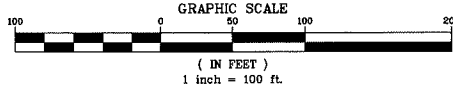
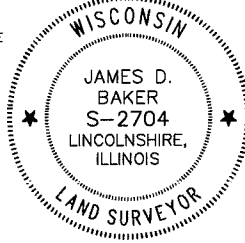
BASIS OF BEARINGS

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LEGEND:

- = EX./PROP. PROPERTY LINE
- - - = EX. SECTION LINE
- - - = EX. RIGHT OF WAY LINE
- - - = EX. LOT LINE LINE
- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE ON SHEET 9

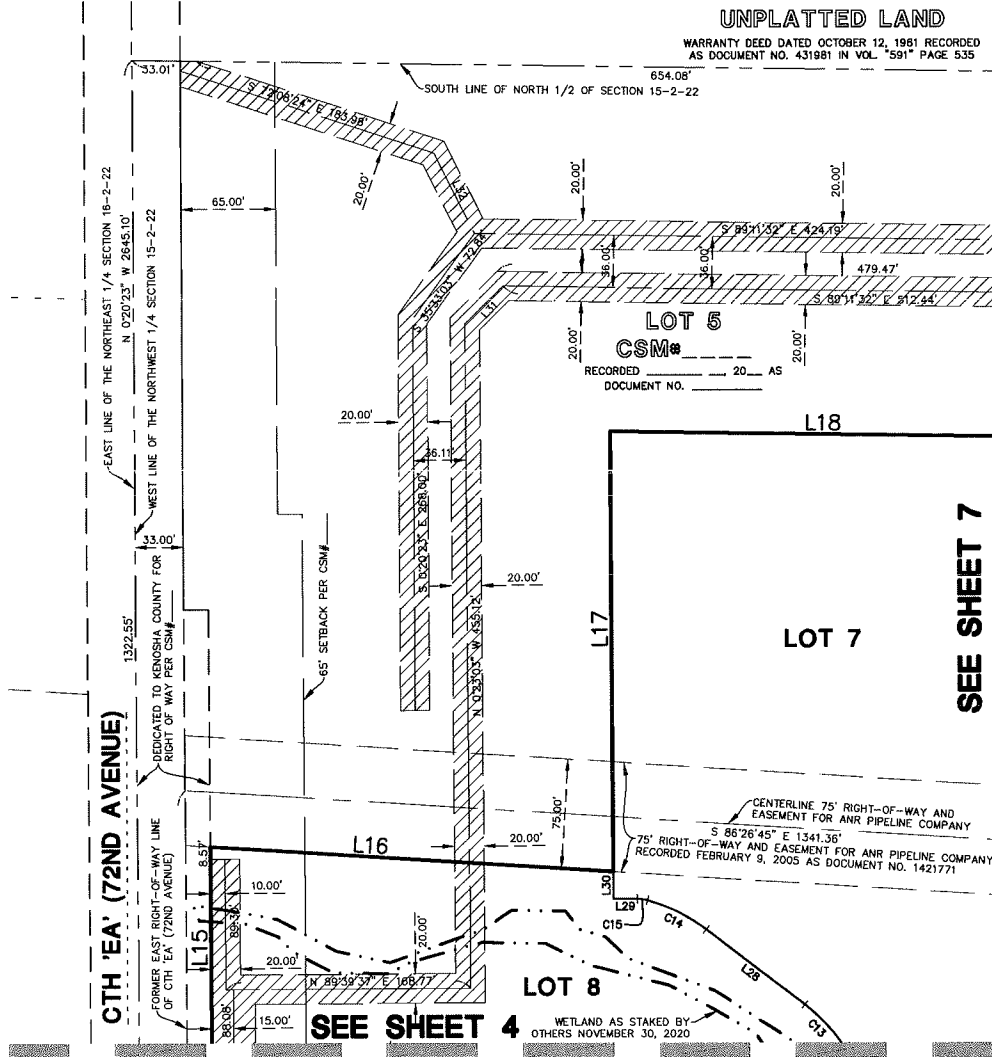


= UTILITY EASEMENT PER CSM# _____

PREPARED BY: _____
JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

UNPLATTED LAND

WARRANTY DEED DATED OCTOBER 12, 1981 RECORDED AS DOCUMENT NO. 431981 IN VOL. "591" PAGE 535



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	5 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=100'	

Dwg Name: P:\Alnsmwi01.dwg \Surv\Find Drawings\Certified Survey Map\CSM_2\04-08-ALNSMWI-CSM_2.dwg Updated By: LMory 16.09

CERTIFIED SURVEY MAP NO. _____

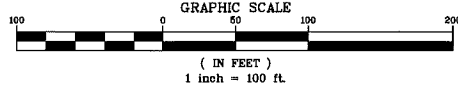
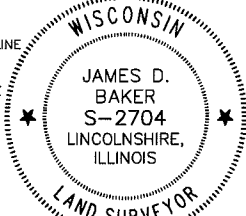
THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

LEGEND:

- = EX./PROP. PROPERTY LINE
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- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



SURVEYOR'S NOTES

1. ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
2. THERE IS NO ORDINARY HIGH WATER MARK ON SURVEYED PROPERTY.
3. APPROXIMATE SEASONAL HIGH WATER ELEVATION HAS NOT BEEN DETERMINED AND SHOWN AND REFERENCED TO A PERMANENTLY ESTABLISHED DATUM PLANE.
4. WETLANDS HAVE BEEN SHOWN HEREON BASED ON STAKED FLAGS BY WETLAND & WATERWAY CONSULTING, LLC ON NOVEMBER 30, 2020 AND FIELD LOCATED ON DECEMBER 9, 2020.

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE ON SHEET 9

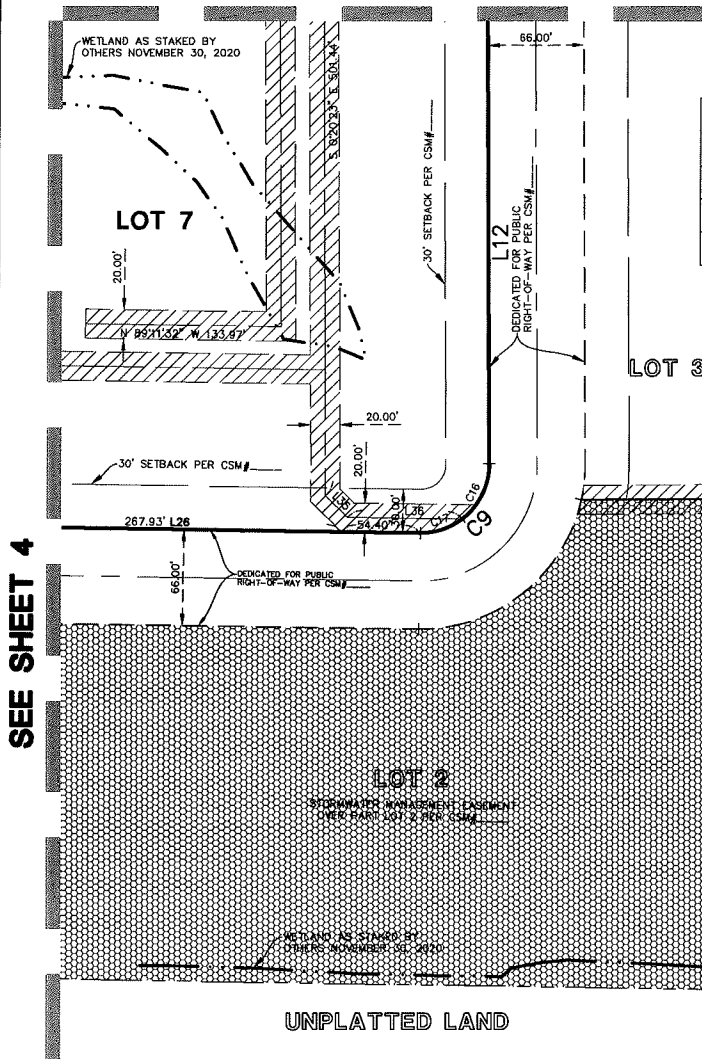
SEE SHEET 7

PREPARED BY:

JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

Parcel Name	Square Feet	Acres
LOT 6	364,421	8.366
LOT 7	407,246	9.349
LOT 8	199,742	4.585
Total Area	971,409	22.300

- = UTILITY EASEMENT PER CSM# _____
- = STORMWATER MANAGEMENT EASEMENT PER CSM# _____



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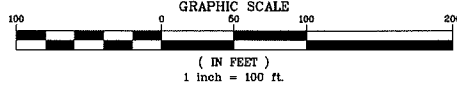
SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	6 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=100'	

16:09 Dwg Name: P:\Anamw\01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\04-09-ALNSMW-CSM_2.dwg Updated By: LMery

CERTIFIED SURVEY MAP NO. _____

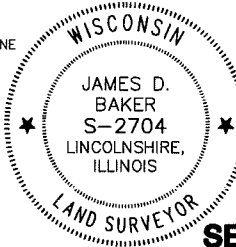
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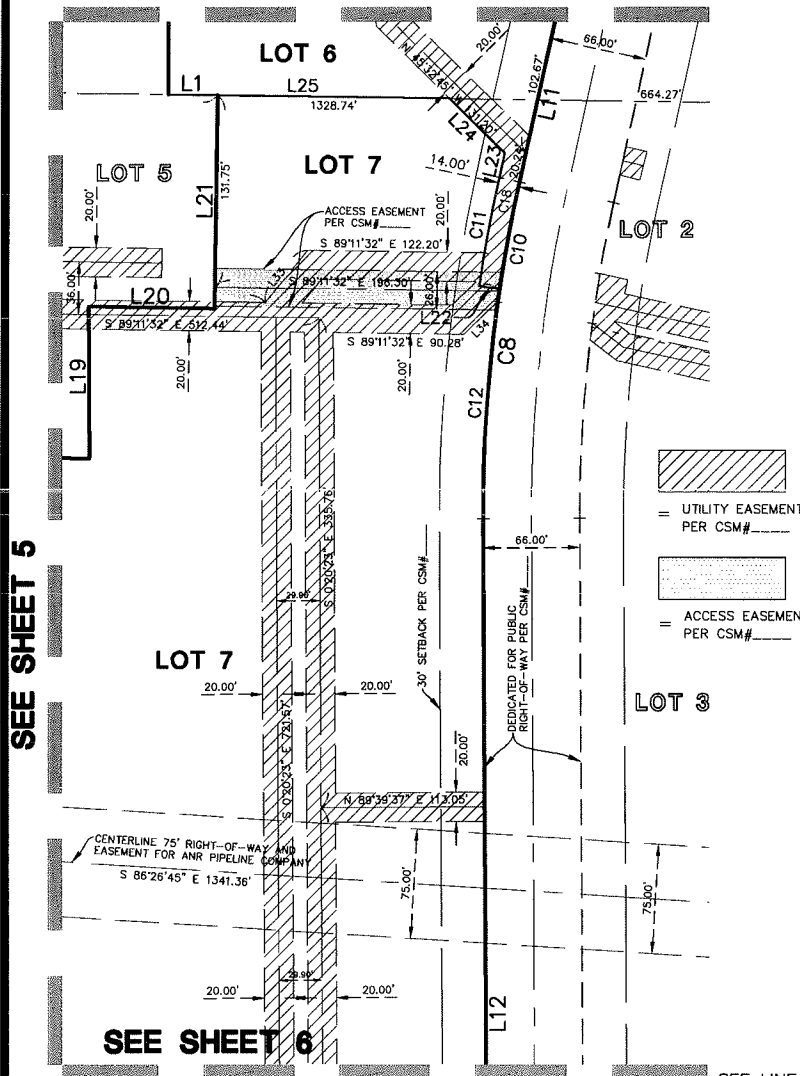


PREPARED BY:

JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES:
01/31/24
DATE: MARCH 24, 2023

SEE SHEET 8

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°11'32"W	33.69'
L2	N00°17'33"W	1272.47'
L3	S89°16'26"E	274.36'
L4	S47°04'45"E	37.04'
L5	S04°53'04"E	99.65'
L6	S06°46'46"E	95.54'
L7	S08°26'43"W	65.49'
L8	S14°51'40"W	114.68'
L9	S01°34'06"W	46.86'
L10	S13°25'54"E	96.71'
L11	S12°20'24"W	146.98'
L12	S00°20'23"E	677.49'
L13	N89°11'32"W	757.22'
L14	N44°45'57"W	35.71'
L15	N00°20'23"W	449.82'
L16	N86°26'45"W	277.81'
L17	S00°20'23"E	301.57'
L18	N89°11'32"W	281.95'
L19	S00°20'23"E	104.27'
L20	N89°11'32"W	86.05'
L21	S00°48'28"W	146.25'
L22	N81°43'17"W	14.00'
L23	S12°20'24"W	17.22'
L24	N45°32'45"W	53.41'
L25	N89°11'32"W	193.60'
L26	N89°11'32"W	328.57'
L27	N00°20'23"W	281.82'
L28	N52°47'24"W	85.49'
L29	S89°39'37"W	16.18'
L30	N00°20'23"W	18.70'
L31	N45°14'03"E	36.68'
L32	S26°40'34"E	61.65'
L33	N39°18'10"E	46.38'
L34	N45°48'28"E	32.45'
L35	N45°20'23"W	21.14'
L36	N89°11'32"W	79.35'
L37	S00°43'34"W	91.33'
L38	S88°25'02"E	19.18'
L39	S89°16'26"E	90.44'
L40	S44°16'26"E	12.72'
L41	N85°49'31"E	33.65'
L42	S00°43'34"W	72.00'
L43	S85°49'31"W	52.24'
L44	N44°16'26"W	7.47'
L45	N44°16'26"W	14.14'
L46	N44°42'26"E	42.49'
L47	N21°09'46"W	47.99'
L48	S68°50'14"W	38.67'



SEE SHEET 5

SEE SHEET 6

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SEE LINE TABLE ON SHEET THIS SHEET
SEE CURVE TABLE ON SHEET 9

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JSB	SHEET
DRAWN BY: LSM	7 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=100'	

Dwg Name: P:\alnsmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\04-09-ALNSMWI-CSM_2.dwg Updated By: L.Morly

CERTIFIED SURVEY MAP NO. _____

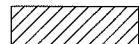
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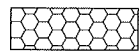
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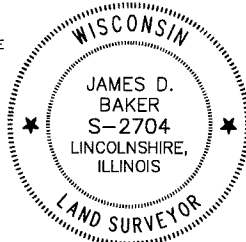
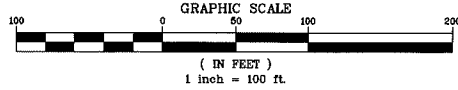
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 = UTILITY EASEMENT PER CSM# _____

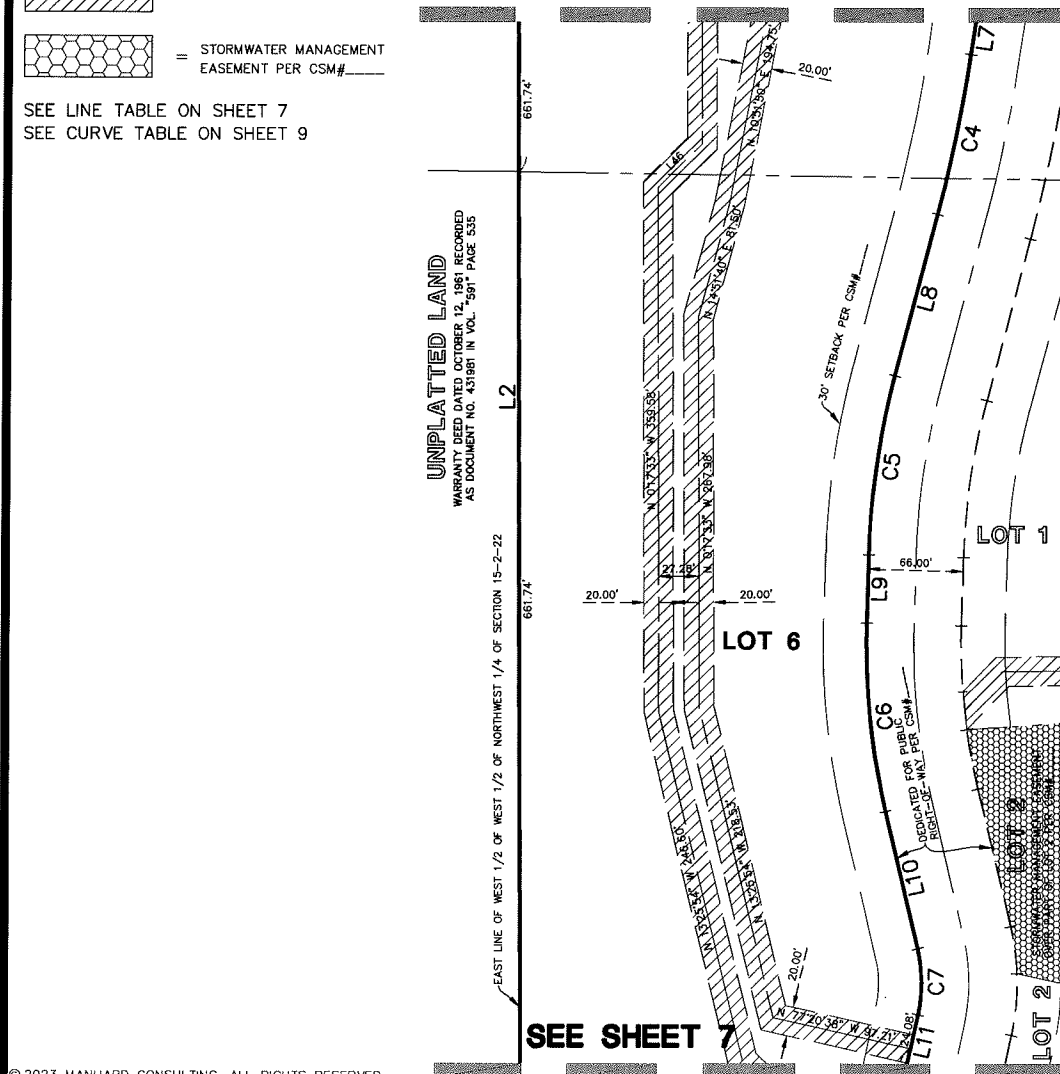
 = STORMWATER MANAGEMENT EASEMENT PER CSM# _____

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE ON SHEET 9



PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE SHEET 9



SEE SHEET 7

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**SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP**

PROJ. MGR.: JDB
DRAWN BY: LSM
DATE: 03/24/23
SCALE: 1"=100'

SHEET
8 OF **11**
ALN.SMW101

Dwg Name: P:\almsmw101.dwg \Surf\Final Drawings\Certified Survey Map\CSM_2\04-09-ALNSMW-CSM_2.dwg Updated By: LMeryl 16:09

CERTIFIED SURVEY MAP NO. _____

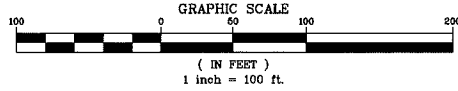
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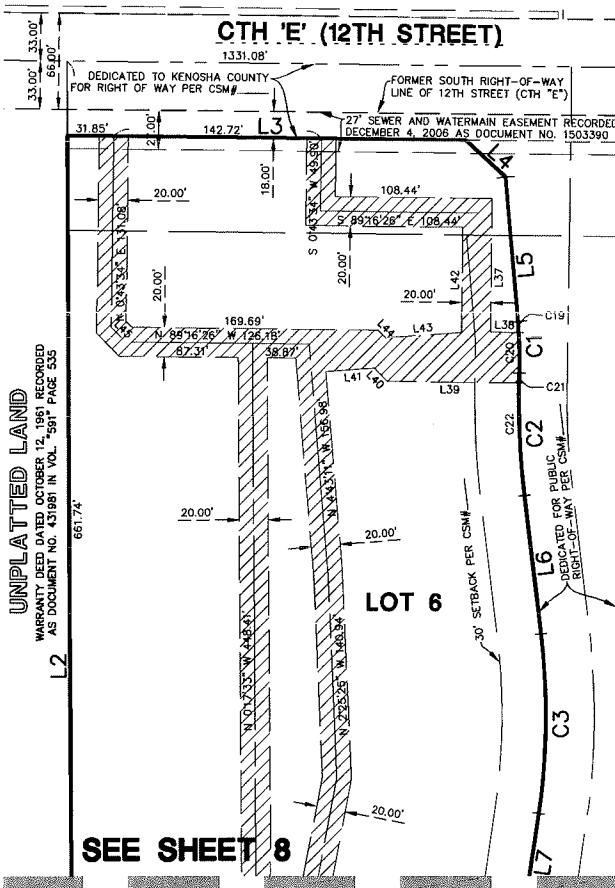
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PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

CURVE TABLE							
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE	TANGENT BEARING START	TANGENT BEARING END
C1	300.00'	35.30'	S01°30'49"E	35.28'	006°44'29"	S1°31'25"W	S4°53'04"E
C2	557.00'	83.96'	S02°27'40"E	83.88'	008°38'11"	S6°46'46"E	S1°31'25"W



UTILITY EASEMENT PER CSM# _____

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE
C1	300.00'	35.30'	S01°30'49"E	35.28'	006°44'29"
C2	557.00'	83.96'	S02°27'40"E	83.88'	008°38'11"
C3	464.00'	123.29'	S00°49'58"W	122.93'	015°13'28"
C4	1002.00'	112.21'	S11°39'11"W	112.15'	006°24'58"
C5	536.00'	124.35'	S08°12'53"W	124.08'	013°17'34"
C6	498.00'	130.38'	S05°55'54"E	130.00'	015°00'00"
C7	102.00'	45.88'	S00°32'45"E	45.49'	025°46'18"
C8	1053.00'	233.03'	S06°00'00"W	232.56'	012°40'47"
C9	47.00'	74.77'	S45°14'03"W	67.13'	091°08'52"
C10	1053.00'	74.64'	S10°18'34"W	74.62'	004°03'40"
C11	1067.00'	75.63'	S10°18'34"W	75.62'	004°03'40"
C12	1053.00'	158.39'	S03°56'10"W	158.24'	008°37'07"
C13	115.00'	105.27'	N26°33'54"W	101.64'	052°27'01"
C14	119.50'	45.37'	N83°39'57"W	45.09'	021°45'05"
C15	26.50'	7.31'	N82°26'26"W	7.28'	015°47'54"
C16	47.00'	43.54'	S26°11'53"W	42.00'	053°04'32"
C17	47.00'	45.07'	S63°20'21"W	43.39'	054°56'15"
C18	1067.00'	52.94'	S10°55'45"W	52.54'	002°49'17"
C19	300.00'	7.50'	S04°10'07"E	7.49'	001°29'53"
C20	300.00'	27.80'	S00°47'53"E	27.79'	005°18'38"
C21	557.00'	6.78'	S01°30'29"W	6.78'	000°41'52"
C22	557.00'	77.18'	S02°48'36"E	77.11'	007°56'19"

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE THIS SHEET

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VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	9 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=100'	

Dwg Name: P:\Alnsmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\04-09-ALNSMWI-CSM_2.dwg Updated By: LMoyl

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OWNER'S CERTIFICATE

AS OWNER(S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED ON THE PLAT. I (WE) ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF SOMERS. WITNESS THE HAND AND SEAL OF SAID OWNER(S)

THIS _____ DAY OF _____, 2023.

ON THIS _____ DAY OF _____, 2023.

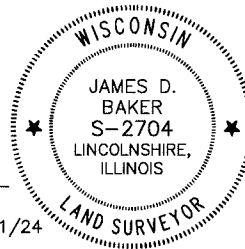
BY: _____

TITLE: _____ PREPARED BY: _____

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023



NOTARY'S CERTIFICATE

STATE OF _____ }
COUNTY OF _____ } S.S.

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE

AFORESAID, DO HEREBY CERTIFY THAT _____ AND

_____ OF SAID CORPORATION, PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THIS INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC

VILLAGE OF SOMERS BOARD APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF SOMERS AND DEDICATION ACCEPTED ON THIS _____ DAY OF _____, 2023.

GEORGE STONER, VILLAGE PRESIDENT

MARY COLE, VILLAGE CLERK

VILLAGE OF SOMERS PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE VILLAGE PLAN COMMISSION OF THE VILLAGE OF SOMERS AND ADOPTED ON THIS _____ DAY OF _____, 2023.

GEORGE STONER, VILLAGE PRESIDENT

MARY COLE, VILLAGE CLERK

VILLAGE TREASURER CERTIFICATE

STATE OF WISCONSIN)
KENOSHA COUNTY)SS

I, _____, BEING THE DULY ELECTED (APPOINTED), QUALIFIED AND ACTING TREASURER OF THE VILLAGE OF SOMERS, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF _____, 2023 AFFECTING THE LANDS INCLUDED IN THIS PLAT.

(DATE)

TREASURER

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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: JDB

SHEET

DRAWN BY: LSM

DATE: 03/24/23

SCALE: N.T.S.

10 OF 11

ALN.SMWI01

Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\10-11-ALN.SMWI-CSM_2.dwg Updated By: L.Mary

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SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF LAKE)

I, JAMES D. BAKER, A WISCONSIN PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED AND CONSOLIDATED A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN, DESCRIBED AS FOLLOWS:

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 6 IN CERTIFIED SURVEY MAP NO. _____ RECORDED _____, 20____.

THAT I HAVE MADE THIS SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF CARDINAL CAPITAL MANAGEMENT.

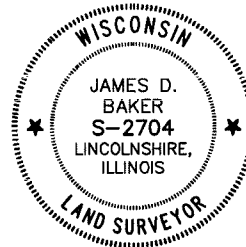
SUBJECT TO EASEMENTS, RESTRICTIONS AND ROADWAYS OF RECORD, SAID PARCEL CONTAINING 27.833 ACRES.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE LAND DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES AND THE CODE OF GENERAL ORDINANCES FOR THE VILLAGE OF SOMERS, DIVIDING AND MAPPING THE SAME.

DATED THIS 24TH DAY OF MARCH, 2023

SURVEYOR: JAMES D. BAKER
WISCONSIN PROFESSIONAL LAND SURVEYOR NO. 2704-8



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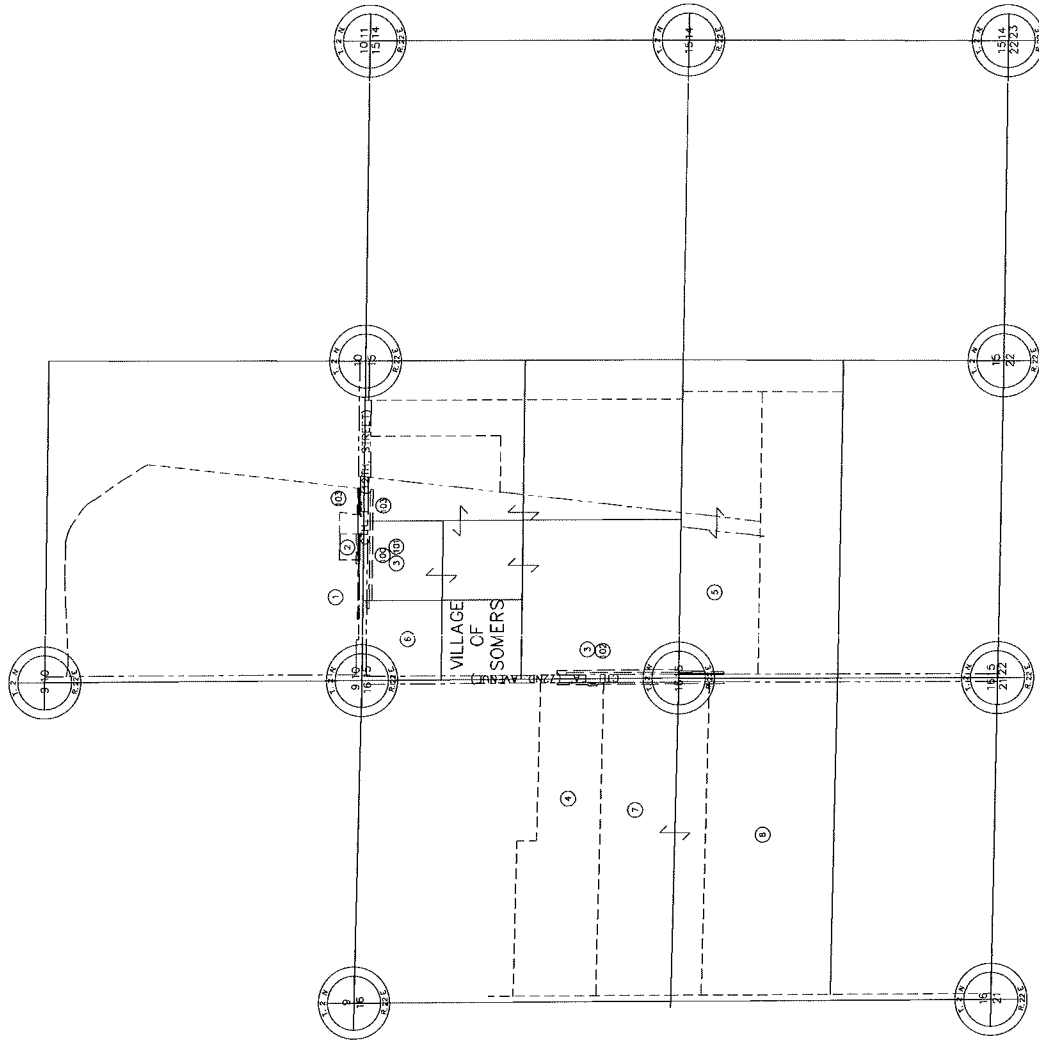
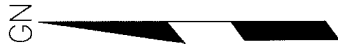


One Overlook Point, Suite 290, Lincolnshire, IL 60069 ph:847.634.5550 fx:847.634.0095 manhard.com
Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners

SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: <u>JOB</u>	SHEET
DRAWN BY: <u>LSM</u>	11 OF 11
DATE: <u>03/24/23</u>	
SCALE: <u>N.T.S.</u>	
ALN.SMWI01	

Dwg Name: P:\Alnsmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\10-11-ALNSMW- CSM_2.dwg Updated By: LMory 08:56

EXHIBIT B
RIGHT OF WAY PLAT



REVISION DATE:	DATE: 03/24/2023	SCALE, FEET	HWY: E, EA	R/W PROJECT NUMBER: RD24--001	PLAT SHEET: 3
	GRID FACTOR:		COUNTY: KENOSHA	CONSTRUCTION PROJECT NUMBER: -----	PS&E SHEET: -----

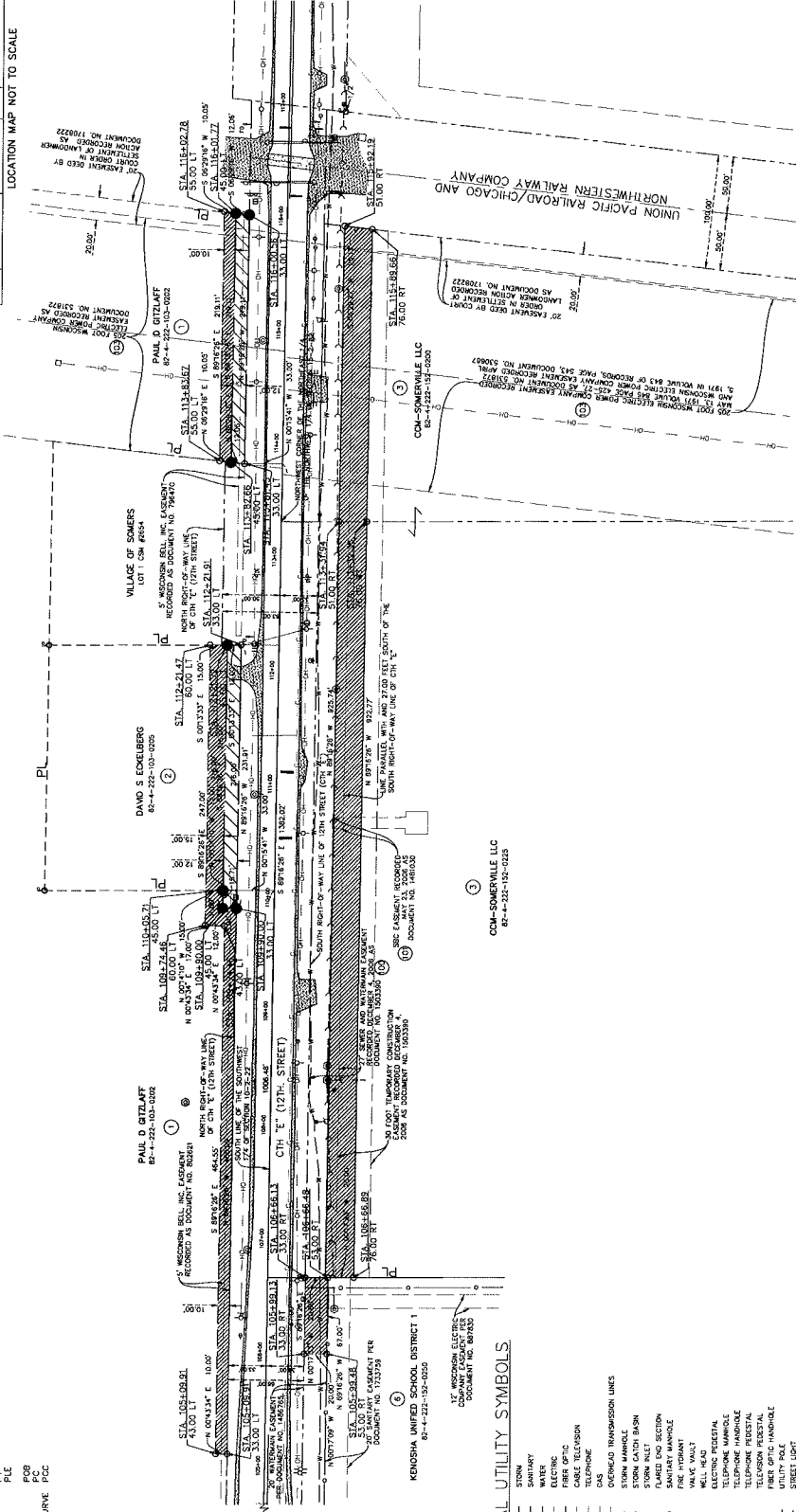
LOCATION MAP NOT TO SCALE



CONVENTIONAL ABBREVIATIONS

ACCESS ROADS	AR
ADDITIONAL	AD
AHEAD	AE
AND OTHERS	AO
BACK	BK
CENTERLINE	CL
CENTRELINE SURVEY MAP	CSM
CIRCULAR	CR
CORNER	CO
COUNTY TRUNK HIGHWAY	CTH
DISTANCE	DI
DRIVE	DR
DOCUMENT NUMBER	DN
EASEMENT	EA
GAS VALVE	GV
HIGHWAY EASEMENT	HE
HIGHWAY RIGHT-OF-WAY	HRW
LEFT TURN LANE	LTL
LOCAL CONTROL	LC
NATIONAL GEOGRAPHIC SURVEY	NGS
OUTLET	OU
PAGE	P
PERMANENT LIMITED	PL
POINT OF BEGINNING	PB
POINT OF COMMENCEMENT	PC
POINT OF CURVATURE	POC
POINT OF INTERSECTION	POI
RECORDED AS	RA
REFLECTOR IMAGE	RI
REMAINING LINE	RML
RESTRICTIVE DEVELOPMENT	RD
RIGHT-OF-WAY ELEMENT	RWE
SECTION OF WAY	SOW
SETBACK FEET	SF
SHOULDER	SH
STATE TRUNK-HIGHWAY	STH
TELEPHONE PEDESTAL	TPE
TEMPORARY CONSTRUCTION	TC
TEMPORARY EASEMENT	TE
TRANSITION PROJECT	TP
UNIMPAVED PLAT	UP
VOLUME	V
WESTERN STATES HIGHWAY	WSH

CONVENTIONAL SYMBOLS

[illegible]

CONVENTIONAL UTILITY SYMBOLS

STORM
SANITARY
WATER
ELECTRIC
FIBER OPTIC
CABLE TELEVISION
TELEPHONE
GAS
OVERHEAD TRANSMISSION LINES
STORM CATCHER
STORM CATCH BASIN
STORM INLET
FLARED END SECTION
SANITARY MANHOLE
FIRE HYDRANT
VALVE VAULT
WELL HEAD
ELECTRIC PEDestal
TELEPHONE MANHOLE
TELEPHONE PEDestal
TELEPHONE PEDestal
FIBER OPTIC MANHOLE
UTILITY POLE
STREET LIGHT

REVISION DATE:

DATE-03/24/2023

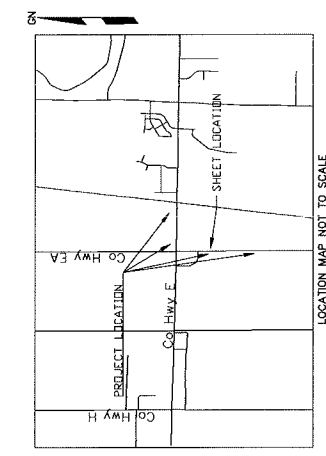
SCALE FEET

HWY. E FA

HWY. E FA

D W/ C O T N I V D E C A B C

DATE RECEIVED

[illegible]

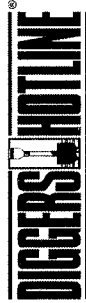
CONVENTIONAL SYMBOLS	
SECTION LINE	SECTION CORNER SYMBOL
QUARTER LINE	R/W MONUMENT (TO BE SET)
SIXTEENTH LINE	NON-MONUMENT R/W POINT
NEW R/W LINE	FOUND IRON PIN (1-INCH UNLESS NOTED)
EXISTING R/W OR R/H LINE	PARCEL NUMBER
PROPERTY LINE	WOOD FENCE
LOT, TIE & OTHER MINOR TIES	SIGN
CORPORATE LIMITS	MAILBOX
NEW R/W (TIE OR R/H) (N/A UNLESS BY OWNER)	FLAGPOLE
TEMPORARY LIMITED EASEMENT AREA	

CONVENTIONAL	UTILITY SYMBOLS
—	STORM
—	SANITARY
—	WATER
—	ELECTRIC
—	FIBER OPTIC
—	TELEVISION
—	TELEPHONE
—	GAS
—	OVERHEAD TRANSMISSION LINES
—	UNDERGROUND TRANSMISSION LINES
—	STORM CATCH BASIN
—	STORM INLET
—	RAISED DIRT SECTION
—	SAFETY
—	FIRE HYDRANT
—	VALVE VAULT
—	ELECTRIC
—	TELEPHONE MANHOLE
—	TELEPHONE
—	TELEPHONE PEDestal
—	TELEPHONE
—	TELEPHONE MANHOLE
—	UTILITY POLE
—	STREET LIGHT

EXHIBIT C

PLANS

E
WISDOT/CADDs SHEET 10



UTILITY CONTACTS	
ELECTRIC MILWAUKEE PO BOX 2046 MILWAUKEE, WI 53203 (866) 423-0364	WATER DEPT. OF PUBLIC WORKS 7511 12TH STREET MILWAUKEE, WI 53214 (262) 859-2822
GAS WE ENERGIES AT&T WISCONSIN MILWAUKEE, WI 53203 (866) 423-0364	SEWER VILLAGE OF SOMERS 7511 12TH STREET MILWAUKEE, WI 53214 (262) 859-2822

NOTES:

1. THE BOUNDARY, LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A 2020 FIELD SURVEY COMPLETED BY MANHARD CONSULTING, LTD. ON DECEMBER 10, 2020. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DIFFERING CONDITIONS.

BENCHMARKS:

SOURCE BENCHMARK/SITE BENCHMARK #1:
FOUND BRASS CAP AT THE WEST 1/4 CORNER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, KENOSHA COUNTY, WISCONSIN.

ELEVATION=687.15
DATUM=NGD029

SITE BENCHMARK #2:
FOUND BRASS CAP AT THE NORTHWEST CORNER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, KENOSHA COUNTY, WISCONSIN.

ELEVATION=688.50 (MEASURED)
ELEVATION=688.57 (RECORD)
DATUM=NGD029

SITE BENCHMARK #3:
CORNERS OF THE FIRE HYDRANT LOCATED APPROXIMATELY 30.1 FEET SOUTH OF THE CENTERLINE OF COUNTY TRUNK HIGHWAY E (12TH STREET) AND APPROXIMATELY 154.8 FEET WEST OF CENTERLINE OF THE UNION PACIFIC RAILROAD/CHICAGO AND NORTHWESTERN RAILWAY COMPANY RAILROAD TRACKS.

ELEVATION=686.54
DATUM=NGD029

INDEX OF SHEETS

SHEET NO. DESCRIPTION

1	TITLE SHEET
2	INDEX OF SHEETS
3	EXISTING CONDITIONS - CTH E
4	EXISTING CONDITIONS - CTH EA
5	OVERALL PLAN - CTH E
6	OVERALL PLAN - CTH EA
7	TYPICAL SECTIONS
8	DEMOLITION PLAN - CTH E
9	DEMOLITION PLAN - CTH EA
10	PLAN AND PROFILE - CTH E STA.103+00 TO STA.108+00
11	PLAN AND PROFILE - CTH E STA.108+00 TO STA.113+00
12	PLAN AND PROFILE - CTH E STA.113+00 TO STA.117+50
13	PLAN AND PROFILE - CTH EA STA.469+00 TO STA.474+50
14	PLAN AND PROFILE - CTH EA STA.474+50 TO STA.480+00
15	PLAN AND PROFILE - CTH EA STA.480+00 TO STA.485+00
16	INTERSECTION GRADING DETAIL - CTH E AND CTH EA
17	EROSION CONTROL PLAN - CTH E
18	EROSION CONTROL PLAN - CTH EA
19	EROSION CONTROL PLAN DETAILS
20	PAVEMENT MARKING PLAN - CTH E
21	PAVEMENT MARKING PLAN - CTH EA
22	ALIGNMENT TIES- CTH E
23	ALIGNMENT TIES- CTH EA
24	SUMMARY OF QUANTITIES
25	CONSTRUCTION DETAIL LIST
26	STANDARD DETAIL DRAWINGS
27	STANDARD DETAIL DRAWINGS
28	STANDARD DETAIL DRAWINGS
29	STANDARD DETAIL DRAWINGS
30	STANDARD DETAIL DRAWINGS
31	STANDARD DETAIL DRAWINGS
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45	STANDARD DETAIL DRAWINGS
46	STANDARD DETAIL DRAWINGS
47	STANDARD DETAIL DRAWINGS
48	STANDARD DETAIL DRAWINGS
49	STANDARD DETAIL DRAWINGS
50	SIGN PLATES
51	SIGN PLATES
52	CROSS SECTION CTH E - STA.105+00 TO STA.109+50
53	CROSS SECTION CTH E - STA.110+00 TO STA.112+00
54	CROSS SECTION CTH E - STA.112+50 TO STA.116+50
55	CROSS SECTION CTH EA - STA.469+50 TO STA.472+99
56	CROSS SECTION CTH EA - STA.473+50 TO STA.478+00
57	CROSS SECTION CTH EA - STA.478+50 TO STA.483+00
58	CROSS SECTION CTH EA - STA.483+50 TO STA.484+00

COUNTY: KENOSHA

HWY: CTH-E AND CTH-EA

PROJECT NO: RD 24-001

INDEX OF SHEETS

SHEET 2

E

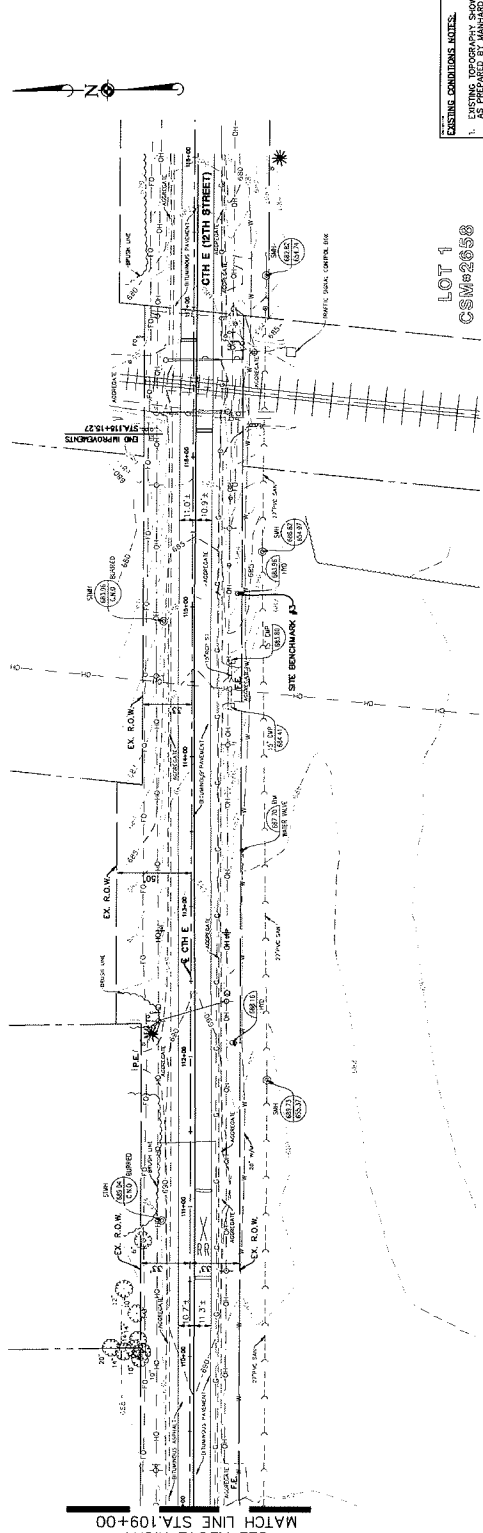
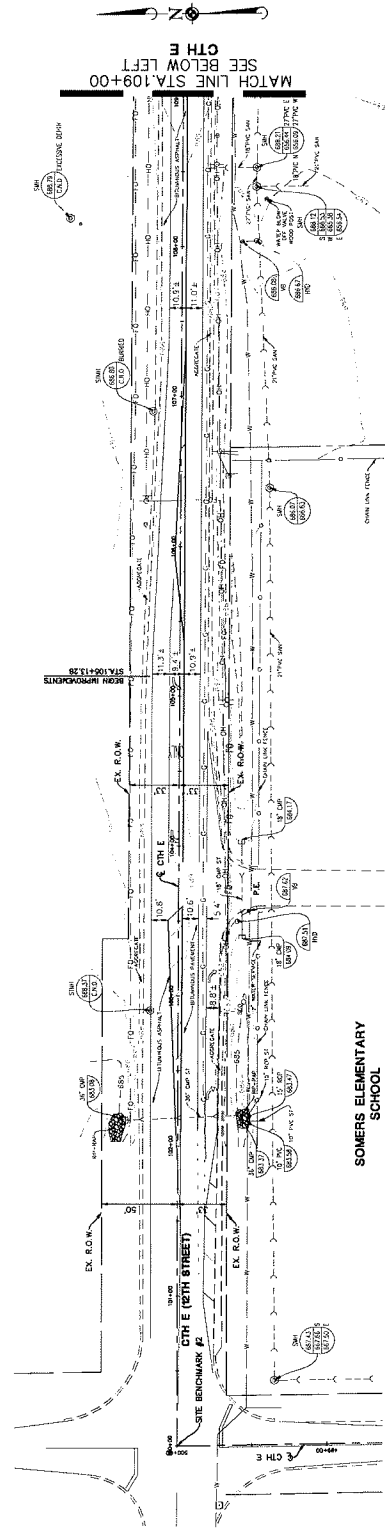
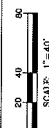
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PLOT BY: NICHOLAS B. ADAMANTE

PLOT NAME: N.T.S.

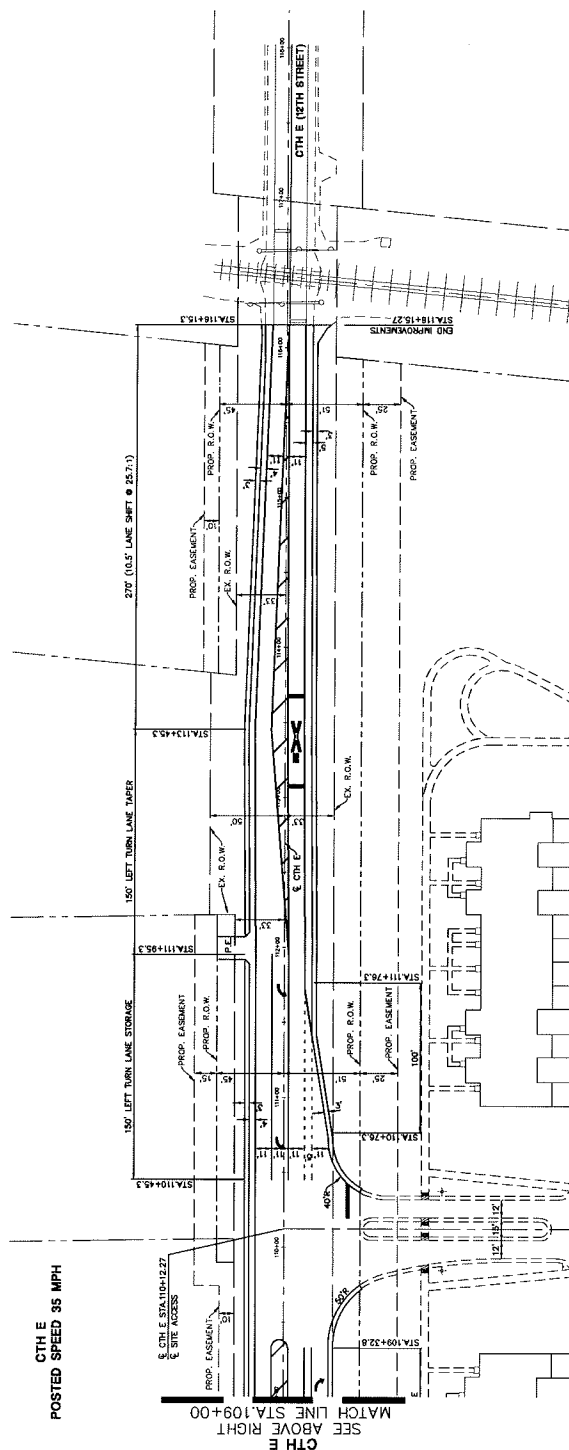
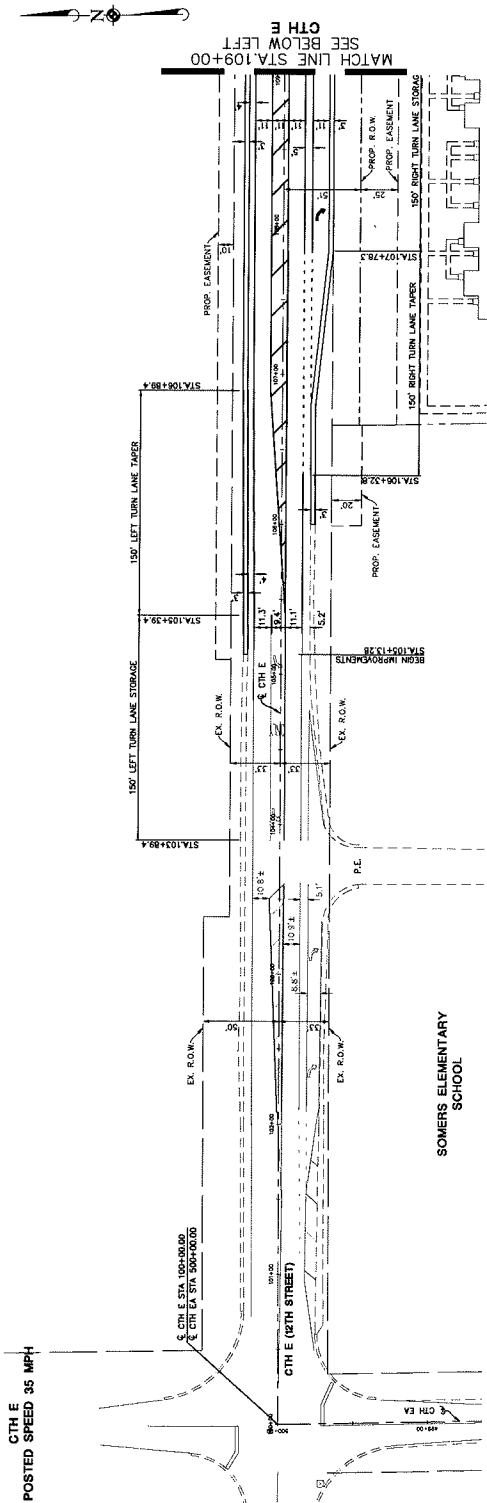
WSDOT\00055-SHEET 42

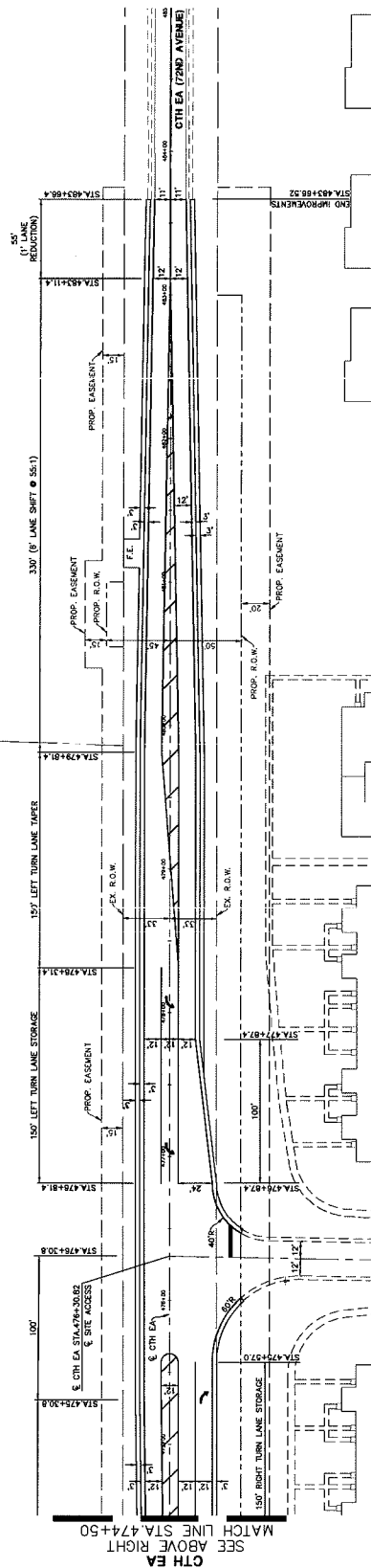
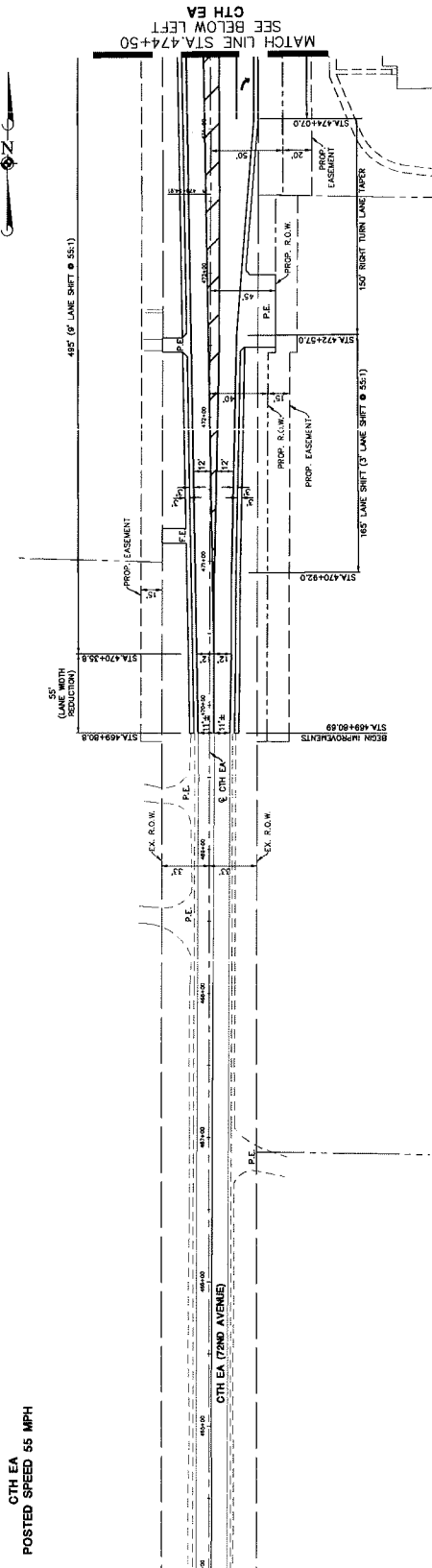


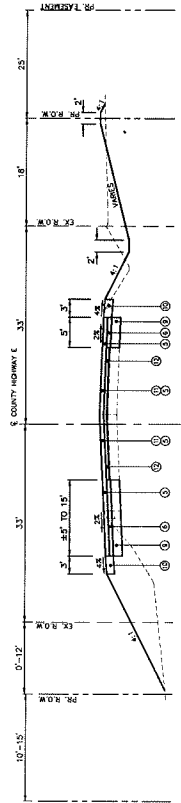
EXISTING CONDITIONS NOTES:

- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY JAMES R. CONLEY, LTD. ON DECEMBER 15, 2023. ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL. ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND PRIOR TO STARTING CONSTRUCTION.
- THESE DRAWINGS AND ANY INFORMATION AS SHOWN HEREON IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT, ITS COMPANIES AND THE LOCAL MUNICIPALITY. WELL, THESE DRAWINGS AND ANY INFORMATION AS SHOWN HEREON IS NOT TO BE USED FOR ANY OTHER PURPOSES AND ITS COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

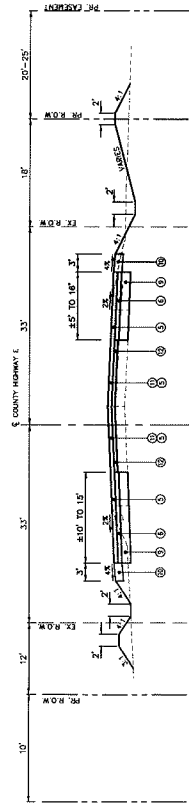
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								WSDOT/CAD05-SHEET 42	



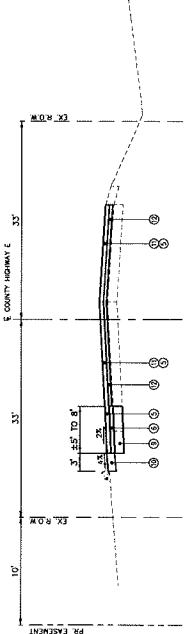




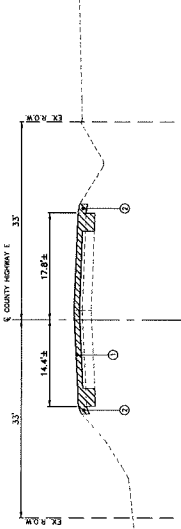
PROPOSED TYPICAL SECTION COUNTY HIGHWAY E
STATION 0+15 TO STA 11+15.3



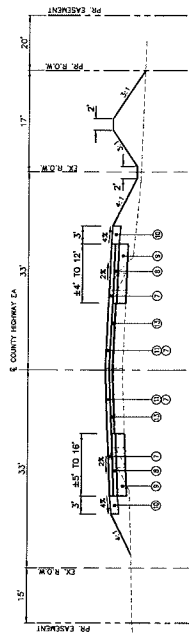
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STATION 207+25 TO STA 10+10



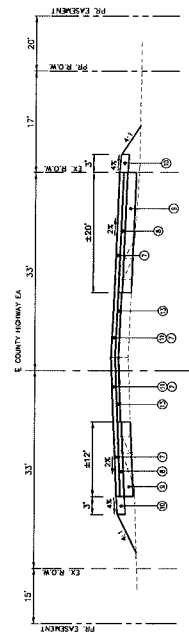
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STATION 10+ TO STA 10+12



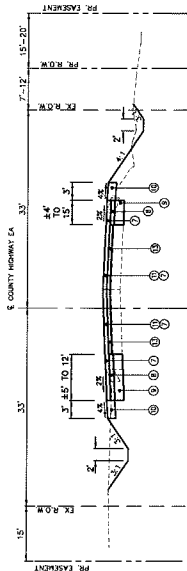
EXISTING TYPICAL SECTION COUNTY HIGHWAY E
STATION 14+4.5 TO STA 10+10.6



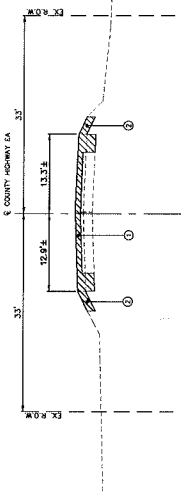
PROPOSED TYPICAL SECTION COUNTY HIGHWAY EA
STATION 15 TO STATION 17



PROPOSED TYPICAL SECTION COUNTY HIGHWAY EA
STATION 15 TO STA 4+75



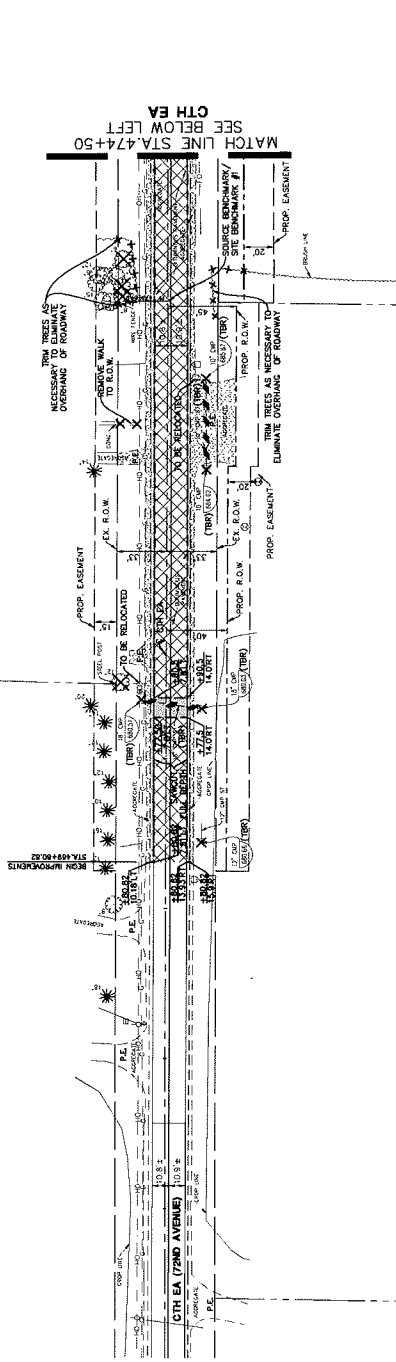
PROPOSED TYPICAL SECTION COUNTY HIGHWAY EA
STATION 15 TO STATION 17



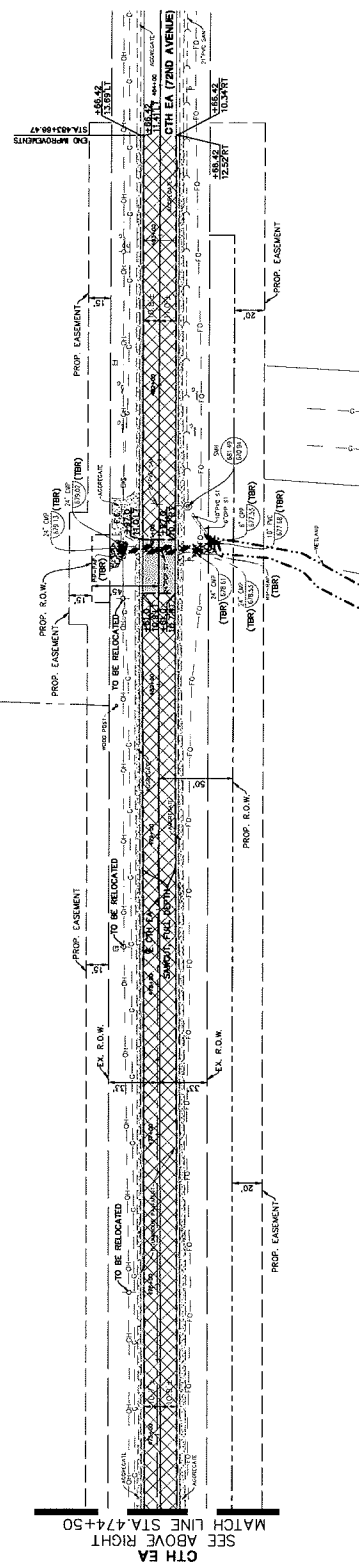
EXISTING TYPICAL SECTION COUNTY HIGHWAY EA
STATION 12+8.5 TO STA 4+75.6

PAVING LEGEND

①	EX. HMA PAVEMENT
②	EX. ASPHALT CONCRETE
③	EX. 3" LIT 56-28 S (BINDER COURSE) - 2.5"
④	EX. 4" LIT 56-28 S (SURFACE COURSE) - 2.5"
⑤	EX. 4" LIT 56-28 S (BINDER COURSE) - 2.5"
⑥	EX. 4" LIT 56-28 S (SURFACE COURSE) - 2.5"
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㊾	EX. 4" LIT 56-28 S (BINDER COURSE) - 2.5"
㊿	EX. 4" LIT 56-28 S (SURFACE COURSE) - 2.5"
1	TO BE REMOVED



MATCH LINE STA. 474+50
SEE BELOW LEFT
CTH EA



MATCH LINE STA. 474+50
SEE ABOVE RIGHT
CTH EA

DEMOLITION LEGEND	
	RETAINING EASEMENT AND BASE TO BE REMOVED
	AGGREGATE AND BASE TO BE REMOVED
	SAWTOOTH LINE
	UTILITY LINE REMOVAL
	TREE TO BE REMOVED
	TREE TO REMAIN

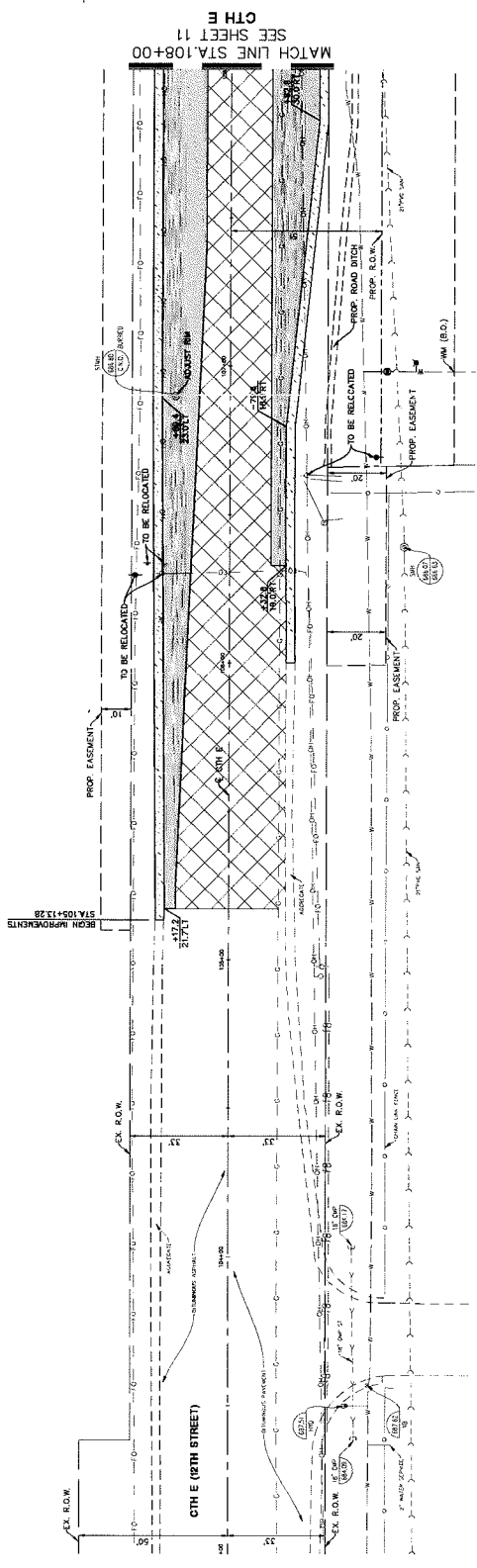
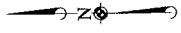
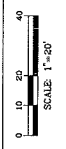
DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL AND DISPOSAL OF ALL STRUCTURES, PAVES, WALLS, FENCES, FOUNDATIONS, ROADWAYS, AND UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL DEMOLITION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL DEMOLITION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.

2. THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO DEMOLITION WORK TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL DEMOLITION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.

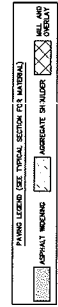
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL DEMOLITION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.

4. REFER TO SPECIFICATIONS SHEET FOR DEMOLITION NOTES.

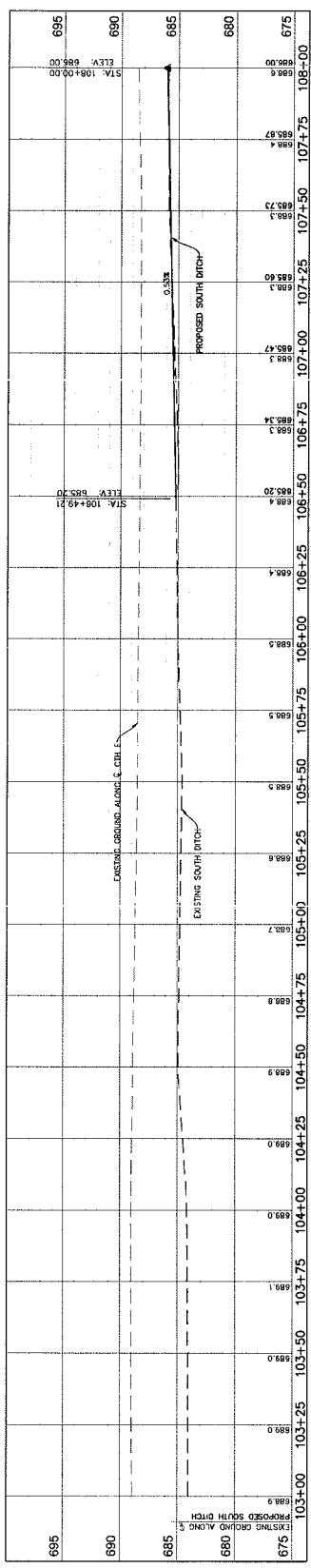


MATCH LINE STA 108+00
SEE SHEET 11
CTH E

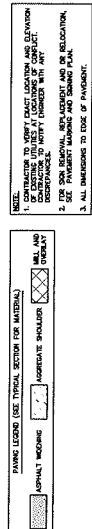
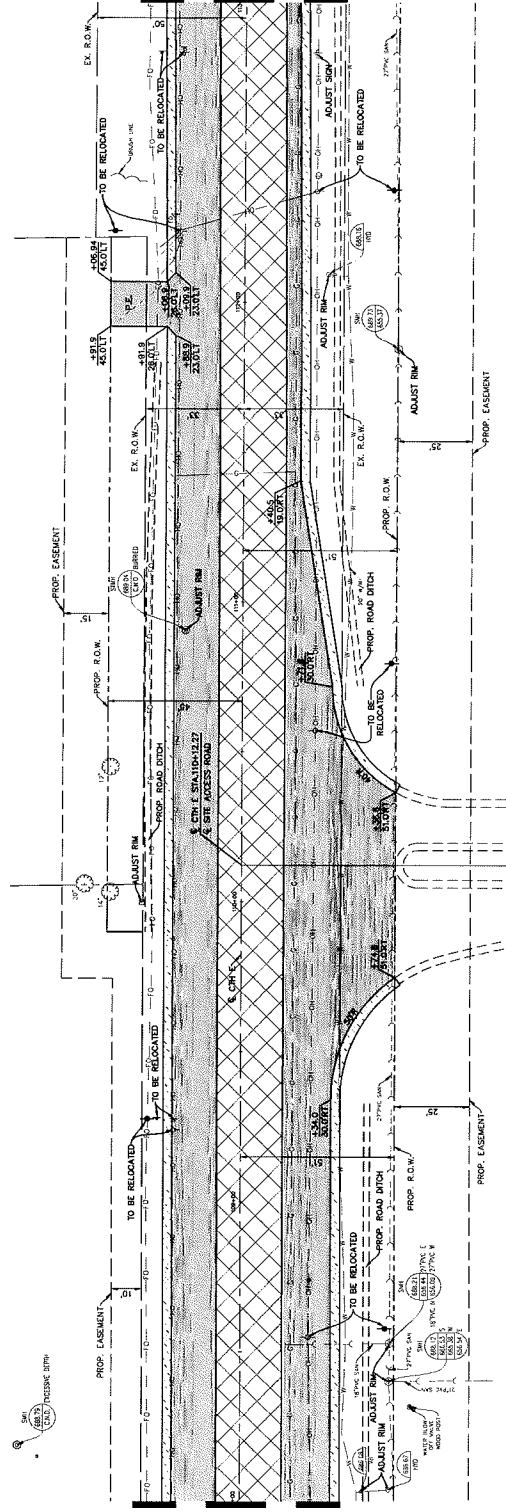
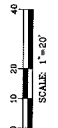
- MATERIAL**
- 1. CONCRETE TO KEEP EXISTING LOCATION AND ELEVATION OF EXISTING DITCHES AND DITCHES TO BE RELOCATED TO EXISTING LOCATION.
 - 2. FOR SOIL REMOVAL, REPLACEMENT AND OR RELOCATION, ALL EXISTING DITCHES AND DITCHES TO BE RELOCATED TO EXISTING LOCATION.
 - 3. ALL DITCHES TO BE RELOCATED TO EXISTING LOCATION.



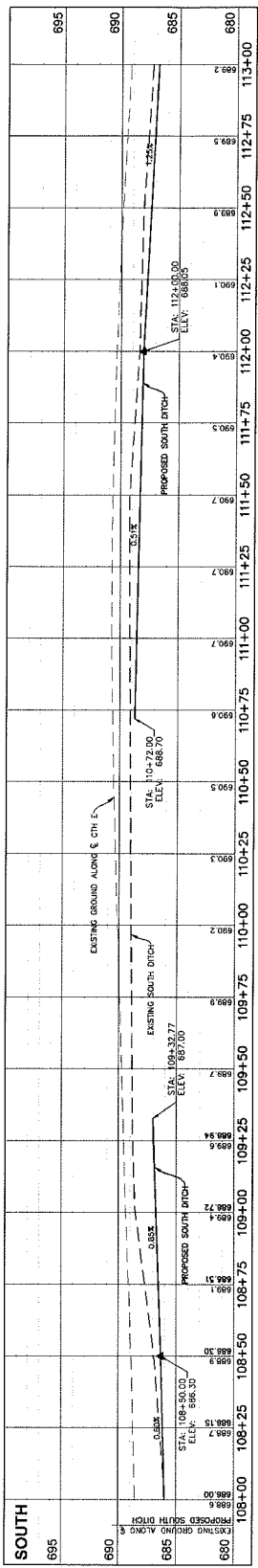
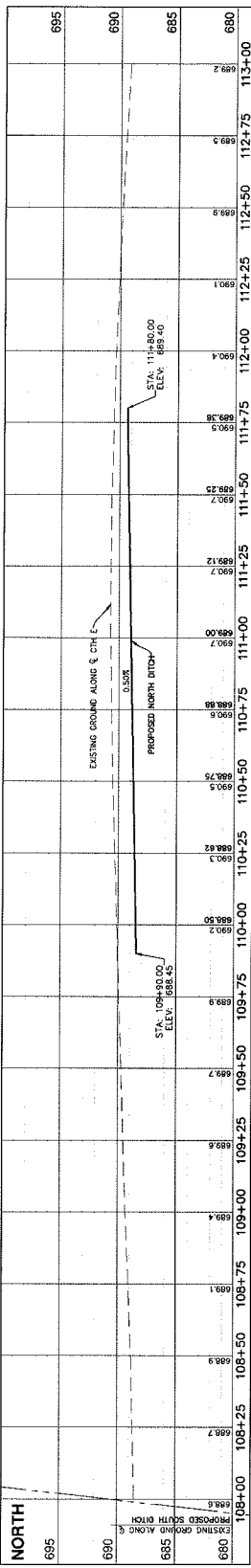
CTH E

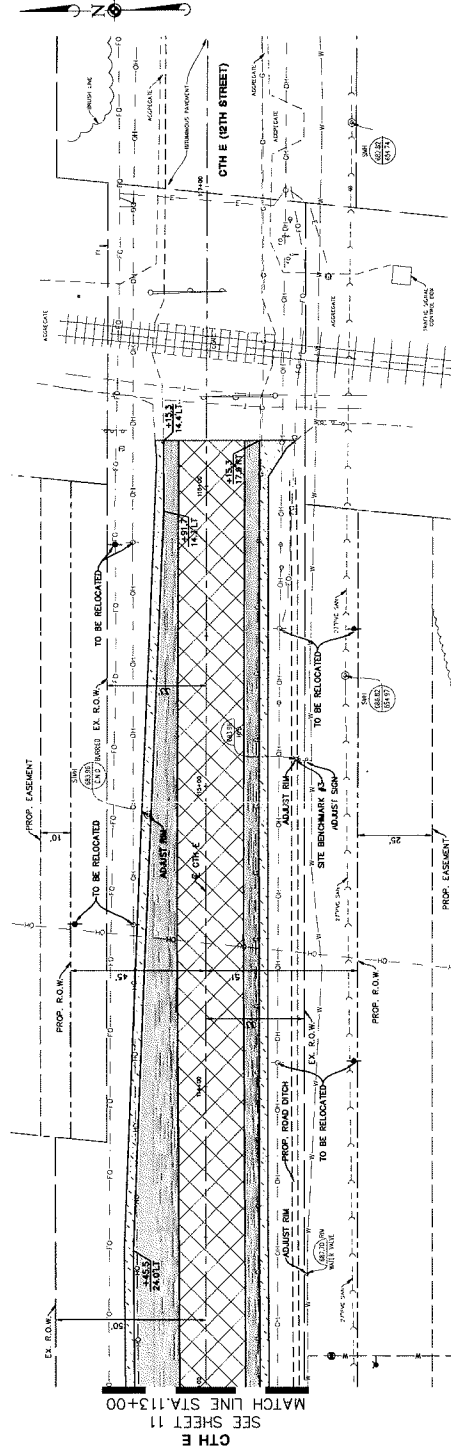


PROJECT NO: RD 24-001	COUNTY: KENOSHA	PLAN AND PROFILE - CTH E STA 103+00 TO STA 108+00	SHEET 10
FILE NAME: P:\ANS\BARDLONG\ENGINEERING\HIGHWAY PLAN SET\20-22 PLAN AND PROFILE.DWG	PLOT DATE: 5/15/2023 3:34 PM	PLOT BY: MICHAEL S. ADAMITE	PLOT SCALE: 1/4"=1'-5"
HWY: CTH-E AND CTH-EA			E



CTH E

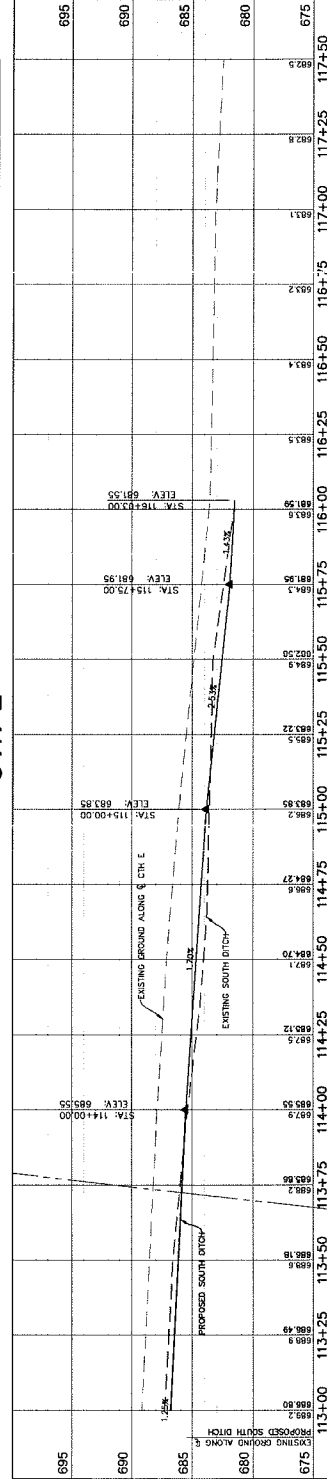


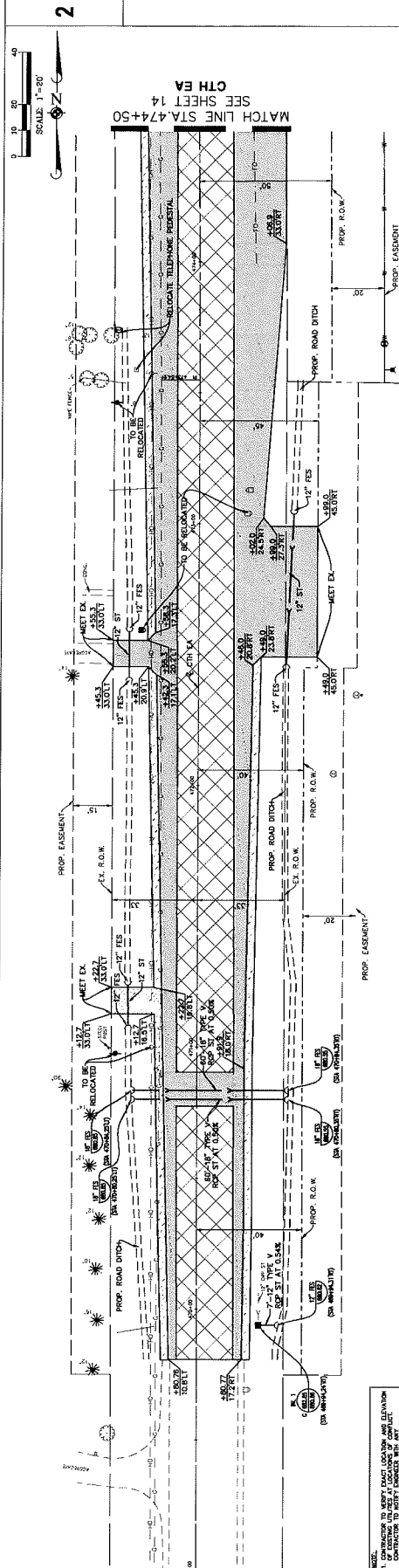


NOTES:
1. CONTRACTOR TO VERIFY EXISTING LOCATION AND ELEVATION OF ALL UTILITIES AND STRUCTURES AND NOTIFY OWNER WITH ANY DISCREPANCIES.
2. FOR NEW EXISTING, RELOCATION, AND/OR RELOCATION, THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND STRUCTURES TO REMAIN.
3. ALL DIMENSIONS TO EDGE OF PAVEMENT.

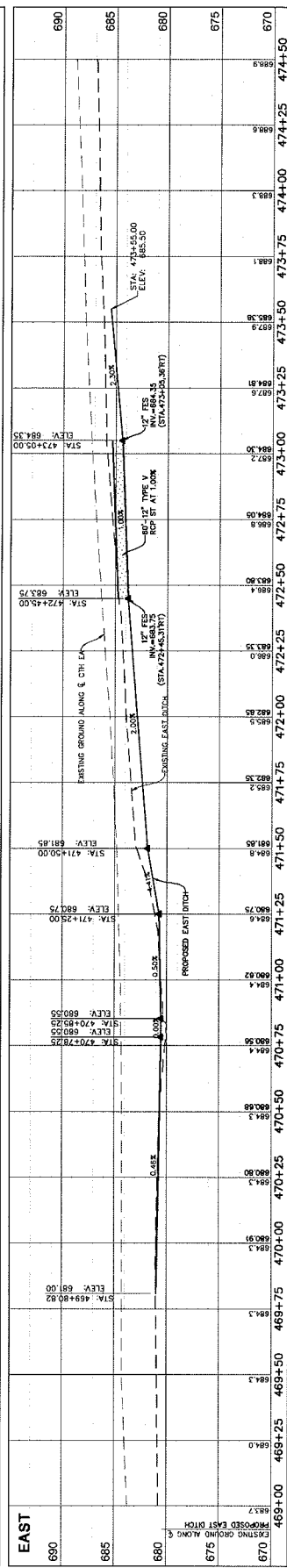
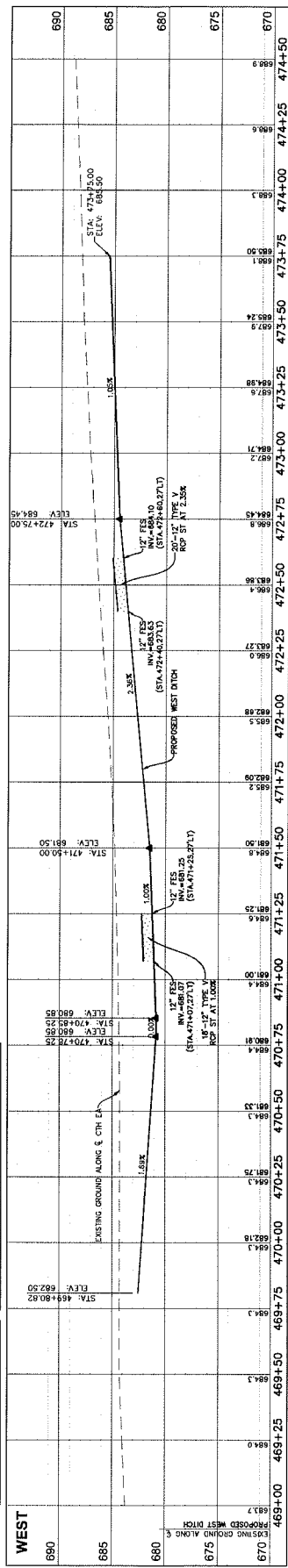


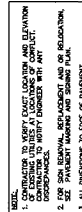
CTH E



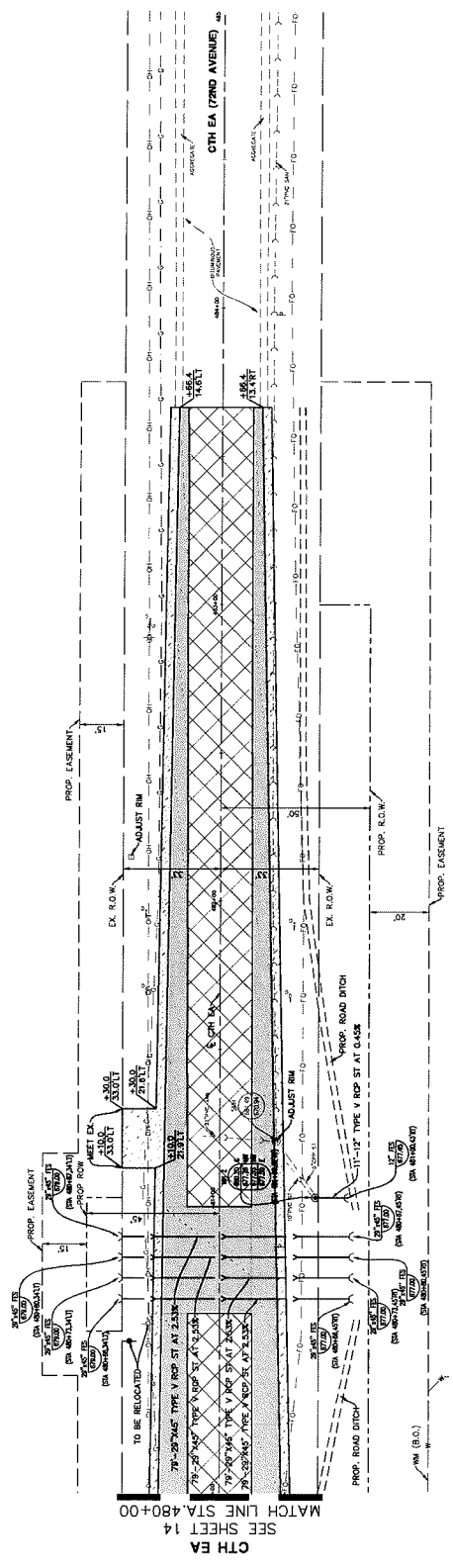
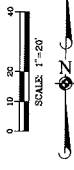


CTH EA





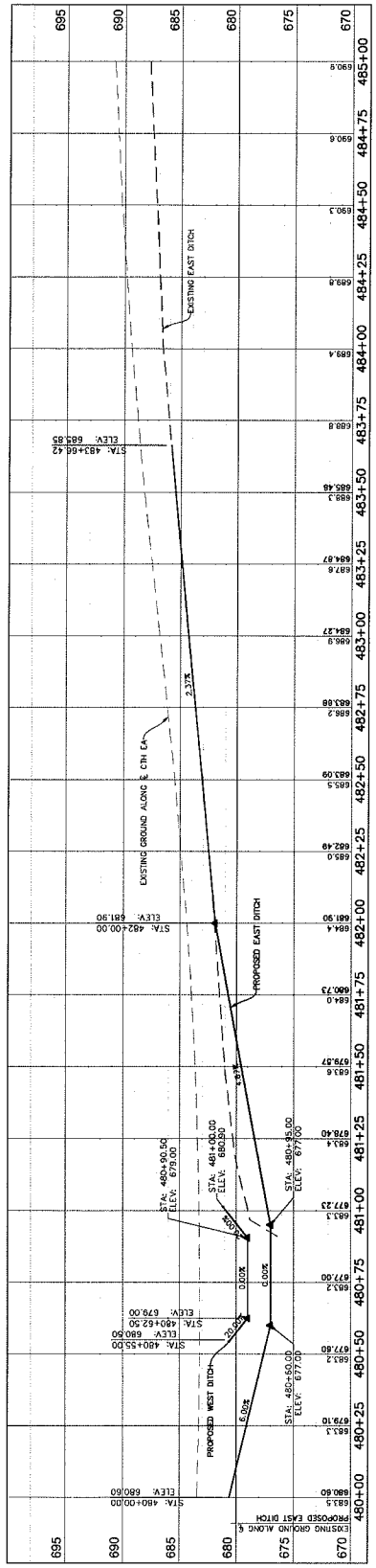
PROJECT NO:	RD 24-001	HWY: CTH-E AND CTH-EA	COUNTY: KENOSHA	PLAN AND PROFILE - CTH EASTA.47+50 TO STA.480+00	SHEET 14
FILE NAME: P:\ALUMS\BDS\DWG\ENR\PLAN\SET13\13-PLAN AND PROFILE EADWG PLOT DATE: 5/25/2023 3:35 PM PLOT BY: NICHOLAS B. JOHNSON PLOT NAME: HLT-267 V/L-15					
					WAPCOFFICE\DWG\SET13\20

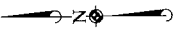
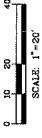


NOTES:
1. REFER TO THE PLAN AND PROFILE DRAWINGS FOR THE LOCATION AND ELEVATION OF ALL STRUCTURES AND EASEMENTS.
2. THE PROPOSED ROAD DITCHES ARE LOCATED AT THE LOCATIONS OF EXISTING DITCHES.
3. THE PROPOSED ROAD DITCHES ARE LOCATED AT THE LOCATIONS OF EXISTING DITCHES.
4. THE PROPOSED ROAD DITCHES ARE LOCATED AT THE LOCATIONS OF EXISTING DITCHES.
5. ALL DIMENSIONS TO EDGE OF PAVEMENT.

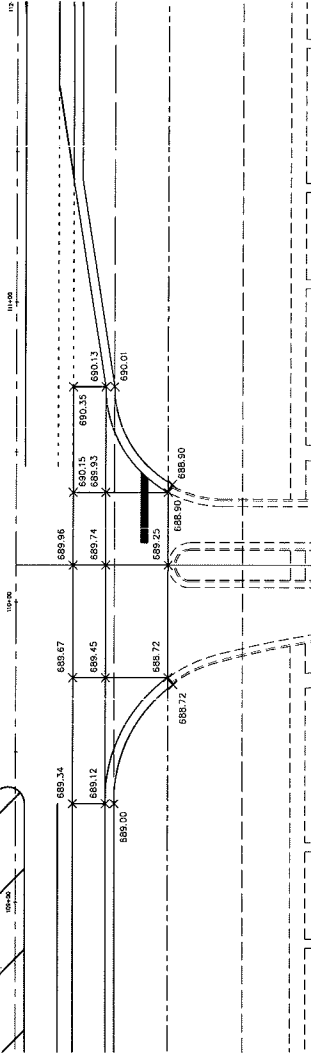


CTH EA

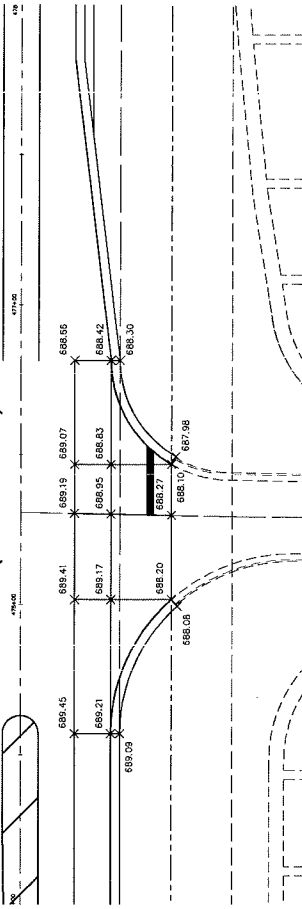




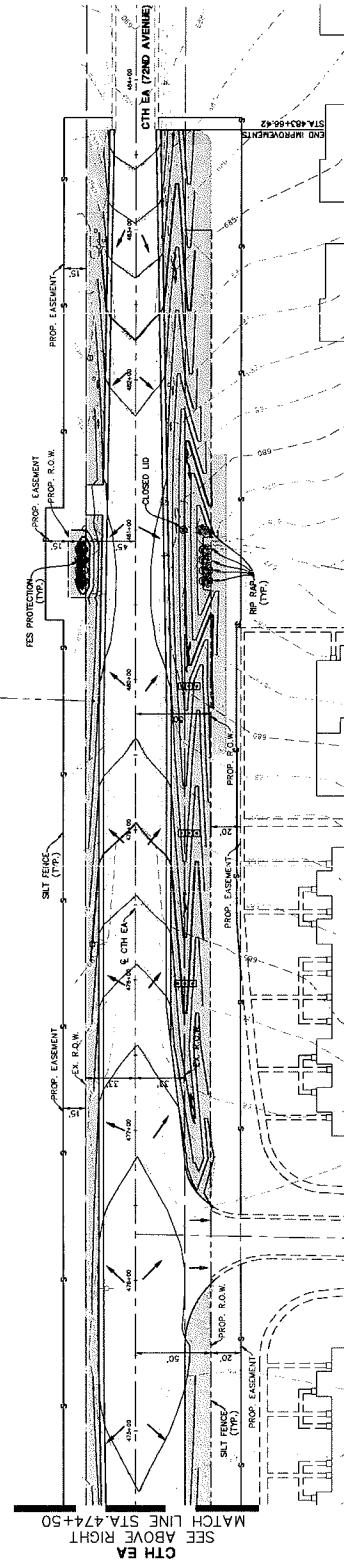
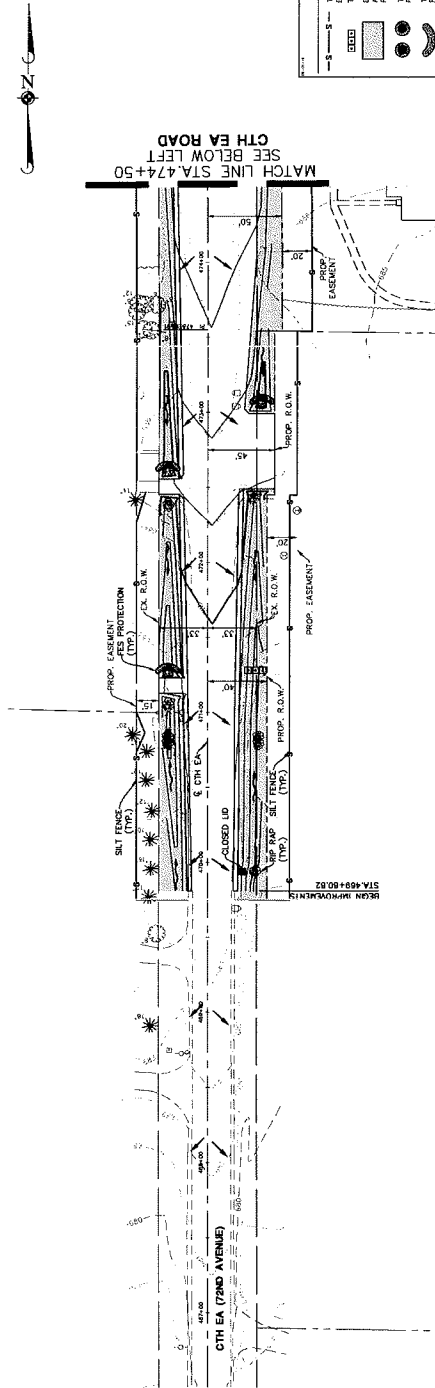
CTH E (72ND AVENUE)

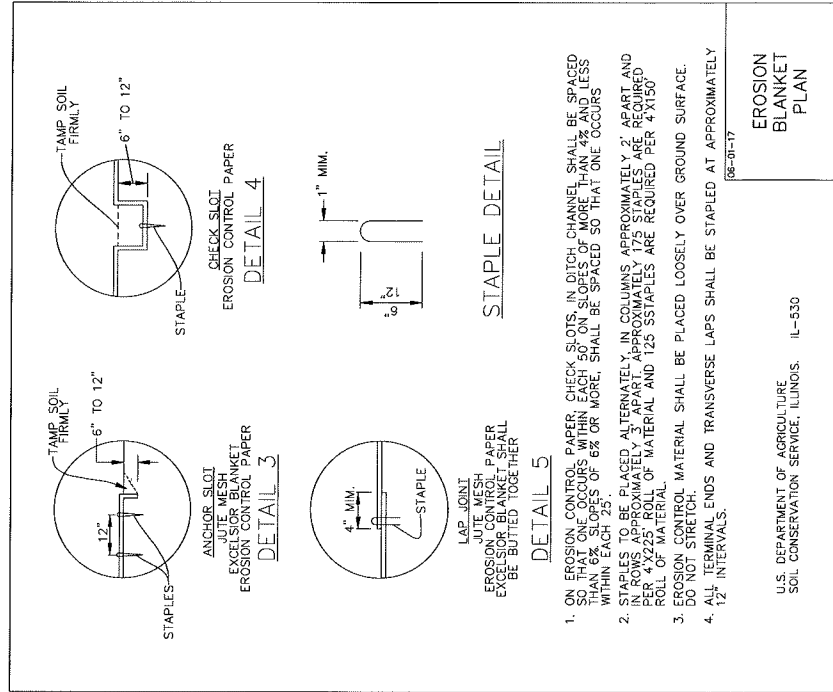
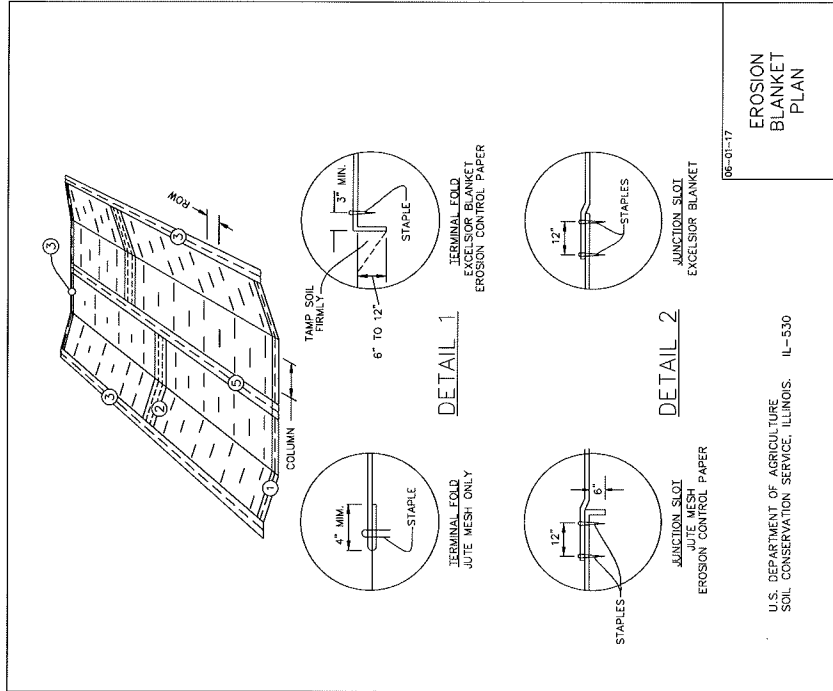


CTH EA (72ND AVENUE)



PROJECT NO: RD 24-001	HWY: CTH-E AND CTH-EA	COUNTY: KENOSHA	INTERSECTION GRADING DETAIL - CTH E AND CTH EA	SHEET 16	E
P.L. NAME: P:\ALBANY\01\ENGINEERING\DRAWING\HIGHWAY PLAN SET\15-17 INTERSECTION GRADING DETAIL.DWG					
PLOT DATE: 9/15/2023 3:36 PM			PLOT BY: NICHOLAS S. ADAMTE	PLOT NAME:	PLOT SCALE: 1"=20'
WISDOT/CADD/SHEET 42					





PROJECT NO: RD 24-001

HWY: CTH-E AND CTH-EA

COUNTY: KENOSHA

EROSION CONTROL PLAN DETAILS

SHEET 19

E

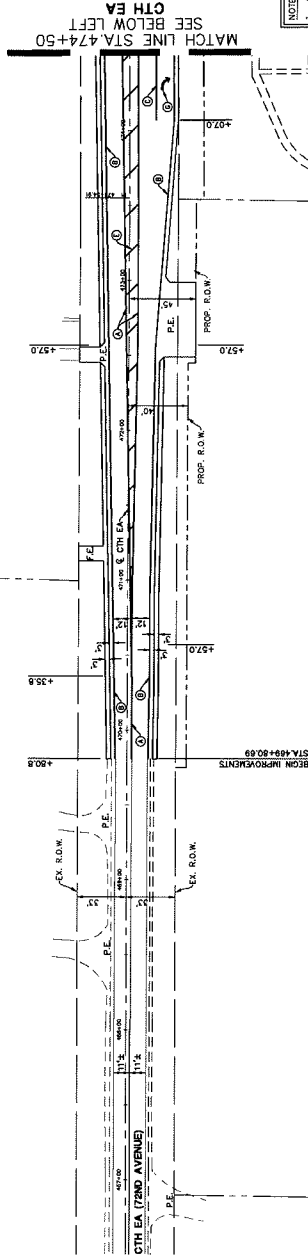
FILE NAME: P:\AL\BARR\TOWNSHIP\GENERAL DRAWINGS\HIGHWAY PLAN SET\12-20-EROSION PLAN AND DETAILS.DWG

PLOT DATE: 5/15/2023 3:36 PM

PLOT BY: NICOLAUS B. ADAMITE

PLOT SCALE: N.T.S.

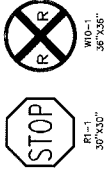
WISDOT\Q035 5-SHEET 19



PAVEMENT MARKING LEGEND	
①	4" DOUBLE YELLOW AT 20' C/C
②	4" WHITE
③	8" WHITE
④	8" WHITE (9" STRIP - 3' DASH)
⑤	12" YELLOW DIAGONAL (AT 25' C/C TYP)
⑥	24" WHITE
⑦	LETTERS AND SYMBOLS
⑧	8" WHITE (9" STRIP - 3' DASH)

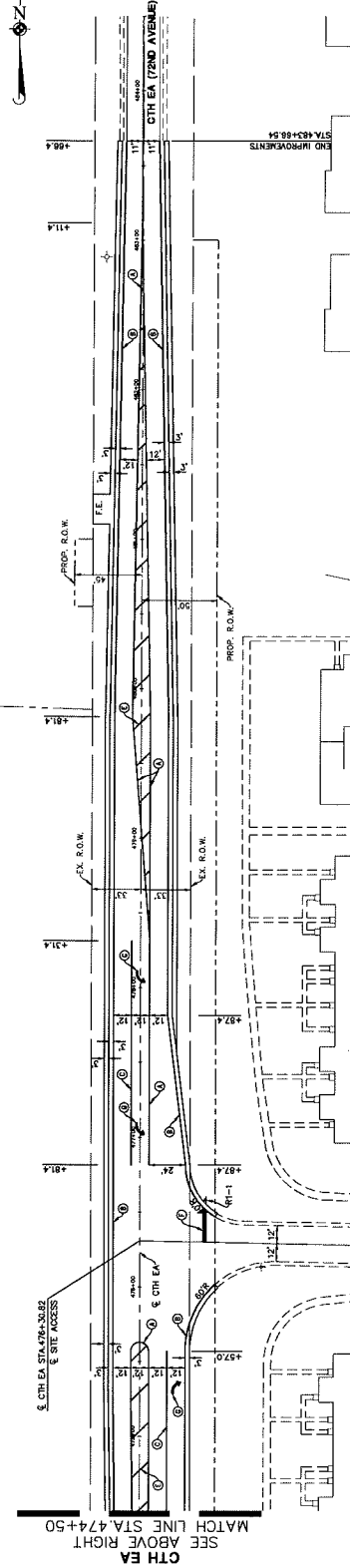
NOTES:
1. ALL PAVEMENT MARKINGS ON HMA PAVEMENT TO BE THERMOPLASTIC IN CONFORMANCE PER WISDOT STANDARD SPECIFICATIONS.

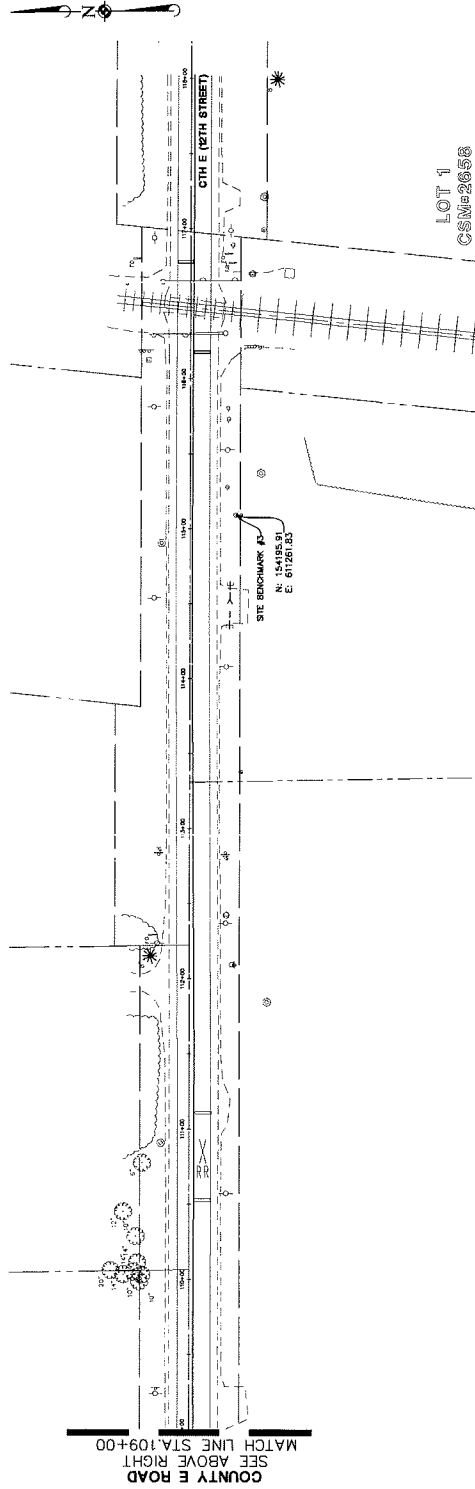
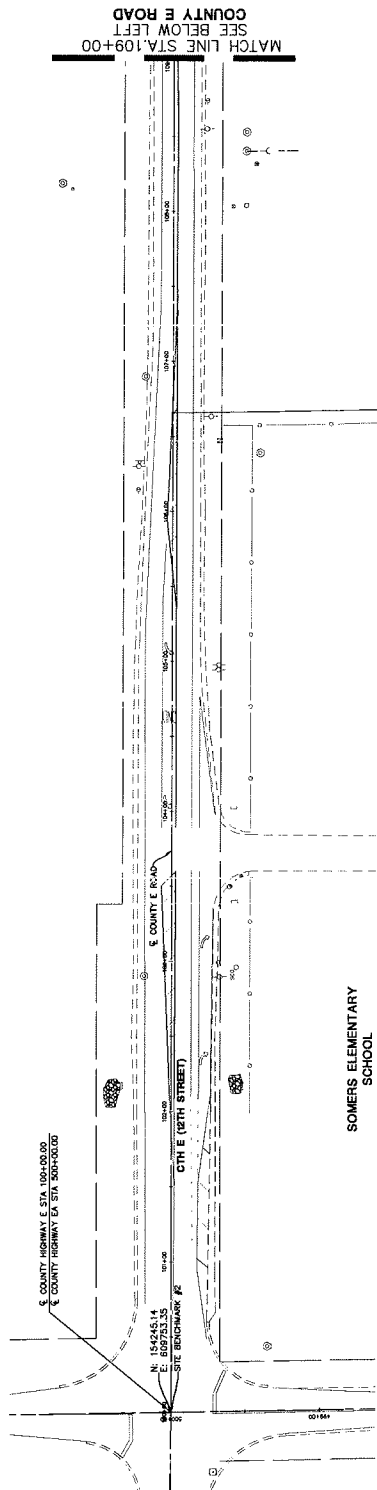
SIGN LEGEND

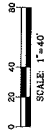


NOTES:
1. PROPOSED TRAFFIC SIGNS ARE SHOWN FOR INFORMATION ONLY. ALL SIGNS ARE TO BE INSTALLED BY THE CONTRACTOR.
2. EXISTING SIGNS TO BE RELOCATED SHALL BE REMOVED AND STORED ON SITE IN A PROTECTED AREA FOR PICK UP BY WDOT.
3. SIGNS SHALL NOT BE REMOVED UNTIL THE PROGRESS OF WORK NECESSITATES IT.

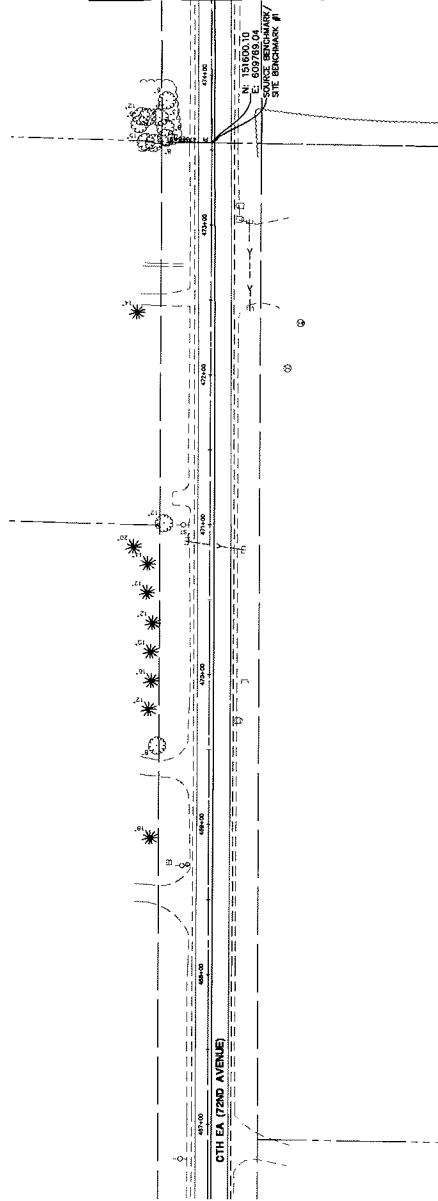
PAVEMENT MARKING PLAN



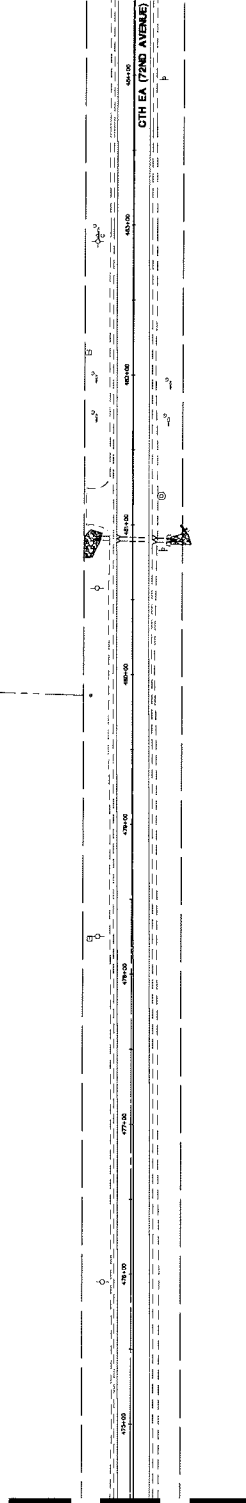




MATCH LINE STA. 474+50
SEE BELOW LEFT
COUNTY EA ROAD



MATCH LINE STA. 474+50
SEE ABOVE RIGHT
COUNTY EA ROAD



PROJECT NO: RD 24-001	HWY: CTH-E AND CTH-EA	COUNTY: KENOSHA	ALIGNMENT TIES- CTH EA	SHEET 23	E
FILE NAME: P:\ALUMINUM\2023\ENGINEERING\ALUMINUM\HIGHWAY PLAN SET\23-24-ALIGNMENT TIES.DWG	DATE: 5/15/2023 3:37 PM	PLotted BY: NICHOLAS S. ADAMITE	PLotted NAME: NICHOLAS S. ADAMITE	PLotted SCALE: 1"=40'	WISDOT/CADDSS SHEET 42

Summary Of Quantities				
Line	Item	Item Description	Quantity	Unit
1	201.012	CLEARING	90	LF
2	201.021	GRUBBING	155	SY
3	305.011	BASE AGGREGATE DENSE 3/4-INCH (TON)	505	TON
4	305.012	BASE AGGREGATE DENSE 1 1/4 INCH	4230	TON
5	460.5243	HMA PAVEMENT 3 LT 58-34 S	2710	TON
6	460.5244	HMA PAVEMENT 4 LT 58-34 S	1575	TON
7	522.0512	CULVERT PIPE REINFORCED CONCRETE CLASS V 12-INCH	116	LF
8	522.0518	CULVERT PIPE REINFORCED CONCRETE CLASS V 18-INCH	36	LF
9	522.0524	CULVERT PIPE REINFORCED CONCRETE CLASS V 30-INCH	316	LF
10	522.1012	APRON ENDWALLS FOR CULVERT PIPE REINFORCED CONCRETE 12-INCH	8	EACH
11	522.1018	APRON ENDWALLS FOR CULVERT PIPE REINFORCED CONCRETE 18-INCH	4	EACH
12	522.103	APRON ENDWALLS FOR CULVERT PIPE REINFORCED CONCRETE 30-INCH	8	EACH
13	606.02	RIPRAP MEDIUM	135	CF
14	611.811	ADJUST MANHOLE COVERS	8	EACH
15	628.1504	SILT FENCE	4125	LF
16	628.152	SILT FENCE MAINTENANCE	2610	LF
17	628.2002	EROSION MAT CLASS 1 TYPE A	9100	SY
18	628.7504	TEMPORARY DITCH CHECKS	130	LF
19	628.7555	CULVERT PIPE CHECKS	9	EACH
20	637.221	SIGN TYPE II REFLECTIVE H	15	SF
21	637.223	SIGN TYPE II REFLECTIVE F	10	SF
22	638.2102	MOVING SIGNS TYPE II	4	LS
23	643.5	TRAFFIC CONTROL	2	LS
24	646.102	MARKING LINE EPOXY 4-INCH	8890	LF
25	646.302	MARKING LINE EPOXY 8-INCH	440	LF
26	646.502	MARKING ARROW EPOXY	8	EACH
27	646.532	MARKING RAILROAD CROSSING EPOXY	1	EACH
28	646.712	MARKING DIAGONAL EPOXY 12-INCH	675	LF
29	646.722	MARKING CHEVRON EPOXY 24-INCH	340	LF
30	690.015	BACKFILL COARSE AGGREGATE (SIZE)	4875	LF
31	209.0300 S	EARTHWORK	115	CY
32	SPV.0001	RELOCATE POWER POLE	2	EACH
33	SPV.0002	RELOCATE TELEPHONE PEDESTAL	16	EACH
34	SPV.0003	ADJUST HYDRANTS RIM	2	EACH
35	SPV.0004	REMOVING ASPHALTIC SURFACE, 5"	3	EACH
36	SPV.0006	RELOCATE MAILBOX	6095	SY
37	SPV.0007		1	EACH

PROJECT NO: RD 24-001

HWY: CTH-E AND CTH-EA

COUNTY: KENOSHA

SUMMARY OF QUANTITIES

SHEET 24

E

FILE NAME: P:\ALUMINUM\DRAWINGS\ORIGINAL DRAWINGS\HIGHWAY PLAN SET\02-TITLE & INDEX.DWG

PLOT DATE: 5/15/2013 3:57 PM

PLOT BY: MICHAEL B. ADAMITE

PLOT NAME:

PLOT SCALE: 1"=50'

WB007/CA005 SHEET 24

STANDARD DETAILS

DETAIL NO.	DESCRIPTION
SDD 08D21	DRIVEWAYS WITHOUT CURB AND GUTTER
SDD 8a8	TYPICAL INSTALLATIONS OF EROSION BALES/TEMPORARY DITCH CHECKS
SDD 8a9	SILT FENCE
SDD 08E15	CULVERT PIPE CHECK
SDD 8f1	APRON ENDWALLS FOR CULVERT PIPE
SDD 8f2	APRON ENDWALLS FOR PIPE ARCH AND ELLIPTICAL PIPE
SDD 9a1-a	AT-GRADE SIDE ROAD INTERSECTION, TYPES B1, B2, C AND D AND TEE INTERSECTION BYPASS LANE
SDD 13C19	HMA LONGITUDINAL JOINTS
SDD 15a3-a	FLEXIBLE MARKER POST FOR CULVERT END
SDD 15a3-b	FLEXIBLE MARKER POST FOR CULVERT END
SDD 15C04	TRAFFIC CONTROL, ADVANCE WARNING SIGNS 45 MPH OR GREATER UNDIVIDED ROAD OPEN TO TRAFFIC
SDD 15C05	TRAFFIC CONTROL, ADVANCE WARNING SIGNS 40 MPH OR LESS TWO WAY UNDIVIDED ROAD OPEN TO TRAFFIC
SDD 15C08-a	LONGITUDINAL MARKING (MAINLINE)
SDD 15C08-b	PAVEMENT MARKING (TURN LANES)
SDD 15C08-c	PAVEMENT MARKING (TURN LANES)
SDD 15C09-a	SIGNING AND PAVEMENT MARKING DETAILS FOR RAILROAD - HIGHWAY GRADE CROSSINGS
SDD 15C09-b	TRUCK STOPPING LANE PAVEMENT MARKINGS
SDD 15C11-a	CHANNELIZING DEVICES, FLEXIBLE TUBULAR MARKER POST
SDD 15C11-b	CHANNELIZING DEVICES, DRUMS, CONES, BARRICADES AND VERTICAL PANELS
SDD 15C12	TRAFFIC CONTROL FOR LANE CLOSURE WITH FLAGGING OPERATION
SDD 15C33	STOP LINE AND CROSSWALK PAVEMENT MARKING
SDD 15C35-a	PAVEMENT MARKING, INTERSECTION
SDD 15D28	TRAFFIC CONTROL, WORK ON SHOULDER OR PARKING LANE, UNDIVIDED ROADWAY
SDD 15D32	TRAFFIC CONTROL, ONE LANE ROAD STOP CONDITION

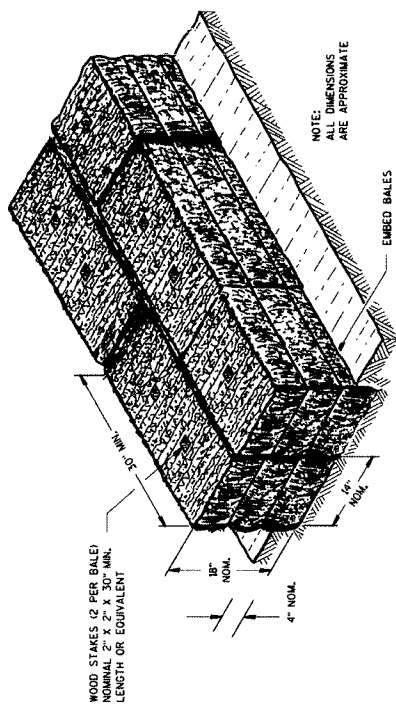


SDD 8e8 Typical Installations of Erosion Bales/Temporary Ditch Checks

GENERAL NOTES

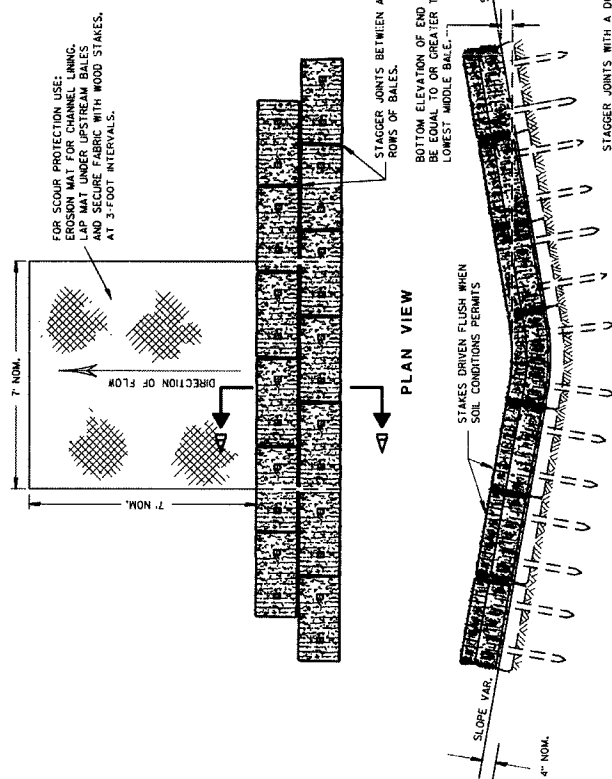
DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

- ① TEMPORARY DITCH CHECKS EITHER EROSION BALES OR MANUFACTURED SHALL BE PAID FOR UNDER THE BID ITEM OF TEMPORARY DITCH CHECK. THE DEPARTMENT WILL NOT PAY FOR TEMPORARY DITCH CHECKS CONSTRUCTED OF A SINGLE ROW OF EROSION BALES.

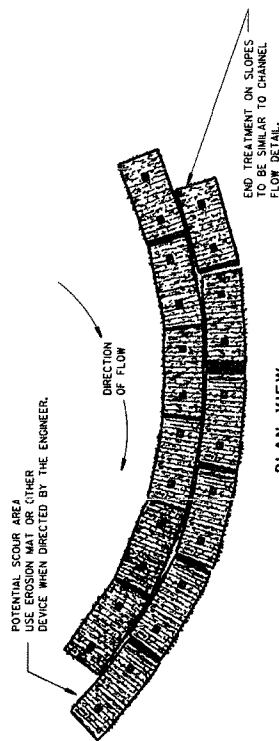


NOTE:
ALL DIMENSIONS
ARE APPROXIMATE

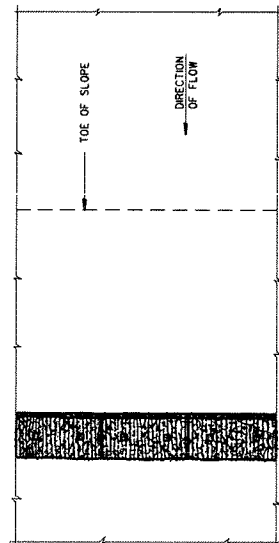
SECTION A-A



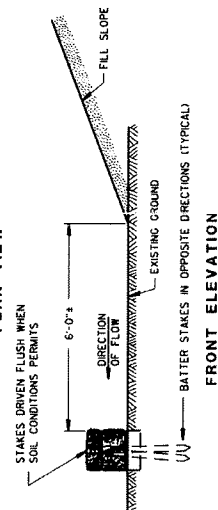
FRONT ELEVATION
TEMPORARY DITCH CHECK USING EROSION BALES ①



PLAN VIEW
WHEN ALTERING THE DIRECTION OF FLOW



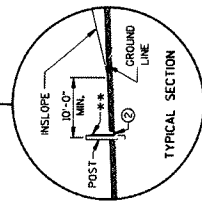
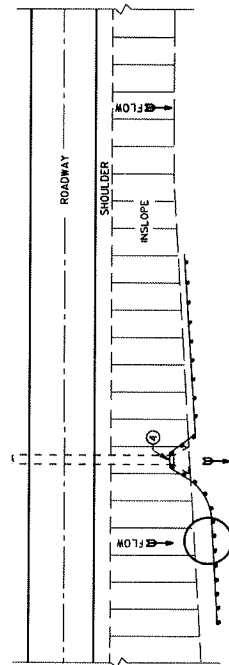
PLAN VIEW



FRONT ELEVATION
WHEN EXISTING GROUND SLOPES AWAY FROM FILL SLOPE
EROSION BALES FOR SHEET FLOW

TYPICAL INSTALLATIONS OF EROSION BALES / TEMPORARY DITCH CHECKS	
STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION	
APPROVED 6/24/02	DATE 6/24/02
/s/ Beth Connastro CHIEF HIGHWAY DEVELOPMENT ENGINEER	
PWA	

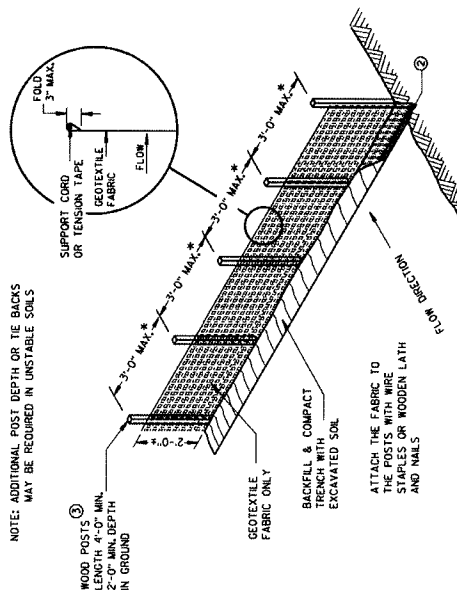
SHEET 26



PLAN VIEW

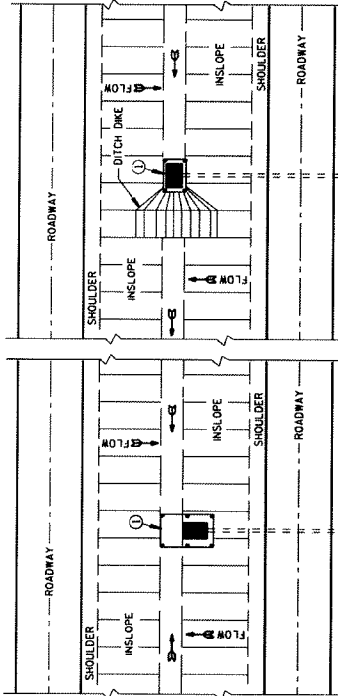
TYPICAL APPLICATION OF SILT FENCE

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS



* NOTE: 8'-0" POST SPACING ALLOWED IF A MOVEN GEOTEXTILE FABRIC IS USED.

SILT FENCE

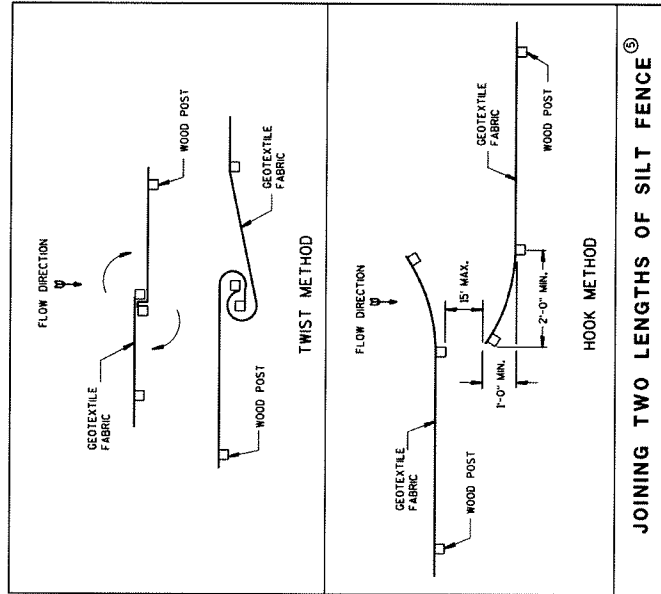


SITUATION 2

SITUATION 1

PLAN VIEW

SILT FENCE AT MEDIAN SURFACE DRAINS

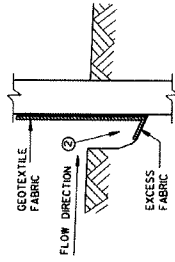


JOINING TWO LENGTHS OF SILT FENCE

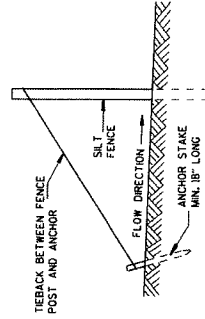
GENERAL NOTES

DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

- HORIZONTAL BRACE REQUIRED WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" x 1/2" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING METHODS: 1. END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES, THROUGH THE END OF EACH SILT FENCE LENGTH.



TRENCH DETAIL



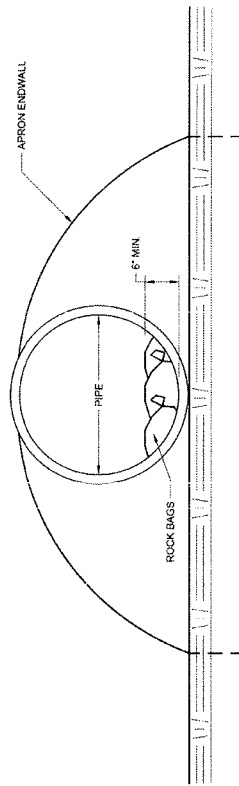
SILT FENCE TIE BACK (WHEN REQUIRED BY THE ENGINEER)

SILT FENCE

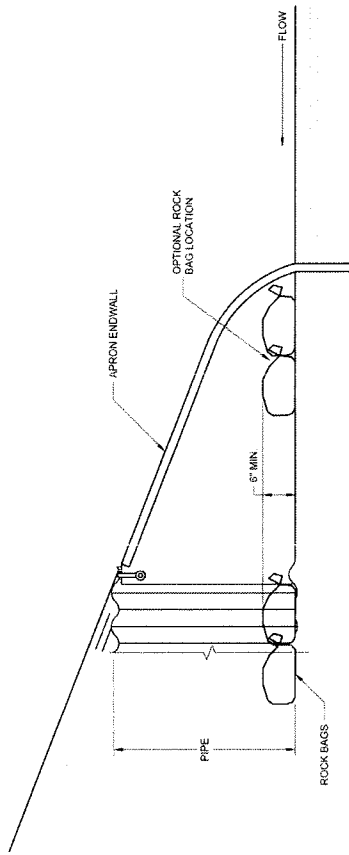
STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
4-25-05
DATE
15/ Beth Conner
CHIEF ROADWAY DEVELOPMENT ENGINEER
PWA

SHEET 21



END VIEW



SIDE VIEW

CULVERT PIPE CHECK
(INSTALL ON INLET END ONLY)

CULVERT PIPE CHECK

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

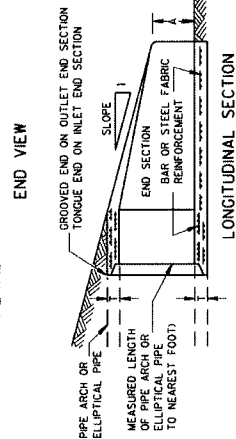
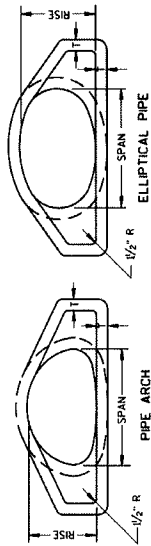
APPROVED
May 2019
DATE
RST Daniel Schaefer
EROSION CONTROL ENGINEER

SHEET 28

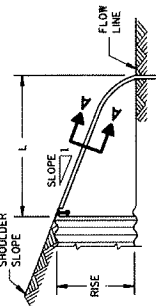
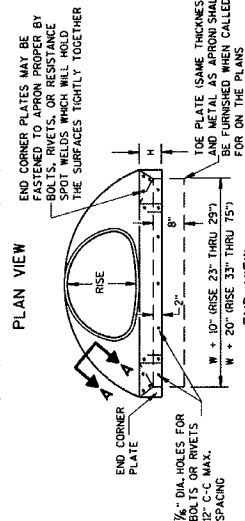
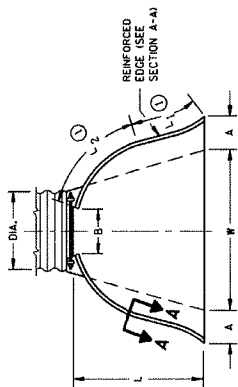
SDD 08E15 - 01



SDD 8f2 Apron Endwalls for Pipe Arch and Elliptical Pipe



CONCRETE ENDWALLS

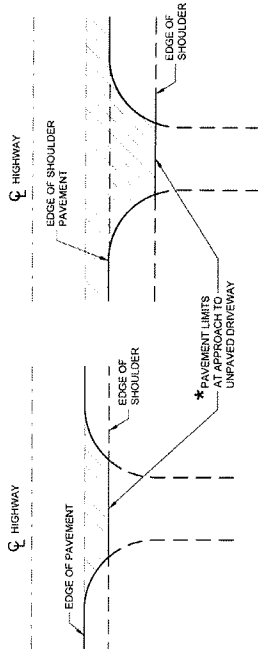


METAL ENDWALLS

2- 2 1/2" x 1 1/2" CORRUGATIONS									
EQUIV. DIA.	(INCHES)	SPAN (INCHES)	RISE (INCHES)	DIMENSIONS (INCHES)					
				A	B	H	L	L2	1
15	17	18	.064	.060	7	9	6	19	14
21	23	24	.064	.060	8	10	7	25	19
27	29	30	.064	.060	9	11	8	31	25
33	35	36	.064	.060	10	12	9	37	31
39	41	42	.064	.060	11	13	10	43	37
45	47	48	.064	.060	12	14	11	49	43
51	53	54	.064	.060	13	15	12	55	49
57	59	60	.064	.060	14	16	13	61	55
63	65	66	.064	.060	15	17	14	67	61
69	71	72	.064	.060	16	18	15	73	67
75	77	78	.064	.060	17	19	16	79	73
81	83	84	.064	.060	18	20	17	85	79
87	89	90	.064	.060	19	21	18	91	85
93	95	96	.064	.060	20	22	19	97	91
99	101	102	.064	.060	21	23	20	103	97
105	107	108	.064	.060	22	24	21	109	103
111	113	114	.064	.060	23	25	22	115	109
117	119	120	.064	.060	24	26	23	121	115
123	125	126	.064	.060	25	27	24	127	121
129	131	132	.064	.060	26	28	25	133	127
135	137	138	.064	.060	27	29	26	139	133
141	143	144	.064	.060	28	30	27	145	139
147	149	150	.064	.060	29	31	28	151	145
153	155	156	.064	.060	30	32	29	157	151
159	161	162	.064	.060	31	33	30	163	157
165	167	168	.064	.060	32	34	31	169	163
171	173	174	.064	.060	33	35	32	175	169
177	179	180	.064	.060	34	36	33	181	175
183	185	186	.064	.060	35	37	34	187	181
189	191	192	.064	.060	36	38	35	193	187
195	197	198	.064	.060	37	39	36	199	193
201	203	204	.064	.060	38	40	37	205	199
207	209	210	.064	.060	39	41	38	211	205
213	215	216	.064	.060	40	42	39	217	211
219	221	222	.064	.060	41	43	40	223	217
225	227	228	.064	.060	42	44	41	229	223
231	233	234	.064	.060	43	45	42	235	229
237	239	240	.064	.060	44	46	43	241	235
243	245	246	.064	.060	45	47	44	247	241
249	251	252	.064	.060	46	48	45	253	247
255	257	258	.064	.060	47	49	46	259	253
261	263	264	.064	.060	48	50	47	265	259
267	269	270	.064	.060	49	51	48	271	265
273	275	276	.064	.060	50	52	49	277	271
279	281	282	.064	.060	51	53	50	283	277
285	287	288	.064	.060	52	54	51	289	283
291	293	294	.064	.060	53	55	52	295	289
297	299	300	.064	.060	54	56	53	301	295
303	305	306	.064	.060	55	57	54	307	301
309	311	312	.064	.060	56	58	55	313	307
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321	323	324	.064	.060	58	60	57	325	319
327	329	330	.064	.060	59	61	58	331	325
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357	359	360	.064	.060	64	66	63	361	355
363	365	366	.064	.060	65	67	64	367	361
369	371	372	.064	.060	66	68	65	373	367
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381	383	384	.064	.060	68	70	67	385	379
387	389	390	.064	.060	69	71	68	391	385
393	395	396	.064	.060	70	72	69	397	391
399	401	402	.064	.060	71	73	70	403	397
405	407	408	.064	.060	72	74	71	409	403
411	413	414	.064	.060	73	75	72	415	409
417	419	420	.064	.060	74	76	73	421	415
423	425	426	.064	.060	75	77	74	427	421
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447	449	450	.064	.060	79	81	78	451	445
453	455	456	.064	.060	80	82	79	457	451
459	461	462	.064	.060	81	83	80	463	457
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477	479	480	.064	.060	84	86	83	481	475
483	485	486	.064	.060	85	87	84	487	481
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495	497	498	.064	.060	87	89	86	499	493
501	503	504	.064	.060	88	90	87	505	499
507	509	510	.064	.060	89	91	88	511	505
513	515	516	.064	.060	90	92	89	517	511
519	521	522	.064	.060	91	93	90	523	517
525	527	528	.064	.060	92	94	91	529	523
531	533	534	.064	.060	93	95	92	535	529
537	539	540	.064	.060	94	96	93	541	535
543	545	546	.064	.060	95	97	94	547	541
549	551	552	.064	.060	96	98	95	553	547
555	557	558	.064	.060	97	99	96	559	553
561	563	564	.064	.060	98	100	97	565	559
567	569	570	.064	.060	99	101	98	571	565
573	575	576	.064	.060	100	102	99	577	571
579	581	582	.064	.060	101	103	100	583	577
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591	593	594	.064	.060	103	105	102	595	589
597	599	600	.064	.060	104	106	103	601	595
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651	653	654	.064	.060	113	115	112	655	649
657	659	660	.064	.060	114	116	113	661	655
663	665	666	.064	.060	115	117	114	667	661
669	671	672	.064	.060	116	118	115	673	667
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705	707	708	.064	.060	122	124	121	709	703
711	713	714	.064	.060	123	125	122	717	709
717	719	720	.064	.060	124	126	123	723	715
723	725	726	.064	.060	125	127	124	729	721
729	731	732	.064	.060	126	128	125	735	727
735	737	738	.064	.060	127	129	126	741	733
741	743	744	.064	.060	128	130	127	747	739
747	749	750	.064	.060	129	131	128	753	745
753	755	756	.064	.060	130	132	129	759	751
759	761	762	.064	.060	131	133	130	765	757
765	767	768	.064	.060	132	134	131	771	763
771	773	774	.064	.060	133	135	132	777	769
777	779	780	.064	.060	134	136	133	783	775
783	785	786	.064	.060	135	137	134	789	781
789	791	792	.064	.060	136	138	135	795	787
795	797	798	.064	.060	137	139	136	801	793
801	803	804	.064	.060	138	140	137	807	799
807	809	810	.064	.060	139	141	138	813	805
813	815	816	.064	.060	140	142	139	819	811
819	821	822	.064	.060	141	143	140	825	817
825	827	828	.064	.060	142	144	141	831	823
831	833	834	.064	.060	143	145	142	837	829
837	839	840	.064	.060	144	146	143	843	835
843	845	846	.064	.060	145	147	144	849	841
849	851	852	.064	.060	146	148	145	855	847
855	857	858	.064	.					



SDD 08D21 Driveways without Curb and Gutter

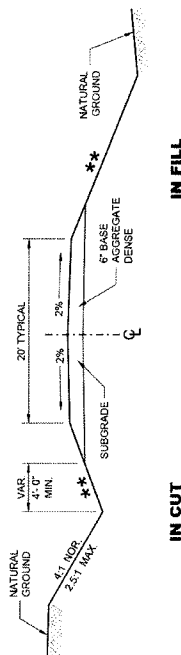


★ WHERE DRIVEWAY IS PAVED, APPROACH PAVEMENT SHOULD BE EXTENDED TO MATCH DRIVEWAY PAVEMENT

PLAN VIEW
(UNPAVED SHOULDER ON HIGHWAY)

PLAN VIEW
(PAVED SHOULDER ON HIGHWAY)

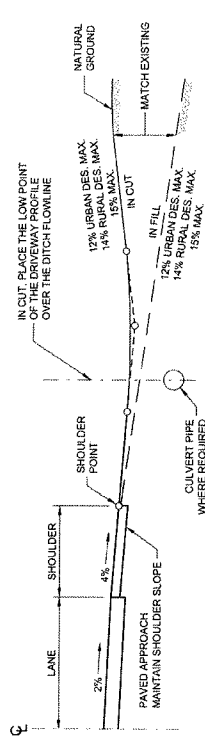
RURAL DRIVEWAY INTERSECTION DETAIL (NO CURB AND GUTTER OR SIDEWALK)



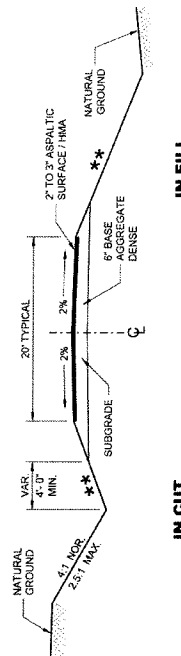
TYPICAL CROSS SECTION FOR PRIVATE DRIVE OR FIELD ENTRANCE AGGREGATE SURFACE

★★ SLOPE CAN VARY WITH SPEED, SEE 11-45.30.6.2

POSTED SPEED MPH	MAX. SLOPE
<35	4:1
≥ 35 TO < 60	6:1
≥ 60	10:1



TYPICAL DRIVEWAY PROFILES



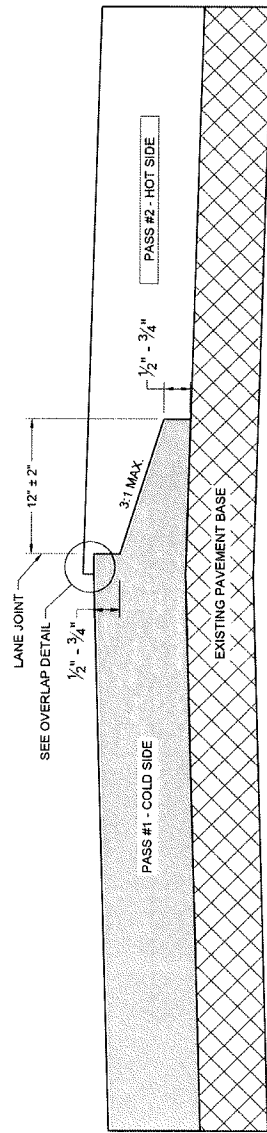
TYPICAL CROSS SECTION FOR PRIVATE DRIVE OR FIELD ENTRANCE ASPHALTIC SURFACE

DRIVEWAYS WITHOUT CURB AND GUTTER

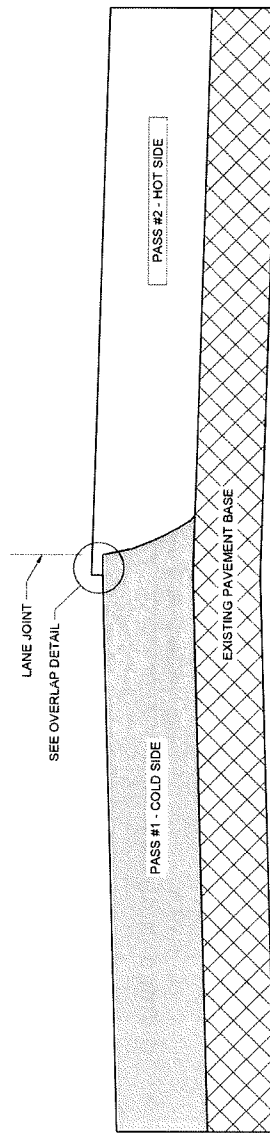
STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
December 2017
DATE
J.S. Rooney, Taylor
ROADWAY DESIGN DIVISION
UNIT SUPERVISOR

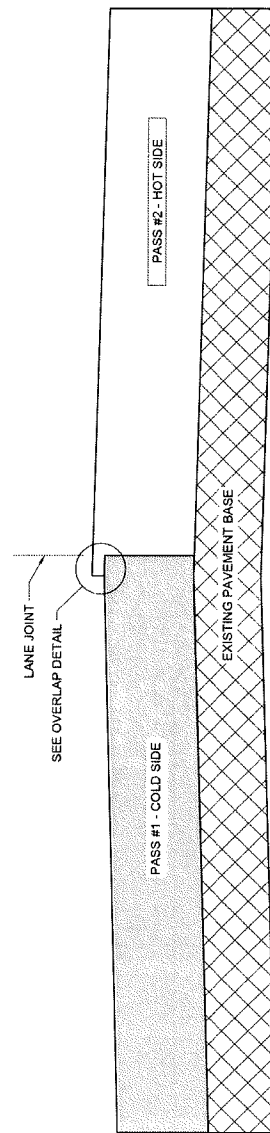
SHEET 31



TYPICAL PAVEMENT CROSS SECTION
NOTCHED WEDGE JOINT



TYPICAL PAVEMENT CROSS SECTION
VERTICAL JOINT



TYPICAL PAVEMENT CROSS SECTION
VERTICAL JOINT (MILLED)

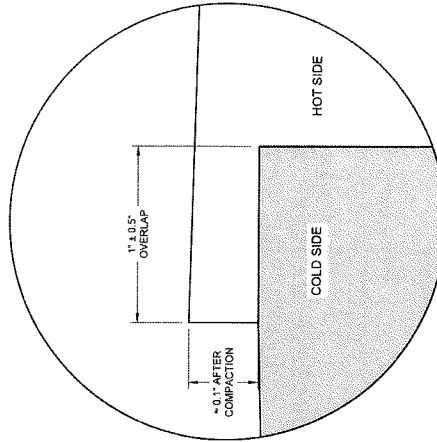
GENERAL NOTES

IN ADDITION TO THE DETAILS PROVIDED IN THIS DRAWING, CONFORM TO STANDARD SPECIFICATION 450.3.2.8 FOR WHEN A NOTCHED WEDGE JOINT IS REQUIRED AND FOR GENERAL JOINT CONSTRUCTION REQUIREMENTS.

FOR ALL LONGITUDINAL JOINTS, ENSURE THE PAVING MACHINE OVERLAPS THE PREVIOUSLY PLACED PAVEMENT BY $1' \pm 0.5'$ AND THE HOT SIDE OF THE JOINT REMAINS HIGHER THAN THE COLD SIDE BY APPROXIMATELY $0.1'$ AFTER FINAL COMPACTION (IT WILL BE FLUSH WHEN PAVING IN REVERSE).

ONLY REMOVE THE LONGITUDINAL NOTCHED WEDGE JOINT FOR SMA PAVEMENT OR AS DIRECTED BY THE ENGINEER TO ADDRESS SPECIFIC LENGTHS OF JOINT DAMAGED BY TRAFFIC WHEN MILLING BACK OR REMOVING ANY LONGITUDINAL JOINT. LIMIT THE MATERIAL REMOVED TO 2" FROM THE TOP NOTCH OR FROM THE VERTICAL JOINT EDGE ON THE COLD SIDE OF THE JOINT.

USE LONGITUDINAL MILLED JOINT AS PLANS SHOW OR THE AS THE ENGINEER DIRECTS.



OVERLAP DETAIL (TYPICAL)

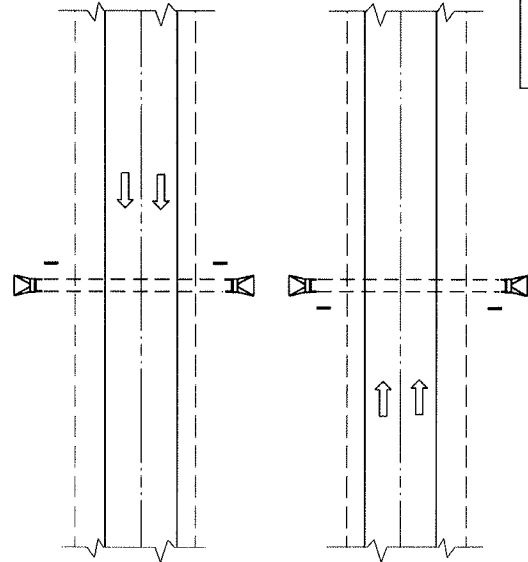
HMA LONGITUDINAL JOINTS

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

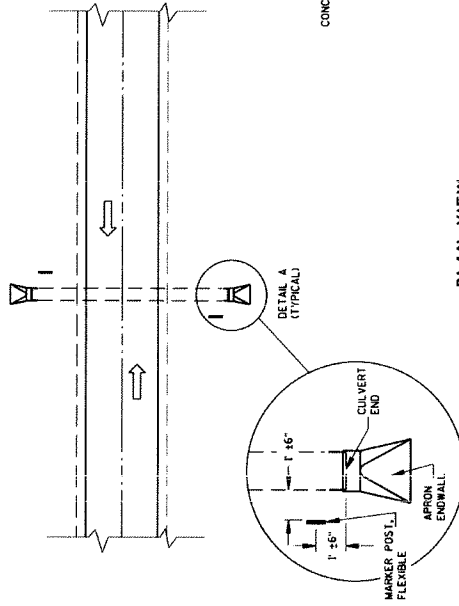
APPROVED
November 2020
DATE
J.S. Shresh Heli
HMA PAVEMENT ENGINEER

SHEET 33

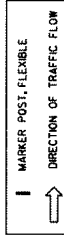
SDD 15a3-a Flexible Marker Post for Culvert End



PLAN VIEW
DIVIDED HIGHWAY

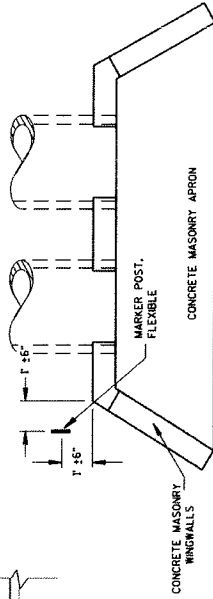


PLAN VIEW
UNDIVIDED HIGHWAY



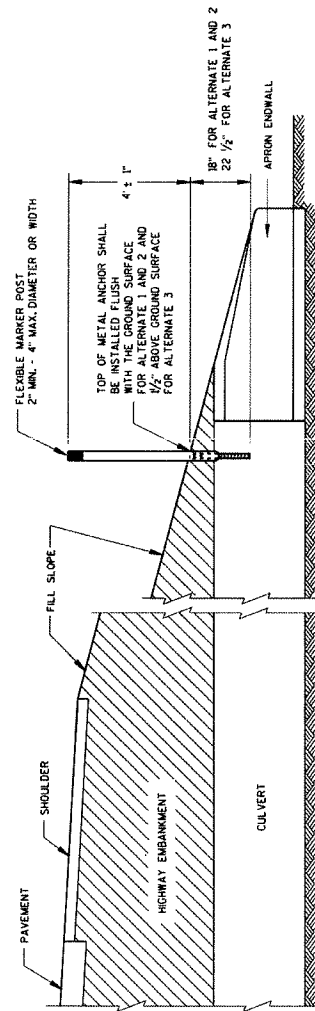
GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.



PLAN VIEW
CONCRETE MASONRY ENDWALLS FOR
CULVERT PIPE AND PIPE ARCH

FLEXIBLE MARKER POST LOCATION



CROSS SECTION
FLEXIBLE MARKER POST

SHEET 34

FLEXIBLE MARKER POST
FOR CULVERT END

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

S.D.D. 15 A 3-2a

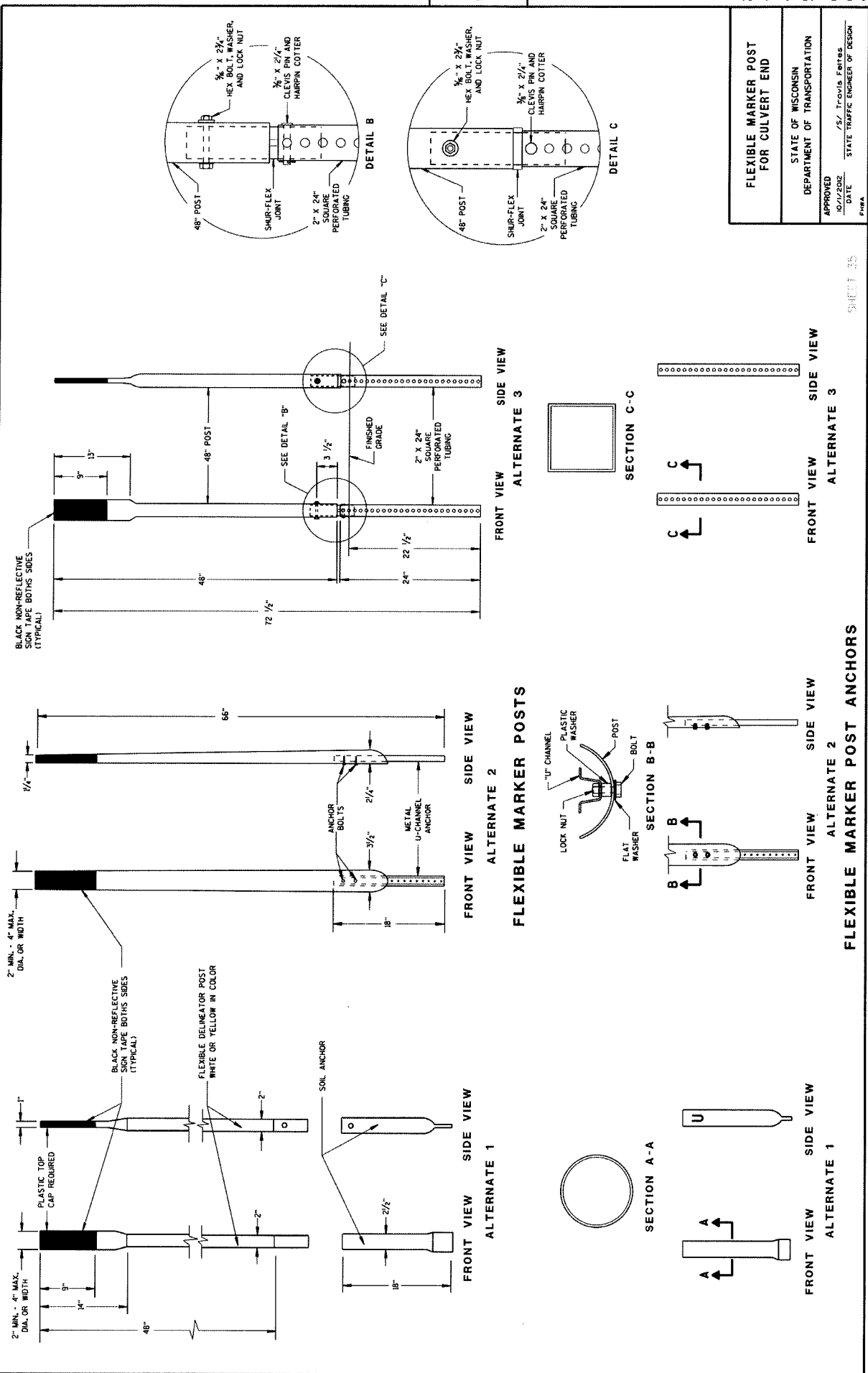
6

6

S.D.D. 15 A 3-2a



SDD 15a3-b Flexible Marker Post for Culvert End





SDD 15C04 Traffic Control, Advance Warning Signs 45 MPH or Greater Undivided Road Open to Traffic

GENERAL NOTES

THE EXACT NUMBER, LOCATION, AND SPACING OF ALL SIGNS AND DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS. THE SPACING BETWEEN TRAFFIC CONTROL SIGNS SHOULD BE ADJUSTED TO NOT CONFLICT WITH AND SHOULD PROVIDE A MINIMUM OF 200 FEET (500 FEET DESIRABLE) CLEARANCE TO EXISTING SIGNS THAT WILL REMAIN IN PLACE. ALL SIGNS ARE 48" X 48" UNLESS OTHERWISE NOTED.

SIGNS THAT WILL BE IN PLACE LESS THAN SEVEN CONTINUOUS DAYS AND NIGHTS MAY BE MOUNTED ON PORTABLE SUPPORTS. IF A "STOP" SIGN MUST BE REMOVED FOR A WORK OPERATION, A TEMPORARY "STOP" SIGN SHALL BE PLACED PRIOR TO THE SIGN REMOVAL, OR A FLAGGER SHALL BE PROVIDED UNTIL THE SIGN IS REESTABLISHED.

* OMIT G20-1 SIGNS IF LENGTH OF WORK AREA IS 2 MILES OR LESS

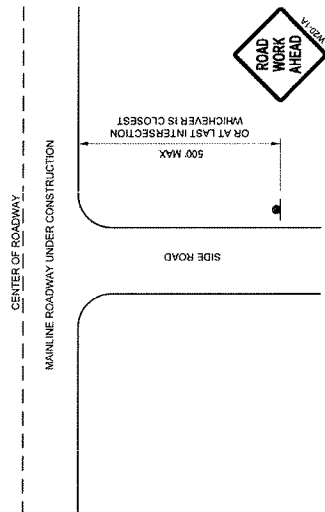
** PLACE AN ADDITIONAL W20-1A "ROAD WORK AHEAD" SIGN IF WORK AREA WITHIN THE PROJECT IS SEPARATED BY MORE THAN 2 MILES FROM PREVIOUS WORK AREA.

LEGEND

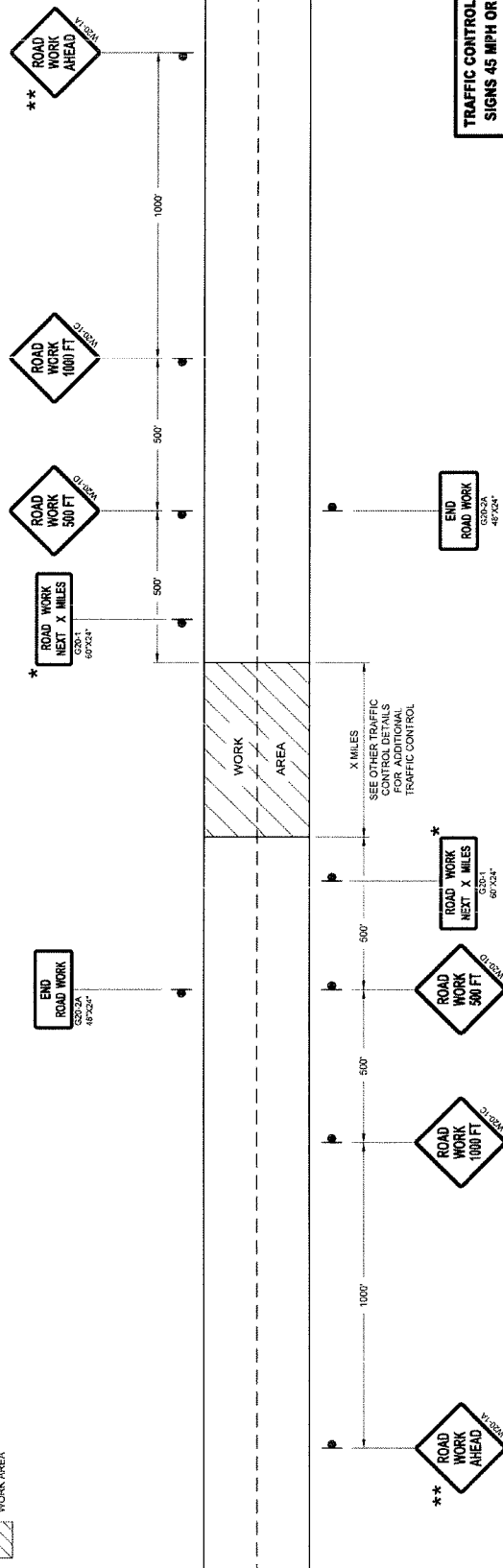
● SIGN ON PERMANENT SUPPORT

→ DIRECTION OF TRAFFIC

▨ WORK AREA



TYPICAL SIDE ROAD APPROACH WARNING SIGN DETAIL



TRAFFIC CONTROL, ADVANCE WARNING SIGNS 45MPH OR GREATER

TRAFFIC CONTROL, ADVANCE WARNING
SIGNS 45 MPH OR GREATER TWO-WAY
UNDIVIDED ROAD OPEN TO TRAFFIC

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
JULY 2018
DATE
JST. A. HEDRICK
WORK ZONE ENGINEER

SHEET 56

SDD 15C04 - 05

SDD 15C04 - 05



SDD 15C05 Traffic Control, Advance Warning Signs 40 MPH or Less Two Way Undivided Road Open to Traffic

GENERAL NOTES

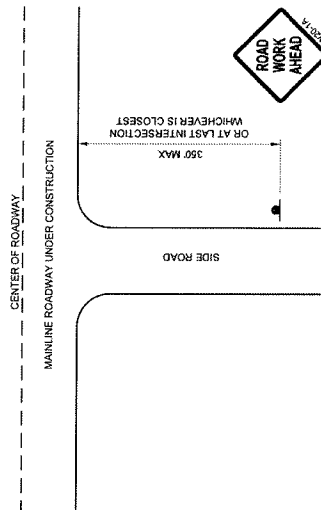
- THE EXACT NUMBER, LOCATION, AND SPACING OF ALL SIGNS AND DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS
- THE SPACING BETWEEN TRAFFIC CONTROL SIGNS SHOULD BE ADJUSTED TO NOT CONFLICT WITH AND SHOULD PROVIDE A MINIMUM OF 200 FEET (500 FEET DESIRABLE) CLEARANCE TO EXISTING SIGNS THAT WILL REMAIN IN PLACE
- ALL SIGNS ARE 48" X 48" UNLESS OTHERWISE NOTED. IF NECESSARY DUE TO SPACE CONSTRAINTS, 36" X 36" SIGNS MAY BE USED INSTEAD OF 48" X 48" SIGNS.
- SIGNS THAT WILL BE IN PLACE LESS THAN SEVEN CONTINUOUS DAYS AND NIGHTS MAY BE MOUNTED ON PORTABLE SUPPORTS
- IF A "STOP" SIGN MUST BE REMOVED FOR A WORK OPERATION, A TEMPORARY "STOP" SIGN SHALL BE PLACED PRIOR TO THE SIGN REMOVAL, OR A FLAGGER SHALL BE PROVIDED UNTIL THE SIGN IS REESTABLISHED.
- * THE THIRD W2-1 SIGN IS REQUIRED ONLY IF THERE IS AN INTERSECTION BETWEEN THE "ROAD WORK 500 FEET" SIGN AND THE WORK ZONE. ADJUST THE PLACEMENT OF THIS SIGN BASED ON INTERSECTION LOCATION AND OTHER FIELD CONDITIONS

LEGEND

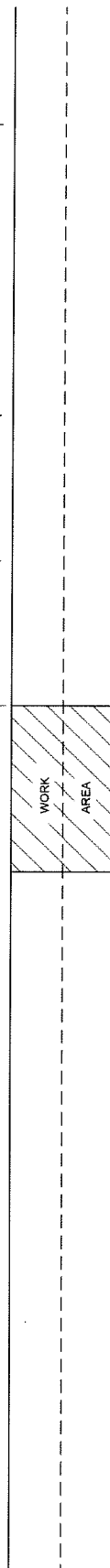
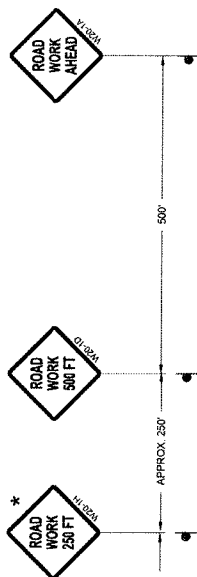
■ SIGN ON PERMANENT SUPPORT

→ DIRECTION OF TRAFFIC

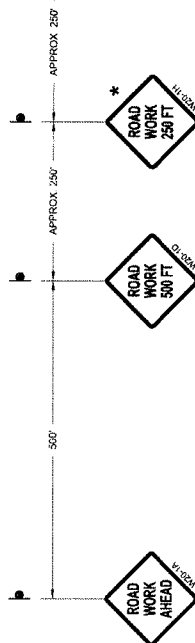
▨ WORK AREA



TYPICAL SIDE ROAD APPROACH WARNING SIGN DETAIL



SEE OTHER TRAFFIC CONTROL DETAILS FOR ADDITIONAL TRAFFIC CONTROL



SDD 15C05 - 05

TRAFFIC CONTROL, ADVANCE WARNING
SIGNS 40 MPH OR LESS TWO-WAY
UNDIVIDED ROAD OPEN TO TRAFFIC

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
DATE: JUL 2018
BY: Andrew Hestler
WORK ZONE ENGINEER

SHEET 1 OF 1

TRAFFIC CONTROL, ADVANCE WARNING SIGNS 40MPH OR LESS

SDD 15C05 - 05



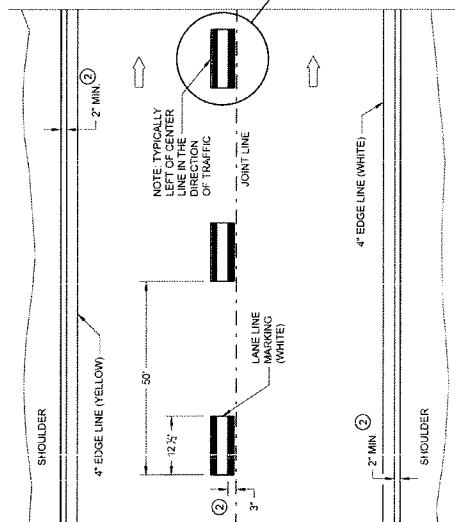
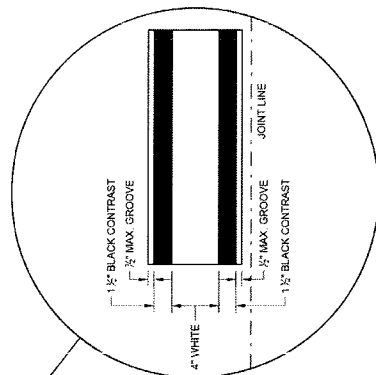
SDD 15C08-a Longitudinal Marking (Mainline)



- GENERAL NOTES**
- DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS
- 1 LOCATE THE NO PASSING ZONE W14-3 SIGN WITH 50 FEET OF THE "T" MARKING
 - 2 MEASURE FROM EDGE OF MARKING TO JOINT LINE. THIS DOES NOT INCLUDE SPACE NEEDED FOR GROOVING OPERATIONS

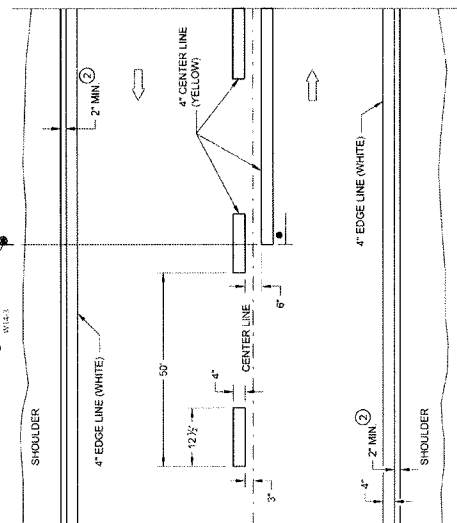
LEGEND

- T MARKING
- SIGN ON PERMANENT SUPPORT
- DIRECTION OF TRAFFIC

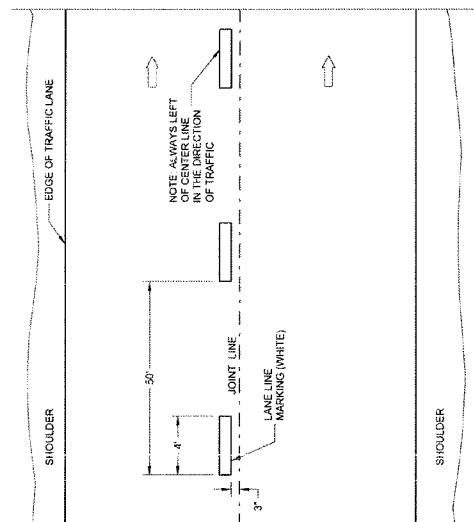


ONE WAY TRAFFIC

PERMANENT PAVEMENT MARKING

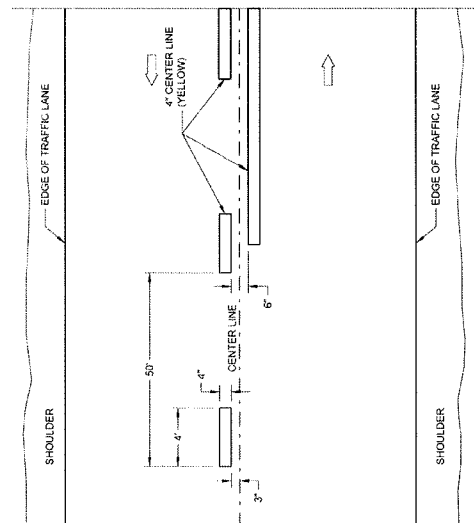


TWO WAY TRAFFIC



ONE WAY TRAFFIC

TEMPORARY PAVEMENT MARKING



TWO WAY TRAFFIC

LONGITUDINAL MARKING (MAINLINE)

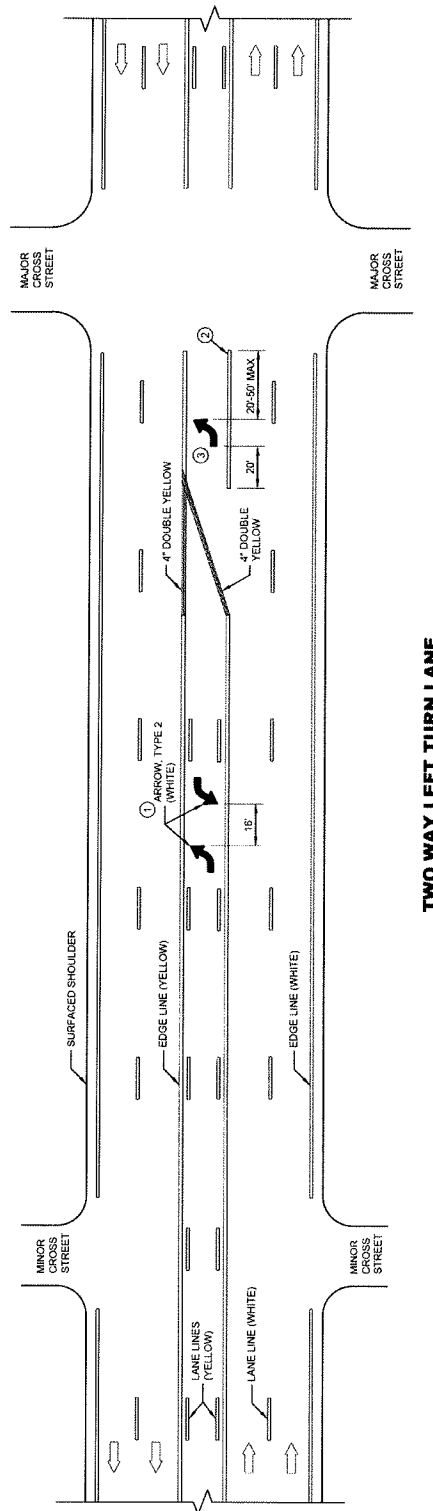
STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
February 2020
DATE
STATEWIDE STANDARD MARKING
ENGINEER

SHEET 38

- ① A SET OF ARROWS IS REQUIRED EVERY 400 FEET OR NEAR INTERSECTIONS OR DRIVEWAYS WITH TURNING TRAFFIC.
- ② 8" WHITE
- ③ TURN BAY LENGTH OF LESS THAN 48' DOES NOT REQUIRE PAVEMENT ARROWS OR TEXT.

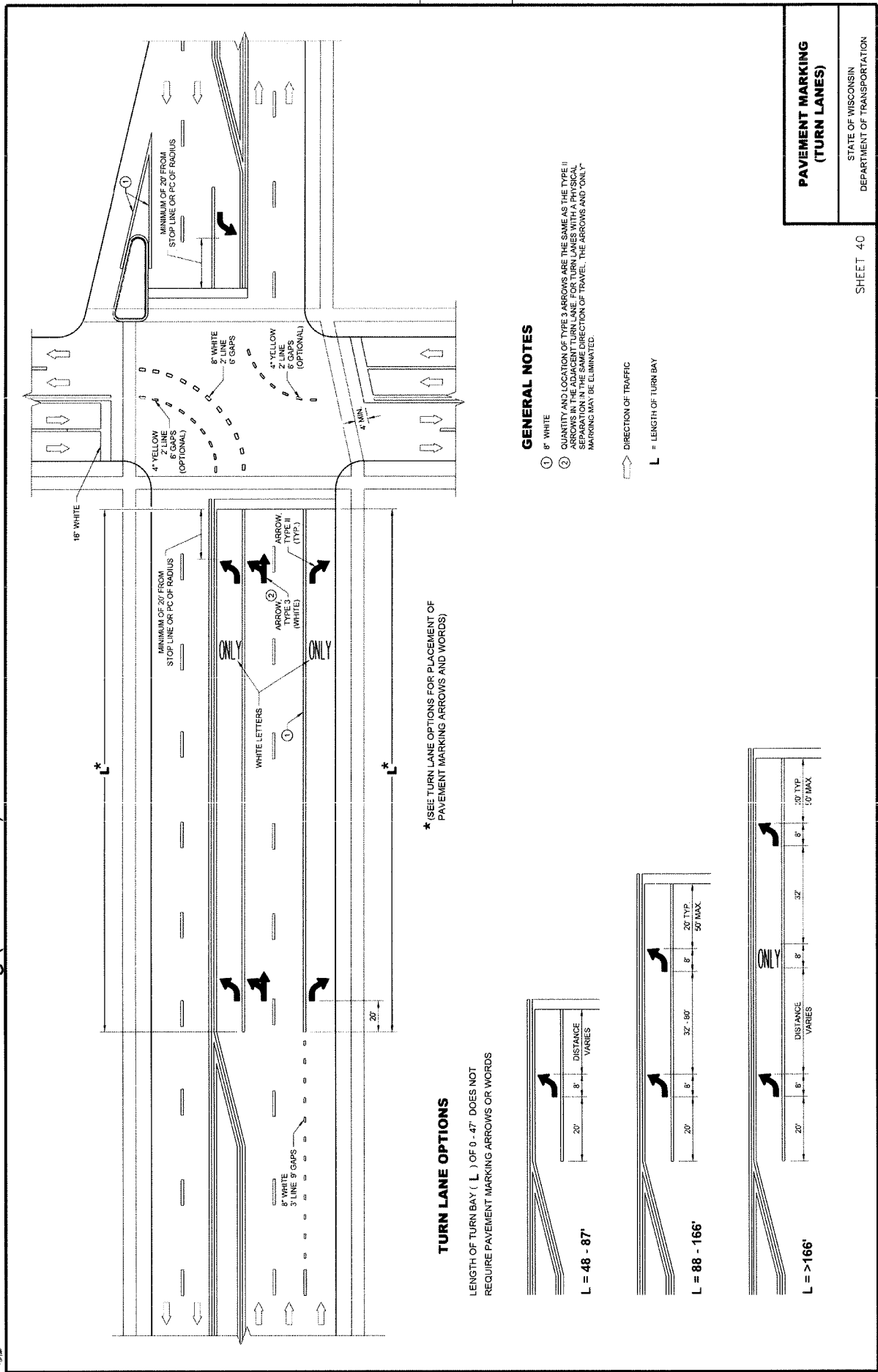
↑ DIRECTION OF TRAFFIC



TWO WAY LEFT TURN LANE

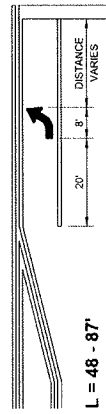


SDD 15C08-c Pavement Marking (Turn Lanes)

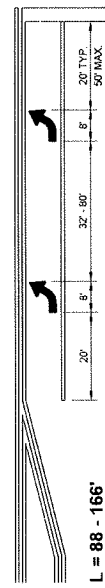


TURN LANE OPTIONS

LENGTH OF TURN BAY (L) OF 0 - 47' DOES NOT REQUIRE PAVEMENT MARKING ARROWS OR WORDS



L = 48 - 87'



L = 88 - 166'



L > 166'

GENERAL NOTES

- 1 8" WHITE
- 2 QUANTITY AND LOCATION OF TYPE 3 ARROWS ARE THE SAME AS THE TYPE II ARROWS IN THE ADJACENT TURN LANE. FOR TURN LANES WITH A PHYSICAL SEPARATION IN THE SAME DIRECTION OF TRAVEL, THE ARROWS AND "ONLY" MARKING MAY BE ELIMINATED

DIRECTION OF TRAFFIC

L = LENGTH OF TURN BAY

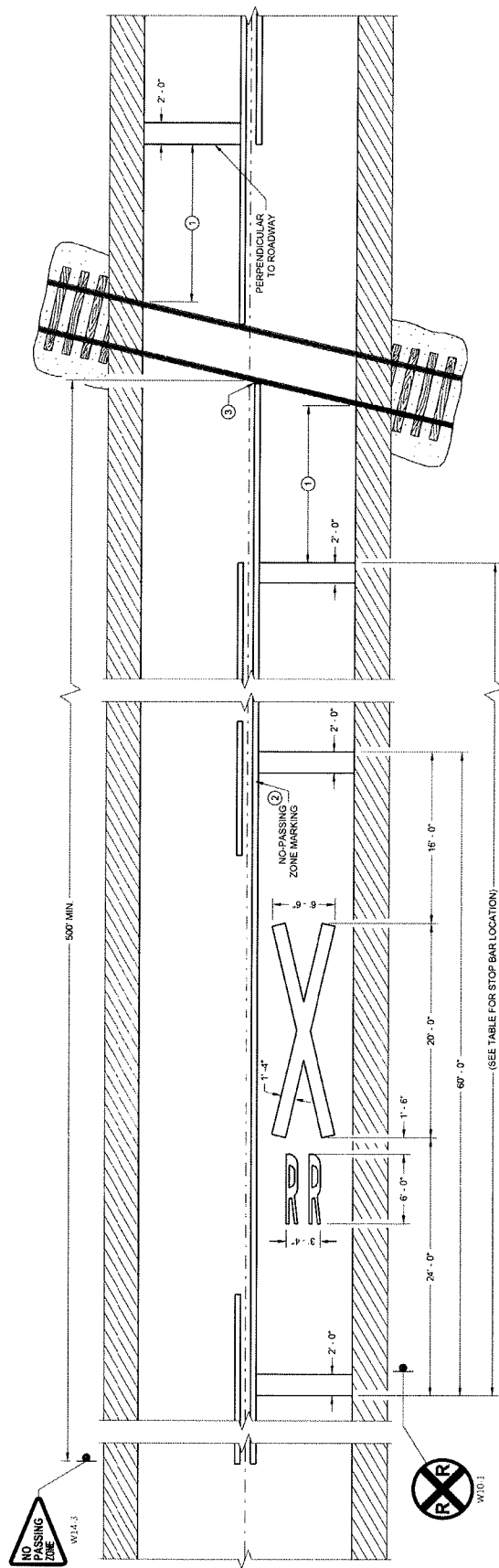
PAVEMENT MARKING
(TURN LANES)

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

SHEET 40



SDD 15C09-a Signing and Pavement Marking Details for Railroad - Highway Grade Crossings



PAVEMENT MARKING

LEGEND

1 SIGN ON PERMANENT SUPPORT

GENERAL NOTES

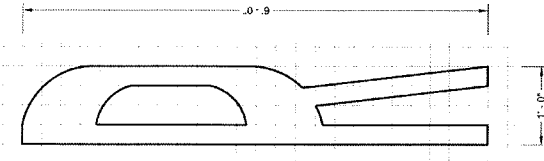
- DETAILS OF CONSTRUCTION, MATERIALS, AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
- ON MULTILANE ROADS THE TRANSVERSE BANDS SHOULD EXTEND ACROSS ALL APPROACH LANES, AND INDIVIDUAL R X R SYMBOLS SHOULD BE USED IN EACH APPROACH LANE.
- CENTER OR LANE LINES AND NO-PASSING ZONE MARKINGS SHOWN ON THIS DRAWING ARE REQUIRED AND PAID FOR UNDER OTHER ITEMS IN THE CONTRACT.
- TRACE EXISTING SYMBOL WHERE EXISTING SYMBOLS ARE PLACED.
- MINIMUM 8' FROM ANY RAILROAD WARNING DEVICES (SIGNS, GATES, ETC.) OR 25' FROM THE NEAREST RAIL, WHICHEVER DISTANCE IS GREATER.
- 500' MINIMUM MARKING LIMITS MAY BE EXTENDED AS DIRECTED BY THE ENGINEER TO MEET ADJACENT NO-PASSING ZONE MARKINGS.
- FOR MULTIPLE TRACK CROSSINGS, THE BARRIER LINE SHALL EXTEND TO THE NEAR RAIL OF THE FURTHEST TRACK IN THE DIRECTION OF HIGHWAY TRAVEL.

DISTANCE TABLE

TABLE BASED UPON 20-4 WISCONSIN SUPPLEMENT OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

POSTED SPEED (M.P.H.)	DIMENSION RANGE (FEET)
25	150' - 250'
30	200' - 300'
35	250' - 450'
40	300' - 500'
45	400' - 650'
50	550' - 800'
55	750' - 1000'
60	1000' - 1250'
65	1000' - 1250'

* THE MINIMUM DISTANCES IN THE TABLE ARE DESIRABLE AND SHOULD BE USED. THE DISTANCES MAY BE INCREASED UP TO THE MAXIMUM TO ALLOW FOR FIELD CONDITIONS. SIDE ROADS OR OTHER FEATURES THAT WOULD PROHIBIT THE MINIMUM DISTANCES FROM BEING USED.



SIGNING AND PAVEMENT MARKING DETAILS FOR RAILROAD - HIGHWAY GRADE CROSSINGS

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
DATE
BY
STATE ENGINEER



SDD 15C09-b Truck Stopping Lane Pavement Markings

LEGEND

■ SIGN ON PERMANENT SUPPORT

→ DIRECTION OF TRAFFIC

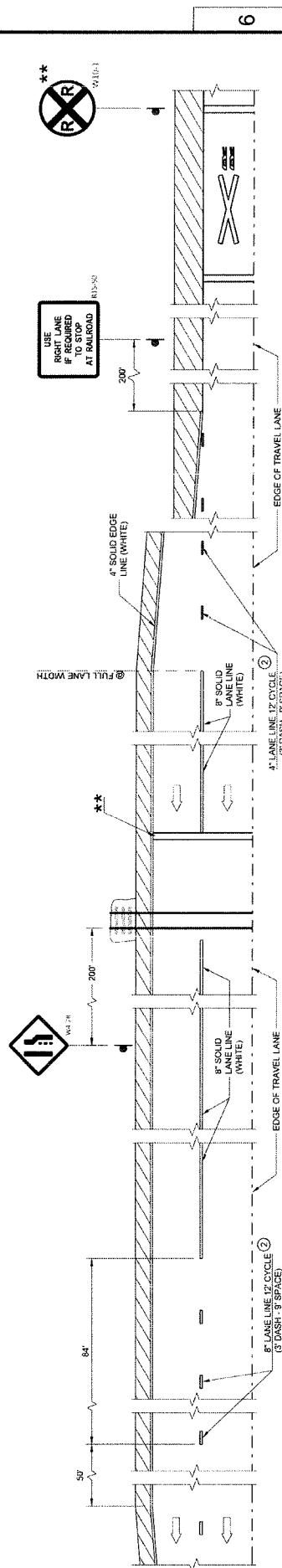
GENERAL NOTES

SIGNING AND MARKING IS SHOWN AS TYPICAL PLACEMENT. FIELD CONDITIONS MAY DICTATE CHANGES IN SIGNING AND MARKING PLACEMENT.

① INSTALLED FOR EXPRESSWAYS

② 3' LINE, 9' GAP EXCEPT RETRACE THE EXISTING LINE - GAP PATTERN WHERE EXISTING MARKINGS ARE IN PLACE.

★★ SEE SDD 15C09-a "SIGNING AND PAVEMENT MARKING DETAILS FOR RAILROAD - HIGHWAY GRADE CROSSING" FOR LOCATION OF ADVANCE MARKINGS



DETAIL FOR TRUCK STOPPING LANE PAVEMENT MARKINGS

TRUCK STOPPING LANE PAVEMENT MARKINGS

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
February 2021
DATE
BY: Matthew R. Rupp
STATE ENGINEER
ENGINEER



SDD 15C11-a Channelizing Devices, Flexible Tubular Marker Post

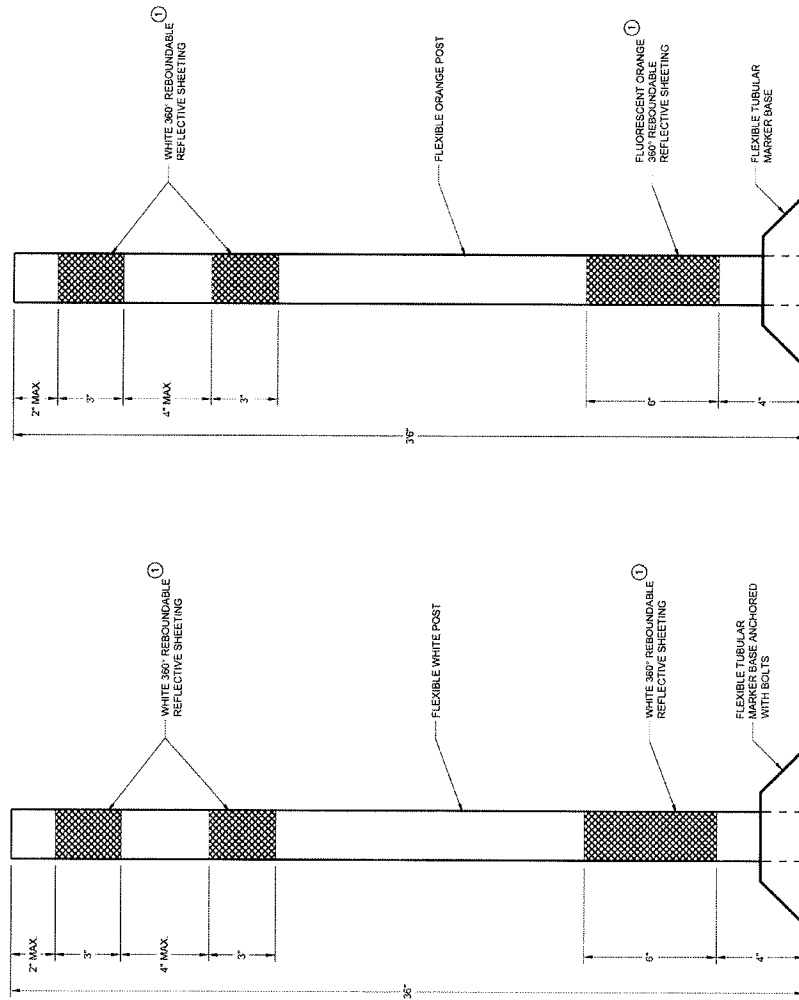
GENERAL NOTES

DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS

SURFACE MOUNTED BASES SHALL BE FURNISHED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS TO BE COMPATIBLE WITH FLEXIBLE TUBULAR MARKER POSTS TO A SIZE AND SHAPE THAT WILL PROVIDE A STABLE POST FOUNDATION WHEN SECURED TO THE PAVEMENT

THE ASPHALTIC ADHESIVE OR BUTYL PAD FURNISHED SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS, UNLESS DIRECTED BY THE ENGINEER TO USE BOLTS

① REFLECTIVE SHEETING SHALL FOLLOW THE REQUIREMENTS IN THE APPROVED PRODUCTS LISTING FOR SIGN SHEETING



FLEXIBLE TUBULAR
MARKER POST
PERMANENT CROSSOVER

FLEXIBLE TUBULAR
MARKER POST
WORK ZONE

CHANNELIZING DEVICES FLEXIBLE TUBULAR MARKER POST

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
November 2020
DATE

JS Andrew Heitke
WORK ZONE ENGINEER

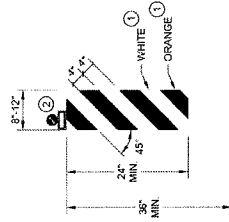
Sheet 1 of 1



SDD 15C11-b Channelizing Devices, Drums, Cones, Barricades and Vertical Panels

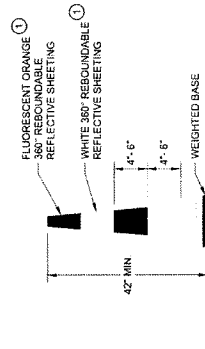
GENERAL NOTES

- REFLECTIVE SHEETING SHALL FOLLOW THE REQUIREMENTS IN THE APPROVED PRODUCTS LISTING FOR SIGN SHEETING
- LOCATION OF WARNING LIGHTS WHEN SHOWN ON THE PLAN



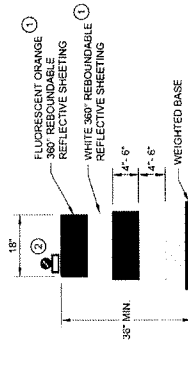
VERTICAL PANEL

THE STRIPES SHALL SLOPE DOWNWARD TO THE TRAFFIC SIDE FOR CHANNELIZATION.

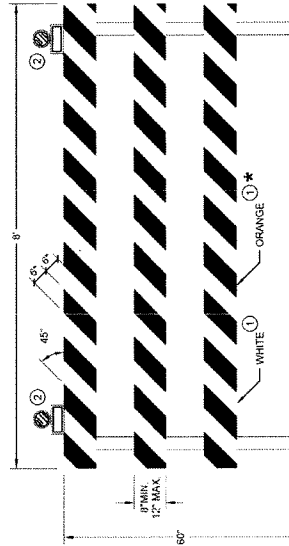


42" CONE

DO NOT USE IN TAPERS
1/2 SPACING OF DRUMS



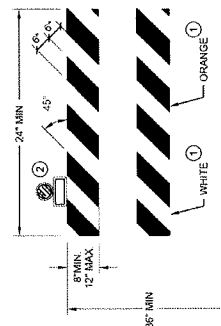
DRUM



TYPE III BARRICADE

IF SIGN MOUNTED, DO NOT COVER MORE THAN 50% OF THE TOP TWO RAILS OR 50% OF THE TOTAL AREA OF THE THREE RAILS.

* IF USED FOR A PERMANENT APPLICATION USE RED SHEETING.



TYPE II BARRICADE

FOR RAILS LESS THAN 36" LONG, 4" WIDE STRIPES MAY BE USED. ALL STRIPES SHALL SLOPE DOWNWARD TO THE TRAFFIC SIDE FOR CHANNELIZATION.

SDD 15C11 - 08b

CHANNELIZING DEVICES DRUMS, CONES, BARRICADES AND VERTICAL PANELS

STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION
APPROVED November 2020 DATE
JS. Andrew Heitler WORK ZONE ENGINEER

SHEET 42

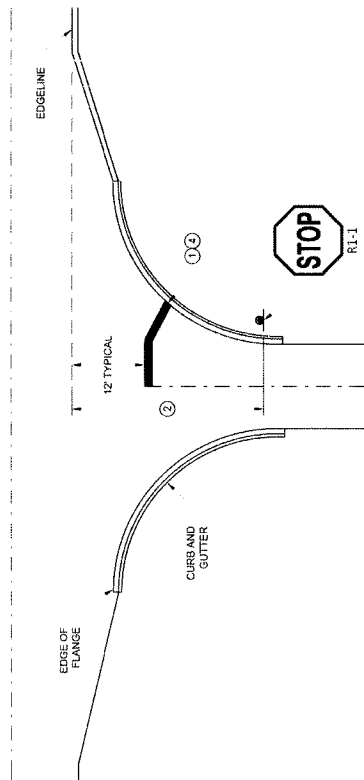


SDD 15C33 Stop Line and Crosswalk Pavement Marking

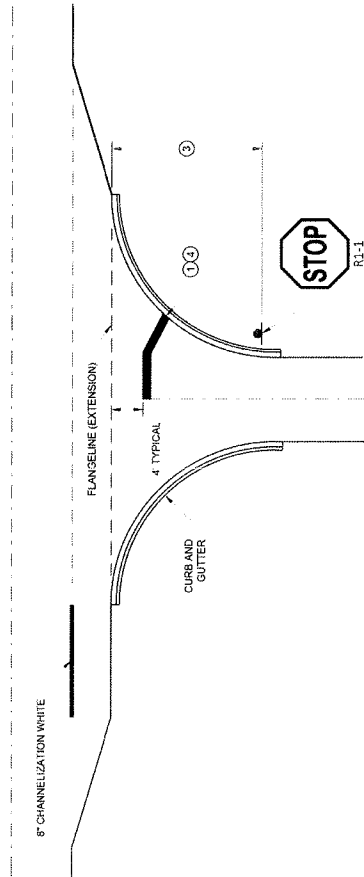
GENERAL NOTES

STOP SIGN SHALL BE PLACED A MINIMUM OF 6 FEET TO A MAXIMUM OF 50 FEET FROM THE EDGE LINE LOCATION

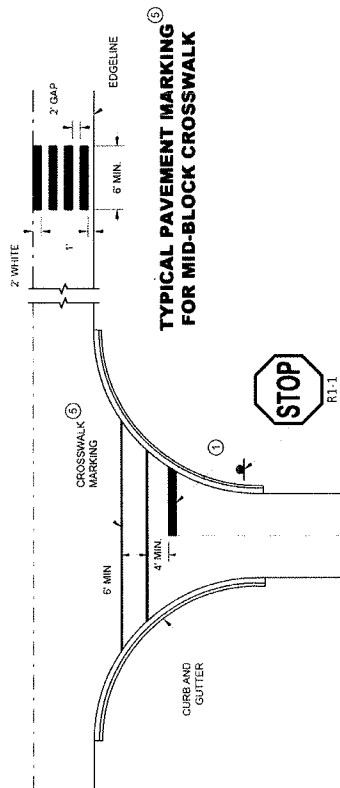
- 1 18-INCH STOP LINES MAY BE DELETED OR ADDED BY THE REGION MARKING ENGINEER BASED ON VISIBILITY AND SIGHT LINES
- 2 NO STOP LINE IS REQUIRED IF STOP SIGN IS LESS THAN OR EQUAL TO 40 FEET FROM THE EDGE LINE
- 3 NO STOP LINE IS REQUIRED IF STOP SIGN IS LESS THAN OR EQUAL TO 30 FEET FROM THE FLANGE LINE EXTENSION
- 4 MOVE CLOSER TO THE EDGE OF TRAVEL LINE AS NEEDED FOR VISIBILITY AND SIGHT LINES (NO CLOSER THAN 4 FEET)
- 5 LADDER BAR CROSSWALKS SHOULD ONLY BE USED FOR MID BLOCK CROSSINGS. USE 2 - 8" TRANSVERSE LINES INSTEAD



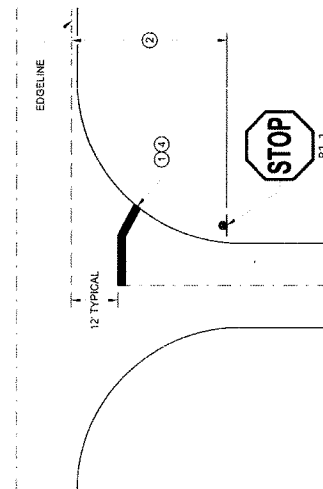
TYPICAL STOP LINE PAVEMENT MARKING
WITH CURB AND GUTTER



TYPICAL STOP LINE PAVEMENT MARKING
FOR SIDE ROADS WITH RIGHT TURN LANE



TYPICAL PAVEMENT MARKING
FOR MID-BLOCK CROSSWALK



TYPICAL STOP LINE PAVEMENT MARKING
WITHOUT CURB AND GUTTER

TYPICAL STOP LINE PAVEMENT MARKING FOR
SIDE ROADS WITH CROSSWALK MARKING

STOP LINE AND CROSSWALK PAVEMENT MARKING	
STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION	
APPROVED November 2018	DATE
AS: Matthew Ruda STATE ENGINEER	ENGINEER

SHEET 46



SDD 15C35-a Pavement Marking, Intersections

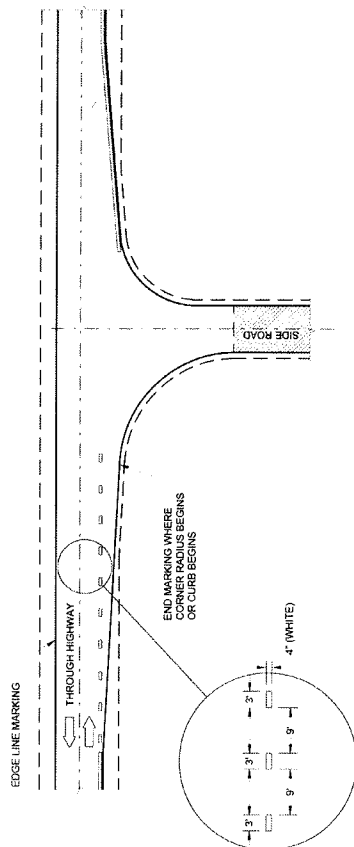
GENERAL NOTES

OMIT EDGE LINES THROUGH INTERSECTIONS. CONTINUE EDGE LINES THROUGH DRIVEWAYS

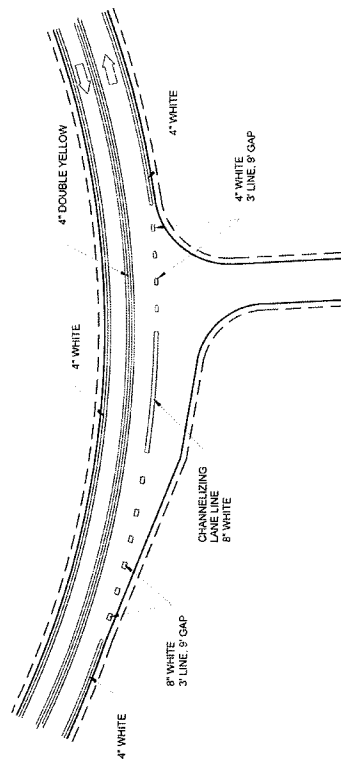
- ① WHEN DISTANCE "A" IS LESS THAN 250 FEET, OMIT LANE LINE.
- ② WHEN DISTANCE "B" IS LESS THAN 100 FEET, OMIT CHANNELIZING LANE LINE.
- ③ BARRIER LINE ENDS AT SIDE ROAD PAVEMENT / SURFACE EDGE EXTENSION.
- ④ BARRIER LINE STARTS 500 FEET PRIOR TO THE BYPASS TAPER.

LEGEND

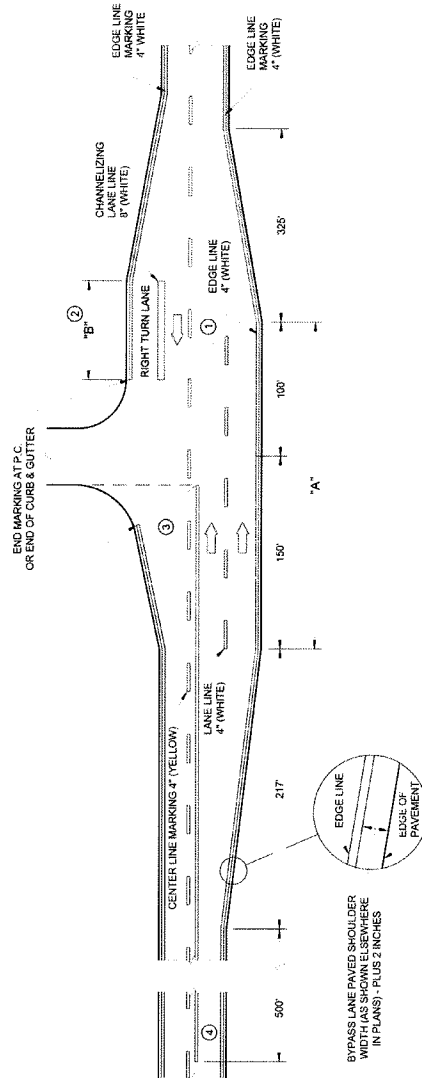
DIRECTION OF TRAVEL



MINOR INTERSECTION

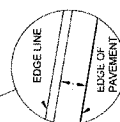


INTERSECTION ON OUTSIDE OF CURVE



MAJOR INTERSECTIONS (INTERSECTION WITH FULL RIGHT TURN LANE OR BYPASS LANE)

BYPASS LANE PAVED SHOULDER WIDTH (AS SHOWN ELSEWHERE IN PLANS) - PLUS 2 INCHES



PAVEMENT MARKING
(INTERSECTIONS)

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

SHEET 47

SDD 15C35 - 04a

SDD 15C35 - 04a



SDD 15D28 Traffic Control, Work on Shoulder or Parking Lane, Undivided Roadway

LEGEND

- SIGN ON PERMANENT SUPPORT
- TRAFFIC CONTROL DRUM
- ➡ DIRECTION OF TRAFFIC
- ▭ WORK ZONE

GENERAL NOTES

ALL SIGNS ARE 48"x48" UNLESS OTHERWISE NOTED. IF NECESSARY DUE TO SPACE CONSTRAINTS IN URBAN AREAS, 36" X 36" SIGNS MAY BE USED IF APPROVED BY THE REGIONAL TRAFFIC UNIT.

"W" SIGN IS THE SAME AS "W" SIGN EXCEPT THE BACKGROUND IS ORANGE.

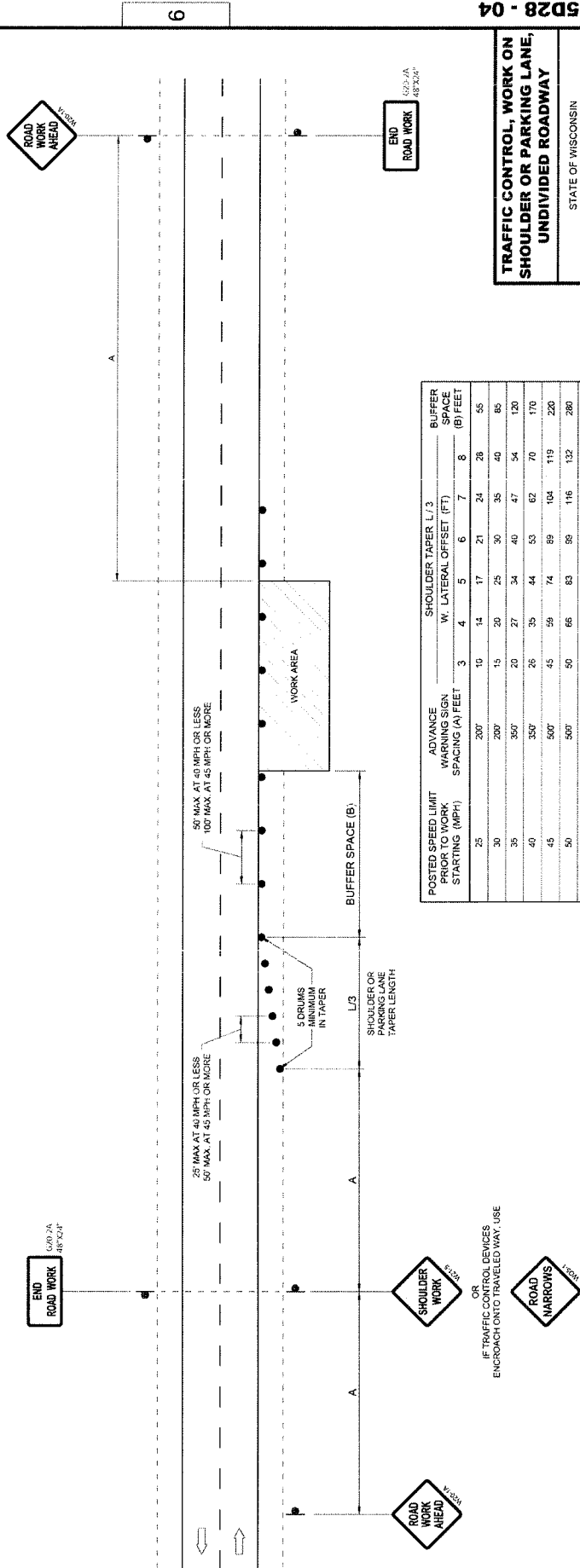
ANY SIGNS TEMPORARY OR EXISTING WHICH CONFLICT WITH THE TRAFFIC CONTROL "IN USE" SHALL BE REMOVED OR COVERED AS NEEDED AND AS APPROVED BY THE ENGINEER.

THE EXACT NUMBER, LOCATION, AND SPACING OF ALL SIGNS AND DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS APPROVED BY THE ENGINEER.

CHANNELIZING DEVICES PLACED ADJACENT TO WORK AREA SHALL BE PULLED BACK FROM THE TRAVEL LANE WHEN WORK IS NOT IN PROGRESS.

SIGNS THAT WILL BE IN PLACE LESS THAN 7 CONTINUOUS DAYS AND NIGHTS MAY BE MOUNTED ON PORTABLE SUPPORTS.

W20-1A AND G20-2A SIGNS ARE NOT REQUIRED IF THE WORK AREA IS WITHIN A LARGER WORK ZONE WHERE THESE SIGNS ARE ALREADY PRESENT. G20-2A SIGNS MAY ALSO BE OMITTED IF DURATION OF WORK IS LESS THAN 7 CONTINUOUS DAYS AND NIGHTS.



POSTED SPEED LIMIT PRIOR TO WORK STARTING (MPH)	ADVANCE WARNING SIGN SPACING (A) FEET	SHOULDER TAPER L/3 W. LATERAL OFFSET (FT)								BUFFER SPACE (B) FEET	
		3	4	5	6	7	8			(A)	(B)
25	200'	10	14	17	21	24	28			55	
30	200'	15	20	25	30	35	40			85	
35	350'	20	27	34	40	47	54			120	
40	350'	26	35	44	53	62	70			170	
45	500'	45	59	74	89	104	119			220	
50	500'	50	66	83	99	116	132			280	
55	500'	54	73	91	109	127	145			335'	

OR
IF TRAFFIC CONTROL DEVICES
ENCROACH ONTO TRAVEL LANE, USE

TRAFFIC CONTROL, WORK ON
SHOULDER OR PARKING LANE,
UNDIVIDED ROADWAY

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
May 2020
DATE
S. Andrew Stadler
SAFETY ENGINEER

SHEET 48

SDD 15D28 - 04

SDD 15D28 - 04



SDD 15D32 Traffic Control, One Lane Road Stop Condition

LEGEND

TYPE III BARRICADE WITH ATTACHED SIGN

SIGN ON PERMANENT SUPPORT

TRAFFIC CONTROL DRUM WITH TYPE "C" STEADY BURN LIGHT

TRAFFIC CONTROL DRUM

FLAGS, 16" X 16" MIN (ORANGE)

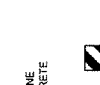
REMOVING PAVEMENT MARKING

DIRECTION OF TRAFFIC

ASPHALTIC PAVEMENT WIDENING

CONCRETE BARRIER TEMPORARY PRECAST

WIDTH ON SIGN TO BE APPROX. 14-FOOT LESS THAN AVAILABLE WIDTH (OMIT IF AVAILABLE WIDTH IS MORE THAN 16 FEET)



GENERAL NOTES

THE EXACT NUMBER, LOCATION AND SPACING OF ALL SIGNS AND DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS APPROVED BY THE ENGINEER.
THE SPACING BETWEEN TRAFFIC CONTROL SIGNS SHOULD BE ADJUSTED TO NOT CONFLICT WITH AND TO PROVIDE A MINIMUM OF 200 FEET (500 FEET DESIRABLE) CLEARANCE TO EXISTING SIGNS THAT WILL REMAIN IN PLACE.

THIS LANE CLOSURE IS TYPICAL FOR CLOSING RIGHT LANE - REVERSE FOR CLOSING LEFT LANE.

ALL SIGNS ARE 48" X 48" UNLESS OTHERWISE NOTED.

"W" IS THE SAME AS "V" EXCEPT THE BACKGROUND IS ORANGE.

ANY SIGNS TEMPORARY OR EXISTING WHICH CONFLICT WITH TRAFFIC CONTROL "W" USE SHALL BE REMOVED OR COVERED AS NEEDED OR AS APPROVED BY THE ENGINEER.

PLACE TEMPORARY PAVEMENT MARKING EDGE LINE AND CENTER LINE AND REMOVE EXISTING PAVEMENT MARKINGS IF LANE CLOSURE IS TO BE IN PLACE 4 OR MORE CONTINUOUS DAYS AND NIGHTS OR AS NOTED ON DETAIL.

1 500 FOOT SPACING SHOWN IS FOR ROADWAYS WITH A PRE-CONSTRUCTION REGULATORY SPEED LIMIT OF 35 MPH OR LESS. FOR 35 - 40 MPH, USE 300 FOOT TYPICAL SPACING. FOR 25 - 30 MPH, USE 200 FOOT TYPICAL SPACING.

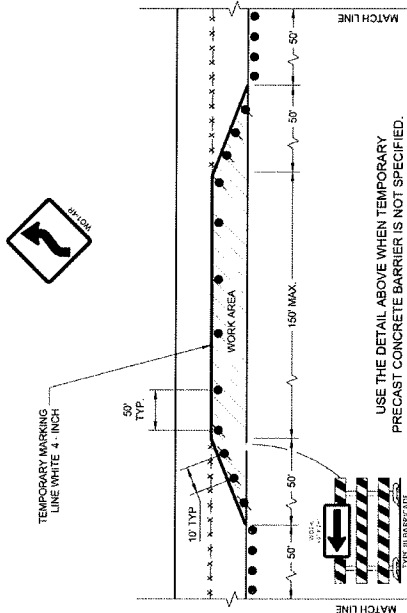
2 DIMENSION DETERMINED BY CSTP TAPER FROM EDGE LINE TO TANGENT SECTION OF THE ROAD.

3 TEMPORARY MARKING STOP LINE REMOVABLE TAPE 18 - INCH.

4 700 FOOT TEMPORARY MARKING LINE, DOUBLE YELLOW 4 - INCH WHEN THE DISTANCE FOR THE PRECEDING NO - PASSING ZONE IS LESS THAN THE MINIMUM DISTANCE BETWEEN ZONES AS INDICATED IN THE SPECIFICATIONS. THE TWO ZONES SHALL BE CONNECTED.

5 SEE SDD 15C02 - SHEET "F" FOR ADVANCED WIDTH RESTRICTION SIGNING.

WIDTH ON SIGN TO BE APPROX. 14-FOOT LESS THAN AVAILABLE WIDTH (OMIT IF AVAILABLE WIDTH IS MORE THAN 16 FEET)



TEMPORARY MARKING LINE WHITE 4-INCH STOP LINE TO STOP LINE TAPER 15' MIN. IF THE DISTANCE FROM THE EDGE LINE TO CONCRETE BARRIER WALL IS LESS THAN 9'

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TEMPORARY MARKING LINE WHITE 4-INCH STOP LINE TO STOP LINE TAPER 15' MIN. IF THE DISTANCE FROM THE EDGE LINE TO CONCRETE BARRIER WALL IS LESS THAN 9'

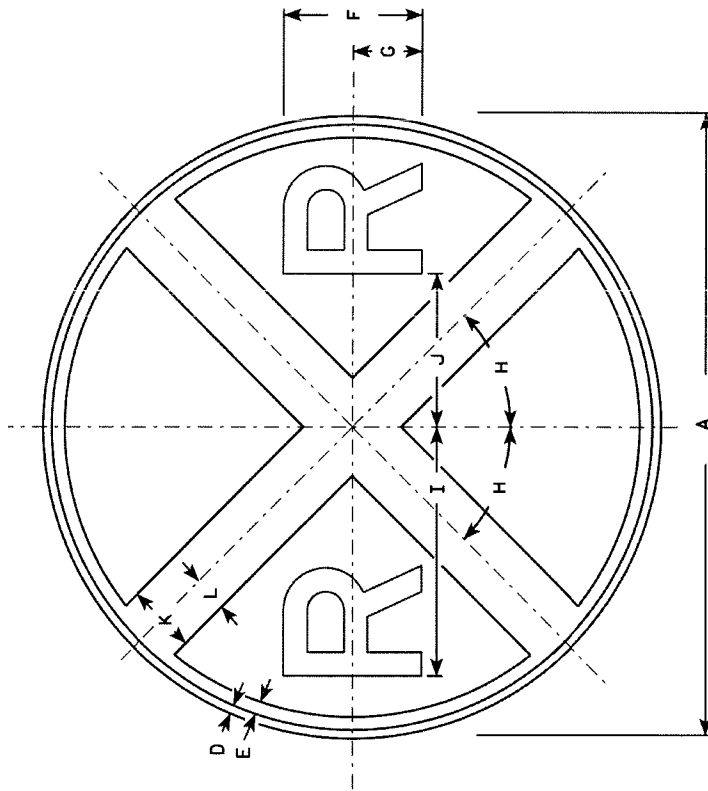
TRAFFIC CONTROL,
ONE LANE ROAD
STOP CONDITION

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
November 2018
DATE
S. Andrew Hestler
WORK ZONE ENGINEER

NOTES

1. Sign is Type II - Type F Reflective - reference WIS DOT Standard Specification for HIGHWAY and STRUCTURE CONSTRUCTION latest edition.
2. Color:
Background - Yellow
Message - Black
3. Message Series - E



W10-1

SIZE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	INCHES
1	30			3/8	5/8	7	3 1/2	45°	12 3/8	7 1/8	3	1 1/2															4.91
2S	36			5/8	3/4	8	4	45°	14 3/8	8 5/8	4	2															7.07
2M	36			5/8	3/4	8	4	45°	14 3/8	8 5/8	4	2															7.07
3																											
4	48			3/4	1 1/4	10	5	45°	18 3/8	11 5/8	5	2 1/2															12.57
5																											

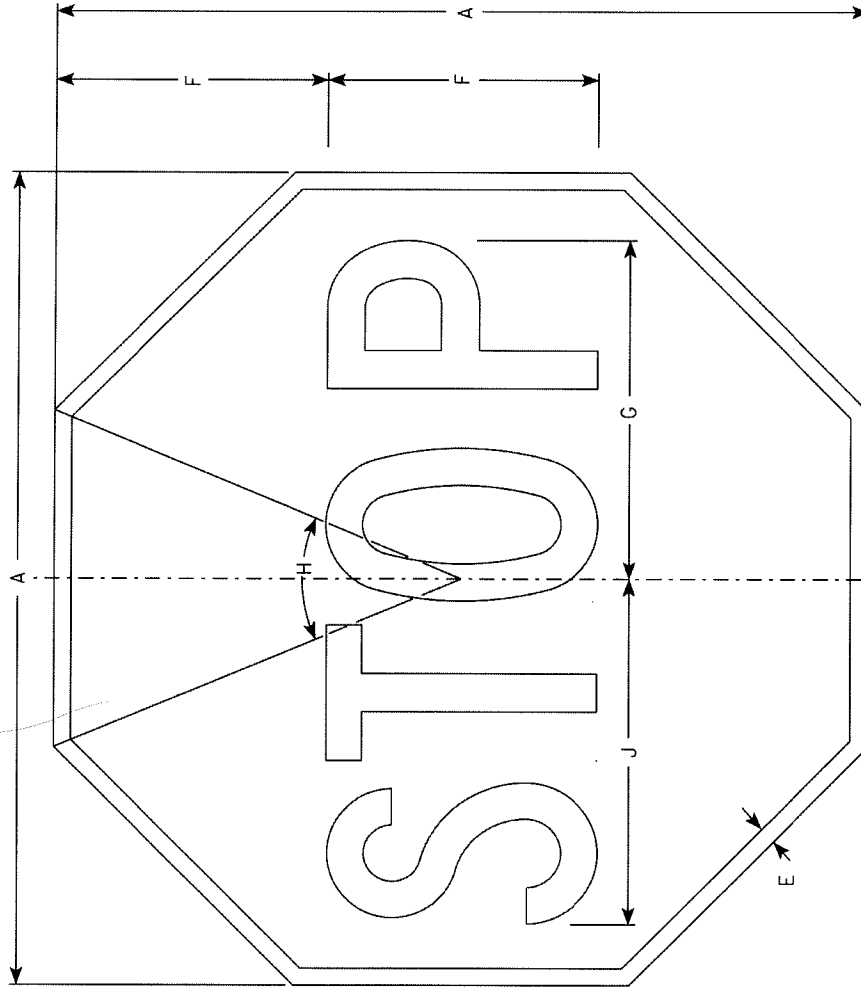
STANDARD SIGN
W10-1

WISCONSIN DEPT OF TRANSPORTATION
APPROVED
Matthew P. Rauch
DATE 3/13/13 PLATE NO. W10-1B

PROJECT NO: COUNTY: HWY: SHEET NO: 50 E
FILE NAME: C:\GCEP\JEA\Projects\AT-STRUCT\W101.DGN PLOT DATE: 13-MAR-2013 11:05 PLOT BY: RES/JPH PLOT NAME: PLOT SCALE: 6.9465711:00000 WISDOT/CADDs SHEET 42

NOTES

1. Sign is Type II - Type H Reflective - reference WIS DOT Standard Specification for HIGHWAY and STRUCTURE CONSTRUCTION latest edition.
2. Color:
Background - Red
Message - White
3. Message Series - C



R1-1

SIZE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	A%
1	30				5/8	10	12 1/2	45°		12 3/4																	5.18
2S	30				3/4	10	12 1/2	45°		12 3/4																	5.18
2M	36				3/4	12	15	45°		15 3/8																	7.46
3	36				3/4	12	15	45°		15 3/8																	7.46
4	48				1	16	20	45°		20 1/2																	13.25
5	48				1	16	20	45°		20 1/2																	13.25
6	18				3/8	6	7 3/4	45°		7 3/4																	1.86
7	12				1/4	4	5	45°		5 1/8																	0.78

STANDARD SIGN

R1-1

WISCONSIN DEPT OF TRANSPORTATION

APPROVED *Matthew R. Rauch*

for State Traffic Engineer

DATE 11/12/15 PLATE NO. RI-113

SHEET NO: 51 E

WISDOT/CADDIS SHEET 42

PLOT SCALE : 4.427809:1.000000

COUNTY:

HWY:

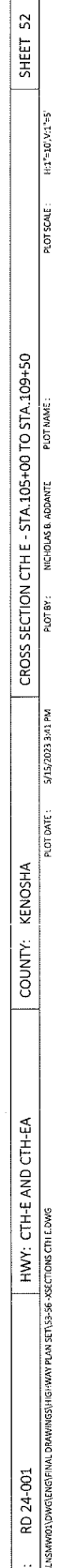
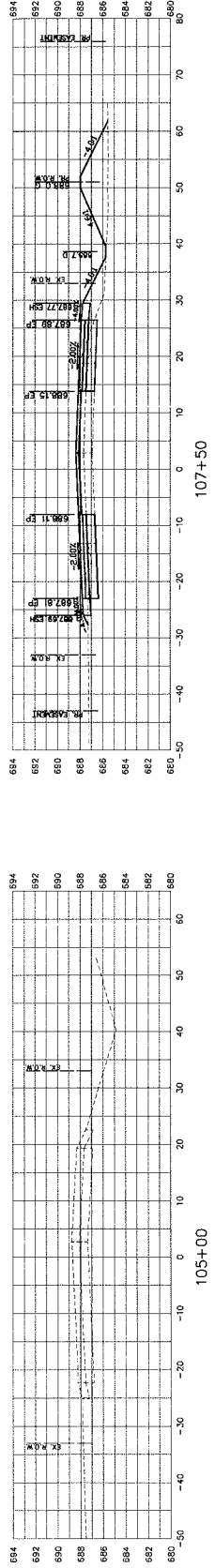
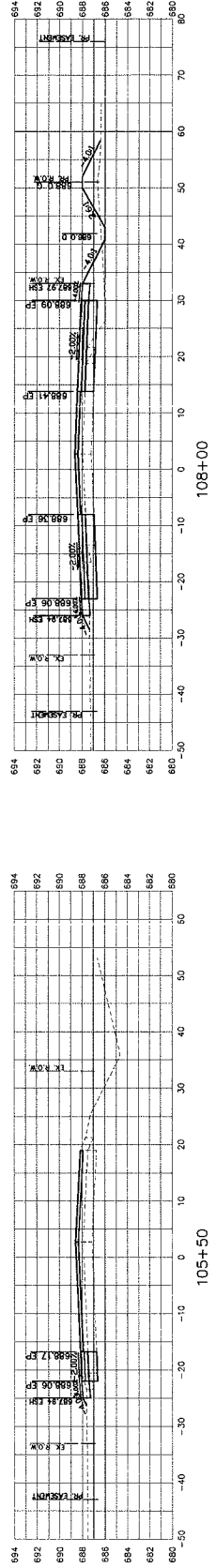
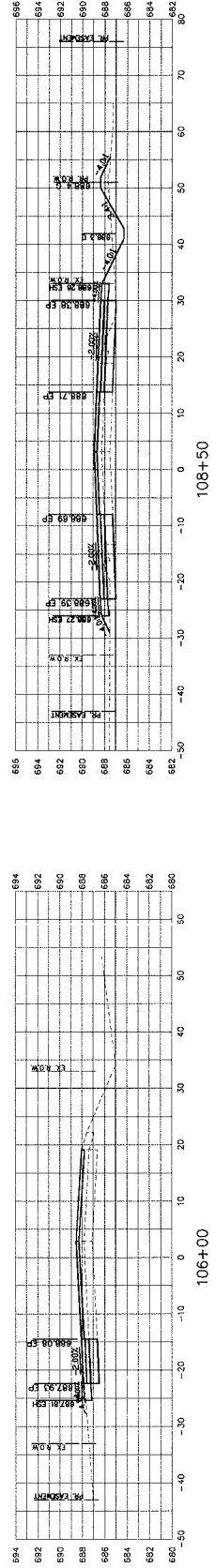
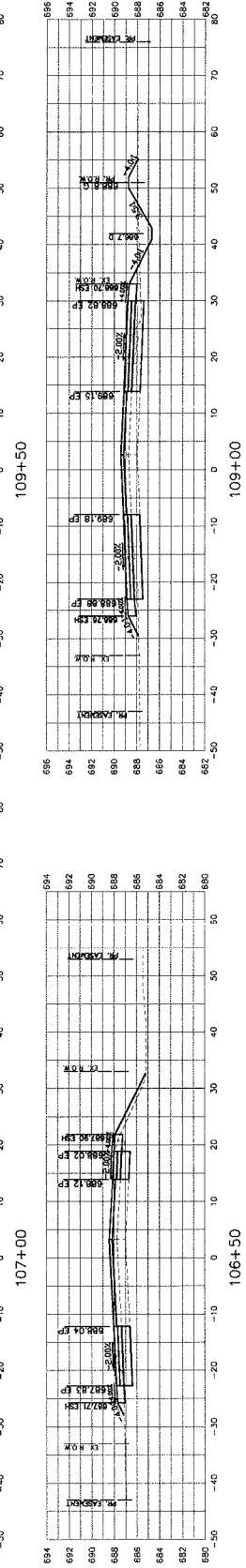
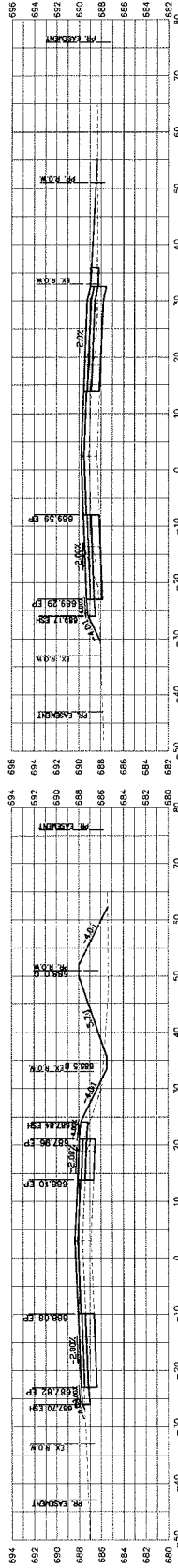
PROJECT NO:

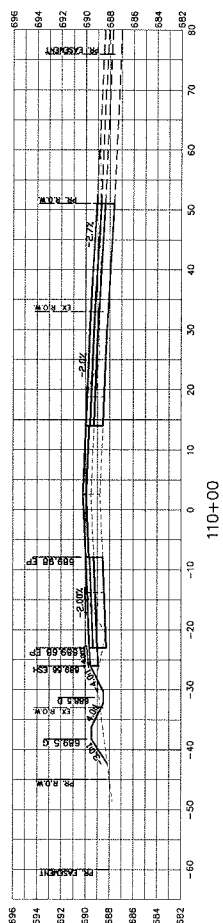
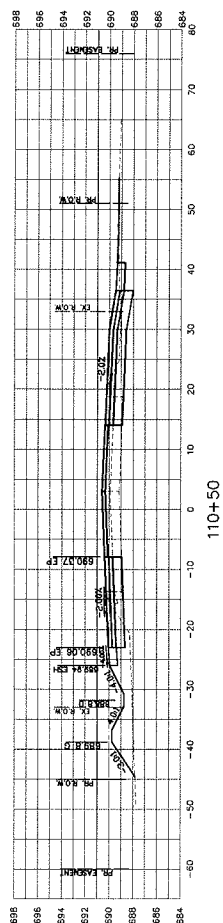
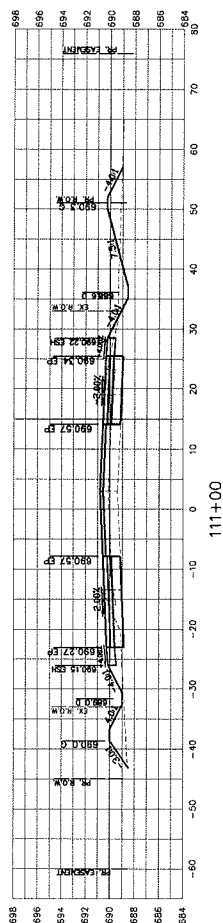
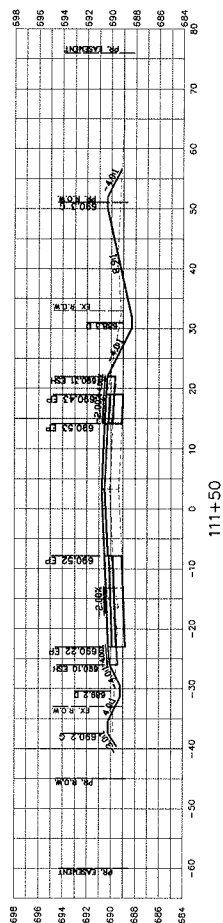
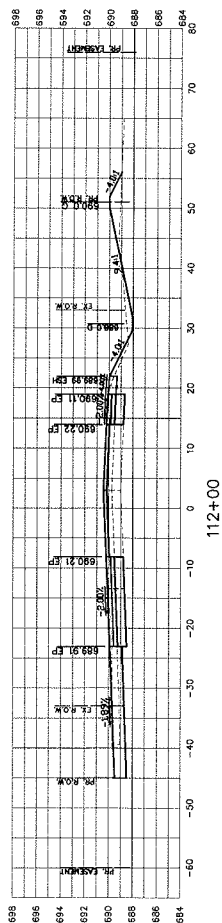
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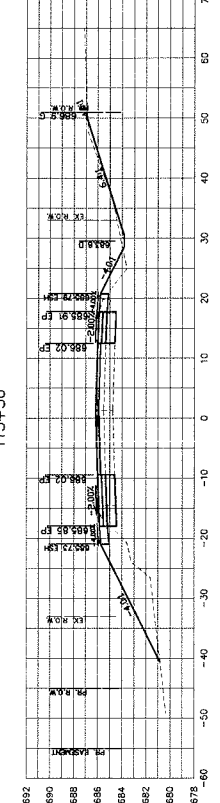
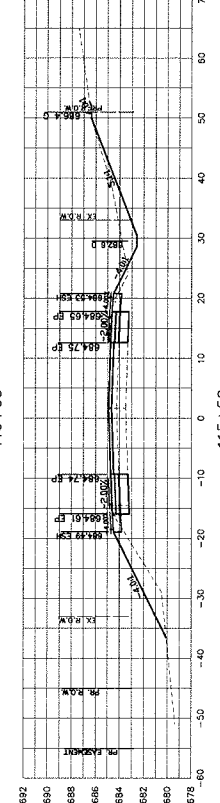
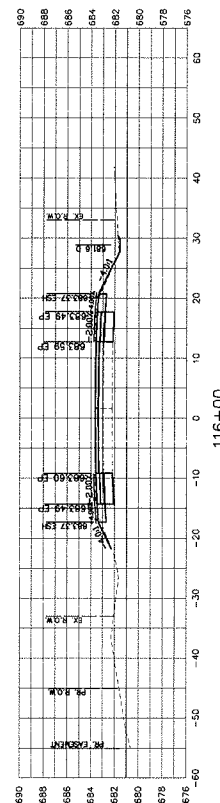
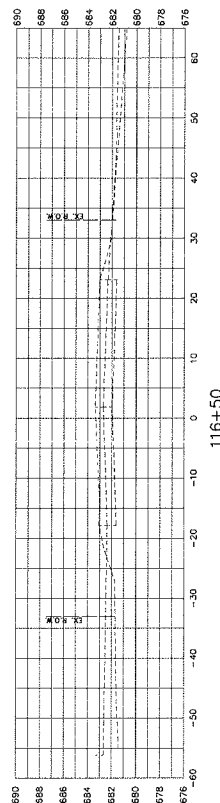
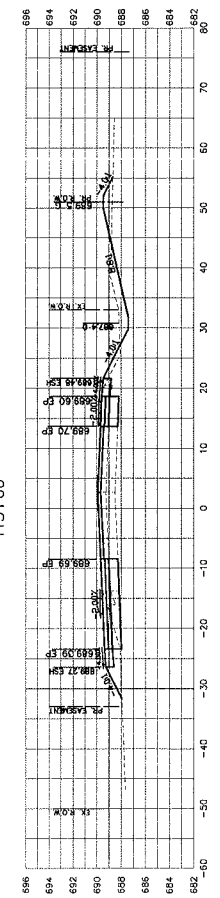
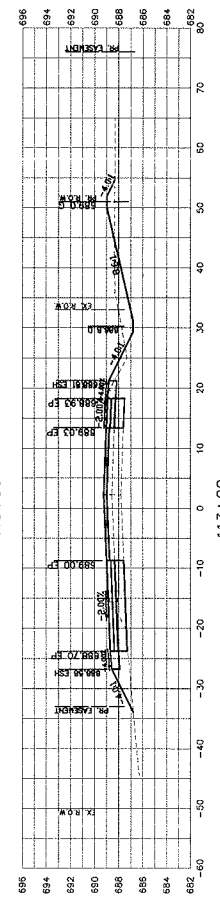
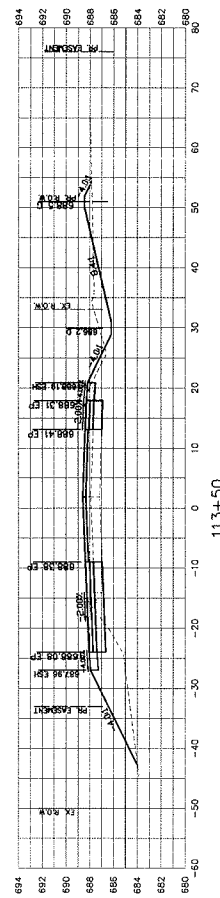
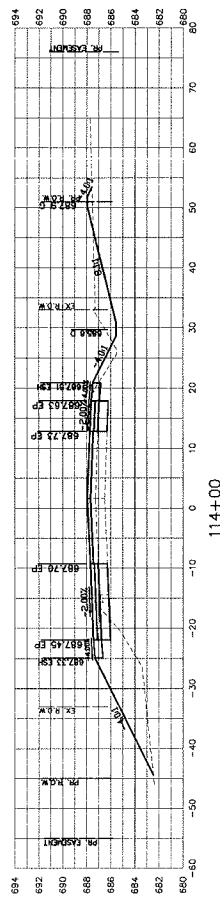
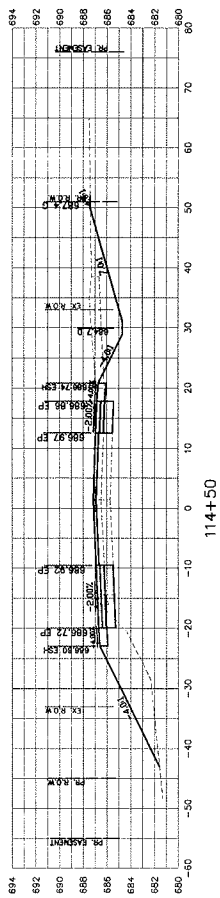
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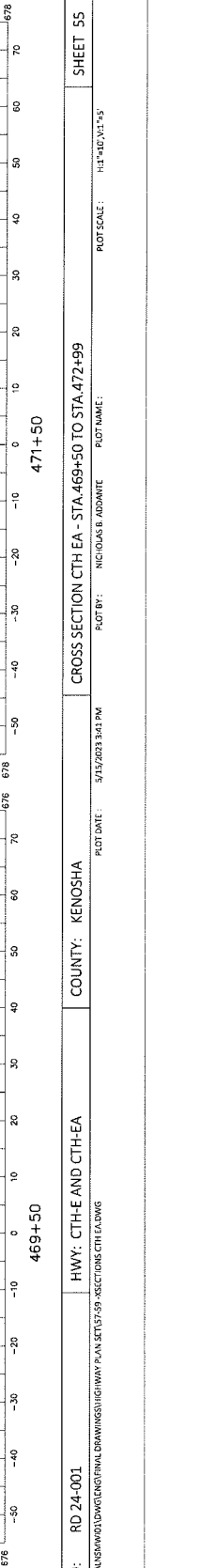
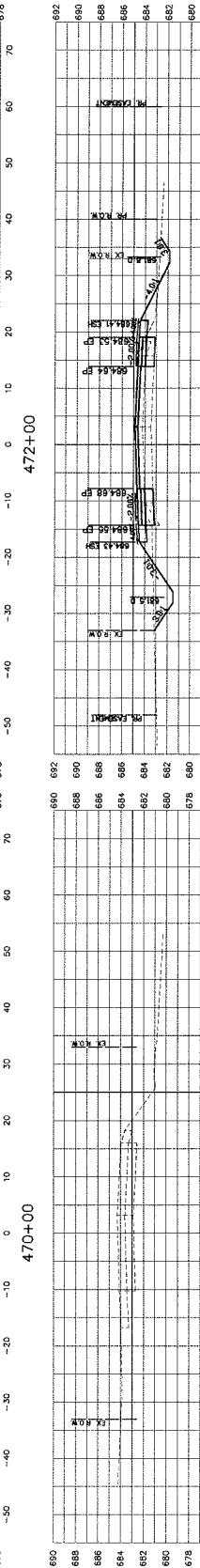
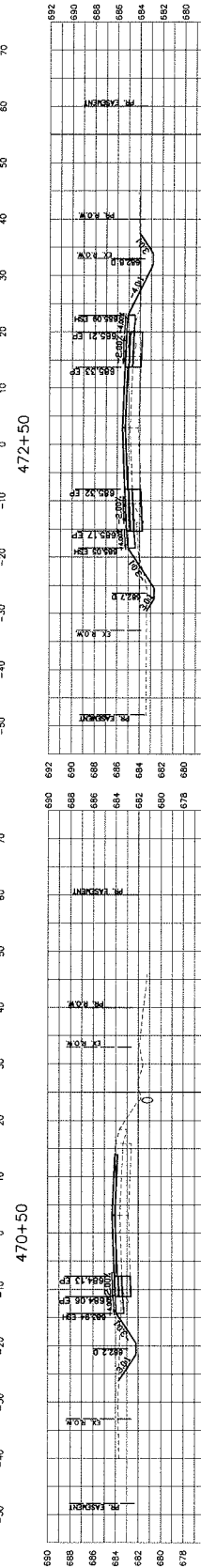
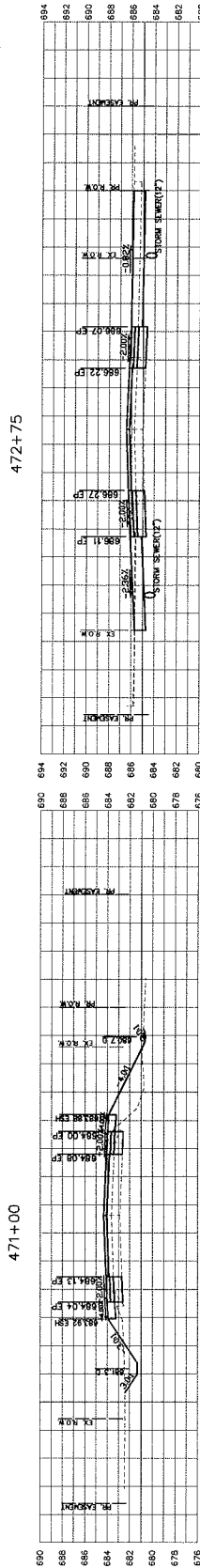
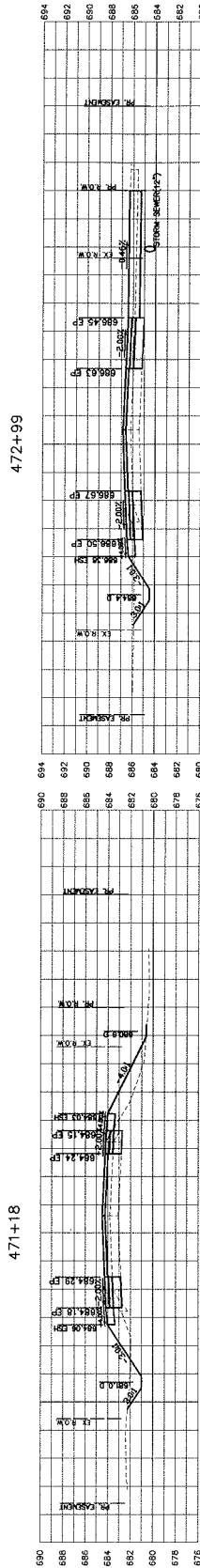
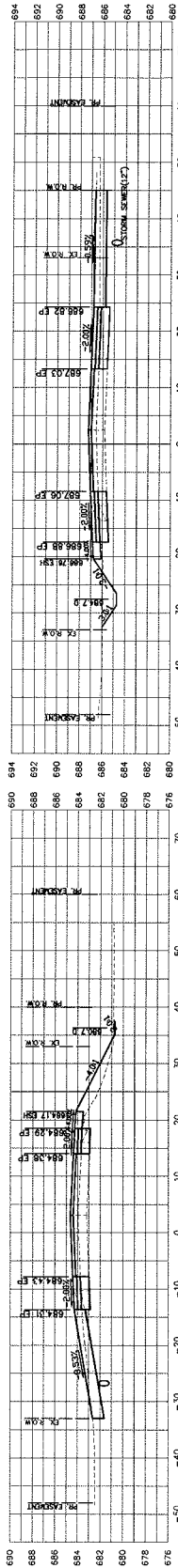
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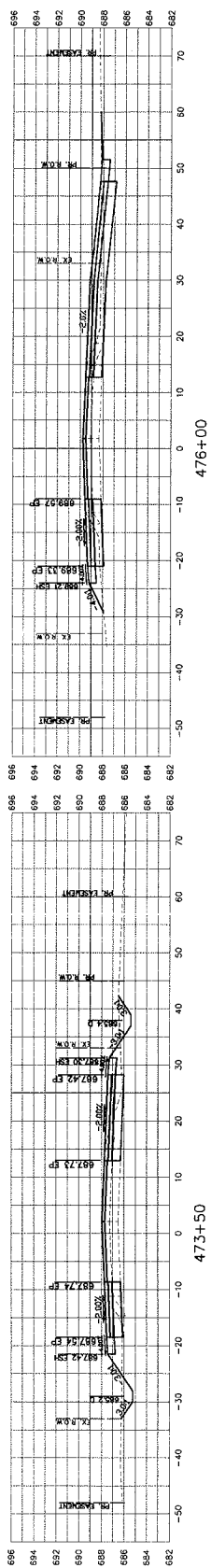
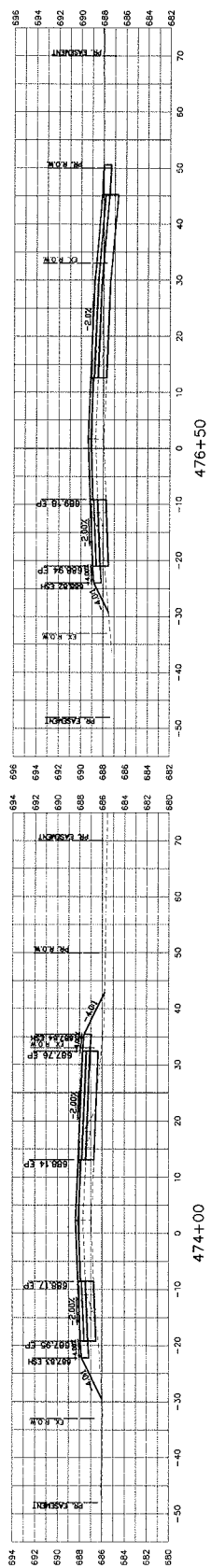
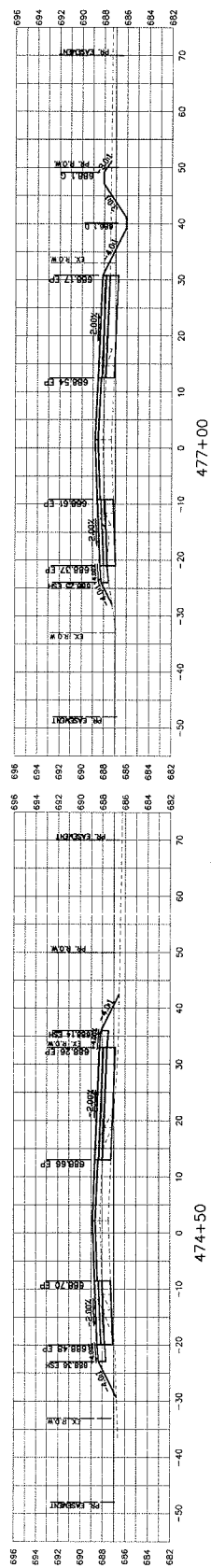
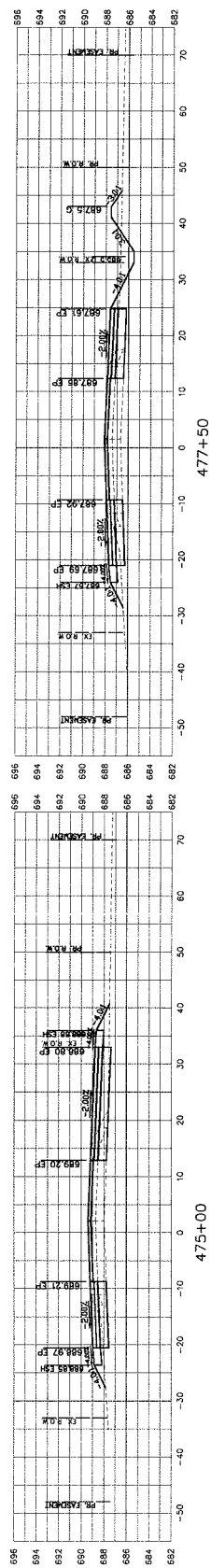
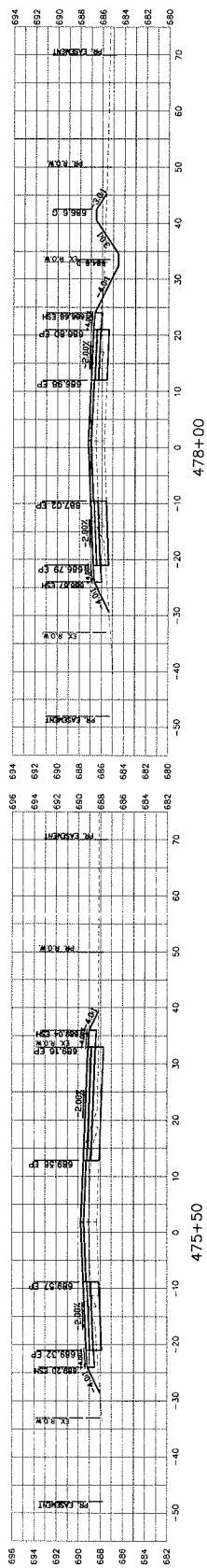
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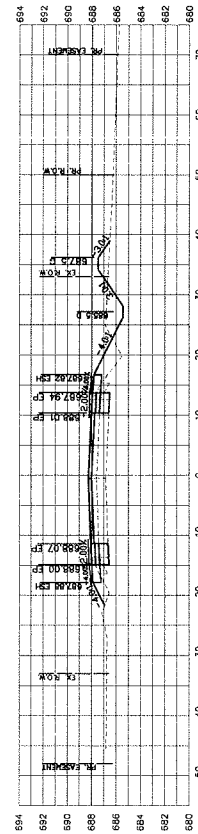
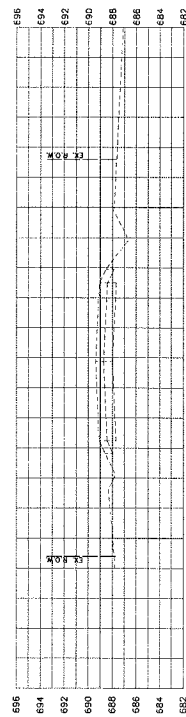


EXHIBIT D
LAND ACQUISITION COSTS

CTH E & EA Preliminary Delivery R/W Estimate (BASED ON 12 PARCELS)

Functions	Estimated Cost
Project Management	\$30,400.00 8 parcels @ \$3,800. each = \$30,400.
Utility Parcel Negotiation	\$7,200.00 4 parcels @ \$1,800. each = \$7,200.
Title Commitment	\$4,200.00 \$525.00 each x 8 parcels = \$4,200.
Appraisal	\$29,600.00 8 agency appraisals @ \$3,700. each = \$29,600.
Owner Appraisals	\$8,000.00 2 owner appraisals @ \$4,000. each = \$8,000.
Appraisal Review	\$6,000.00 8 agency appraisals + 2 owners appraisals @ \$600. each = \$6,000.
Negotiation	\$15,200.00 8 negotiation @ \$1,900. each = \$15,200.
Acquisition	\$41,349.00 See calculation below
Legal Fees	\$20,000.00 Based on one court trial
Legal Documents Review	\$1,300.00 Based on 2 parcels taken by award of damages @ \$650. each = \$1,300.
Total Delivery Cost	\$39,179.00 See Acquisition Cost Notes
Added Contingency + 20%	\$7,836.00 (R/W Acquisition Cost Only) \$39,179 x 1.20 = \$47,015.00

Estimated R/W Delivery Cost \$210,264.00

ACQUISITION COST NOTES:

1. Acquisition Cost Based on revised right of way plat parcel listing
2. Temporary Limited Easements added to parcels on revised right of way plat
3. Added utility parcels

Parcels Land Interest Requirement	FEE	TLE	Access Rights
1	0.064 Acres	0.172 Acres	No
2	0.060 Acres	0.074 Acres	No
3	None	1.028 Acres	No
4	0.012 Acres	0.142 Acres	No
5	0.073 Acres	0.131 Acres	No
6	None	0.031 Acres	No
7	None	0.305 Acres	No
8	None	0.043 Acres	No
100	Release of Rights		
101	Release of Rights		
102	Release of Rights		
103	Release of Rights		

Parcel Acquisition Calculations

Parcel 1 Gitzlaff	Fee .064 x \$60,000.00./acre	\$3,840.00	
	TLE .172 x \$60,000./acre x .10	\$1,032.00	
		\$4,872.00	\$4,872.00
Parcel 2 Eckelberg	Fee 0.06 x \$125,000./acre	\$7,500.00	
Add \$15,000. for landscaping + 10% for TLE	TLE 0.074 x \$125,000./acre x .10	\$15,925.00	
		\$23,425.00	\$23,425.00
Parcel 3 CMM-Somerville LLC Developer	TLE 1.028 x 60,000/acre x .10	Donation \$0.00	\$0.00
Parcel 4 Village of Somers	Fee 0.012 x \$60,000./ acre	\$720.00	
	TLE .142 x \$60,000./ acre x .10	\$852.00	
		\$1,572.00	\$1,572.00
Parcel 5 Fliess	Fee 0.073 x \$60,000./ acre	\$4,380.00	
	TLE .131 x \$60,000./ acre x .10	\$786.00	
		\$5,166.00	\$5,166.00
Parcel 6 Kenosha Unified School land improvements	TLE 0.031 x \$100,000./acre x .10	\$310.00	
		\$1,000.00	
		\$1,310.00	\$1,310.00
Parcel 7 Fliess	TLE 0.305 x \$60,000./ acre x .10	\$1,830.00	\$1,830.00
Parcel 8 Adams Street Development	TLE 0.043 x \$60,000./ acre x .10	\$258.00	
	Minimum payment	\$1,000.00	\$1,000.00
Parcel 100 Village of Somers	Release of Rights	\$1.00	\$1.00
Parcel 101 SBC	Release of Rights	\$1.00	\$1.00
Parcel 102 ANR Pipeline	Release of Rights	\$1.00	\$1.00
Parcel 103 WEPCO	Release of Rights	\$1.00	\$1.00
			\$39,179.00
Estimated R/W Project Acquisition Cost			

Prepared by: James Machnik, The Acquisition Connection

EXHIBIT E

LIST OF IMPROVEMENTS AND COSTS (PRELIMINARY EOPC)



ENGINEER'S OPINION OF PROBABLE COST
Proposed Improvements for County Highway E and EA
Kenosha County, Wisconsin
23-Feb-23

Line	WISDOT Pay Item No.	Item Description	QUANTITY	UNIT	UNIT PRICE	EXTENSION
SCHEDULE I - CTH E IMPROVEMENTS						
1	201.0120	CLEARING	62	ID	\$30.00	\$1,860.00
2	201.0210	GRUBBING	25	LF	\$10.00	\$250.00
3	204.0110	REMOVING ASPHALTIC SURFACE	1170	SY	\$15.00	\$17,550.00
4	305.0110	BASE AGGREGATE DENSE 3/4-INCH (TON)	235	TON	\$25.00	\$5,875.00
5	305.0120	BASE AGGREGATE DENSE 1 1/4 INCH	1895	TON	\$30.00	\$56,850.00
6	460.5243	HMA PAVEMENT 3 LT 58-34 S	1375	TON	\$85.00	\$116,875.00
7	460.5244	HMA PAVEMENT 4 LT 58-34 S	815	TON	\$95.00	\$77,425.00
8	611.8110	ADJUST MANHOLE COVERS	6	EACH	\$730.00	\$4,380.00
9	628.1504	SILT FENCE	1305	LF	\$2.50	\$3,262.50
10	628.1520	SILT FENCE MAINTENANCE	1305	LF	\$0.25	\$326.25
11	628.2002	EROSION MAT CLASS 1 TYPE A	4255	SY	\$1.50	\$6,382.50
12	628.7504	TEMPORARY DITCH CHECKS	60	LF	\$8.50	\$510.00
13	637.2210	SIGN TYPE II REFLECTIVE H	7	SF	\$18.50	\$129.50
14	637.2230	SIGN TYPE II REFLECTIVE F	9	SF	\$22.00	\$198.00
15	638.2102	MOVING SIGNS TYPE II	4	LS	\$121.50	\$486.00
16	643.5000	TRAFFIC CONTROL	1	LS	\$20,000.00	\$20,000.00
17	646.1020	MARKING LINE EPOXY 4-INCH	3865	LF	\$0.50	\$1,932.50
18	646.3020	MARKING LINE EPOXY 8-INCH	140	LF	\$1.50	\$210.00
19	646.5020	MARKING ARROW EPOXY	4	EACH	\$290.00	\$1,160.00
20	646.5320	MARKING RAILROAD CROSSING EPOXY	1	EACH	\$1,540.00	\$1,540.00
21	646.7120	MARKING DIAGONAL EPOXY 12-INCH	315	LF	\$11.50	\$3,622.50
22	646.7220	MARKING CHEVRON EPOXY 24-INCH	225	LF	\$17.00	\$3,825.00
23	690.0150	SAWING ASPHALT	2105	LF	\$1.50	\$3,157.50
24	SPV.0001	EARTHWORK	1	EACH	\$50,000.00	\$50,000.00
25	SPV.0002	RELOCATE POWER POLE	11	EACH	*	\$0.00
26	SPV.0004	ADJUST HYDRANTS RIM	3	EACH	\$730.00	\$2,190.00
27	SPV.0005	ADJUST VALUE VAULT RIM	2	EACH	\$730.00	\$1,460.00
28	SPV.0006	REMOVING ASPHALTIC SURFACE, 5"	2875	SY	\$10.00	\$28,750.00

TOTAL SCHEDULE I - CTH E IMPROVEMENTS \$410,207.25

SCHEDULE II - CTH EA IMPROVEMENTS

1	201.0120	CLEARING	28	ID	\$30.00	\$840.00
2	201.0210	GRUBBING	130	LF	\$10.00	\$1,300.00
3	204.0110	REMOVING ASPHALTIC SURFACE	810	SY	\$15.00	\$12,150.00
4	204.0245	REMOVING STORM SEWER	220	LF	\$20.00	\$4,400.00
5	305.0110	BASE AGGREGATE DENSE 3/4-INCH (TON)	270	TON	\$25.00	\$6,750.00
6	305.0120	BASE AGGREGATE DENSE 1 1/4 INCH	2335	TON	\$30.00	\$70,050.00
7	460.5243	HMA PAVEMENT 3 LT 58-34 S	1350	TON	\$85.00	\$114,750.00
8	460.5244	HMA PAVEMENT 4 LT 58-34 S	765	TON	\$95.00	\$72,675.00
9	522.0512	CULVERT PIPE REINFORCED CONCRETE CLASS V 12-INCH	120	LF	\$50.00	\$6,000.00
10	522.0518	CULVERT PIPE REINFORCED CONCRETE CLASS V 18-INCH	40	LF	\$75.00	\$3,000.00
11	522.1012	APRON ENDWALLS FOR CULVERT PIPE REINFORCED CONCRETE 12-INCH	8	EACH	\$1,250.00	\$10,000.00
12	522.1018	APRON ENDWALLS FOR CULVERT PIPE REINFORCED CONCRETE 18-INCH	4	EACH	\$1,150.00	\$4,600.00
13	522.2629	APRON ENDWALLS FOR CULVERT PIPE REINFORCED CONCRETE HORIZONTAL ELLIPTICAL 29X45-INCH	8	EACH	\$1,800.00	\$14,400.00
14	606.0200	RIPRAP MEDIUM	135	CF	\$80.00	\$10,800.00
15	608.2329	STORM SEWER PIPE REINFORCED CONCRETE HORIZONTAL ELLIPTICAL CLASS HE-III 29X45-INCH	320	LF	\$140.00	\$44,800.00
16	611.8110	ADJUST MANHOLE COVERS	2	EACH	\$730.00	\$1,460.00
17	628.1504	SILT FENCE	2825	LF	\$2.50	\$7,062.50



ENGINEER'S OPINION OF PROBABLE COST
Proposed Improvements for County Highway E and EA
Kenosha County, Wisconsin
23-Feb-23

Line	WISDOT Pay Item No.	Item Description	QUANTITY	UNIT	UNIT PRICE	EXTENSION
18	628.1520	SILT FENCE MAINTENANCE	1305	LF	\$0.25	\$326.25
19	628.2002	EROSION MAT CLASS 1 TYPE A	4850	SY	\$1.50	\$7,275.00
20	628.7504	TEMPORARY DITCH CHECKS	75	LF	\$8.50	\$637.50
21	628.7555	CULVERT PIPE CHECKS	9	EACH	\$18.50	\$166.50
22	637.2210	SIGN TYPE II REFLECTIVE H	7	EACH	\$18.50	\$129.50
23	643.5000	TRAFFIC CONTROL	1	LS	\$30,000.00	\$30,000.00
24	646.1020	MARKING LINE EPOXY 4-INCH	5025	LF	\$0.50	\$2,512.50
25	646.3020	MARKING LINE EPOXY 8-INCH	300	LF	\$1.50	\$450.00
26	646.5020	MARKING ARROW EPOXY	4	EACH	\$290.00	\$1,160.00
27	646.7120	MARKING DIAGONAL EPOXY 12-INCH	360	LF	\$11.50	\$4,140.00
28	646.7220	MARKING CHEVRON EPOXY 24-INCH	115	LF	\$17.00	\$1,955.00
29	690.0150	SAWING ASPHALT	2775	LF	\$1.50	\$4,162.50
30	209.0300.S	BACKFILL COARSE AGGREGATE	115	CY	\$65.00	\$7,475.00
31	SPV.0001	EARTHWORK	1	LS	\$80,000.00	\$80,000.00
32	SPV.0002	RELOCATE POWER POLE	5	EACH	*	\$0.00
33	SPV.0003	RELOCATE TELEPHONE PEDESTAL	2	EACH	*	\$0.00
34	SPV.0006	REMOVING ASPHALTIC SURFACE, 5"	3225	SY	\$8.00	\$25,800.00
35	SPV.0007	RELOCATE MAILBOX	1	EACH	\$180.00	\$180.00

TOTAL SCHEDULE II - CTH EA IMPROVEMENTS \$551,407.25

SUBTOTAL SCHEDULES I-II \$961,614.50

KENOSHA COUNTY ADMINISTRATIVE FEE @ 4.39% \$42,214.88

CONTINGENCY @10% \$96,161.45

TOTAL \$1,099,990.83

*Assumes that all utilities relocated as part of a Kenosha County Road Improvement Project will be relocated at the utility companies expense

Prepared By: Manhard Consulting, Ltd.
One Overlook Point, Suite 290
Lincolnshire, Illinois 60069

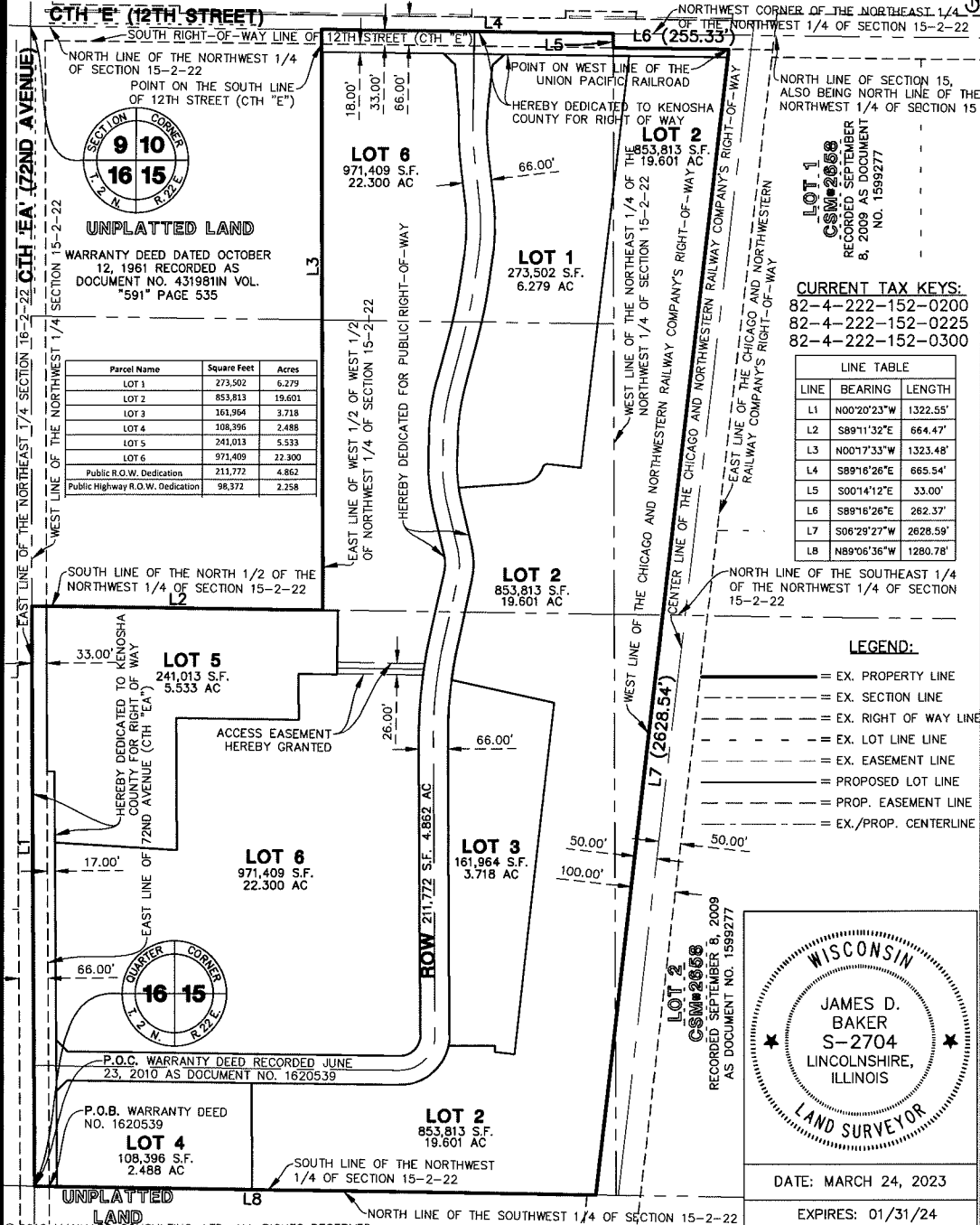
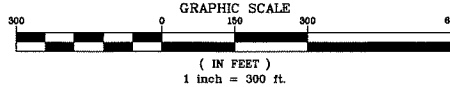
NOTE: This Engineer's Opinion of Probable Cost is made on the basis of Engineer's experience and qualifications using plan quantities and represents Engineer's best judgment as an experienced and qualified professional engineer generally familiar with the construction industry. However, since the Engineer has no control over the cost of labor, materials, equipment or services furnished by others, or over the Contractor's methods of determining prices, or over competitive bidding or market conditions, or over quantities of work actually performed, Engineer cannot and does not guarantee that proposals, bids or actual Construction Cost will not vary from Opinions of Probable Cost prepared by Engineer. This Opinion of Probable Construction Cost is limited to those items stated herein and does not include permit fees, recapture costs, consultant fees landscaping, dewatering, maintenance, bonds or the like.

EXHIBIT F
CERTIFIED SURVEY MAP

CERTIFIED SURVEY MAP NO.

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BASIS OF BEARINGS
BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011)
IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W



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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP

PROJ. MGR.: **JDB**
DRAWN BY: **LSM**
DATE: **03/24/23**
SCALE: **1"=300'**

SHEET
1 OF 32
ALN.SMWI01

Dwg Name: P:\almsmw\01.dwg Final Drawings\Certified Survey Map\CSM_01-ALNSMWI-01.dwg Updated By: L.Mary

CERTIFIED SURVEY MAP NO.

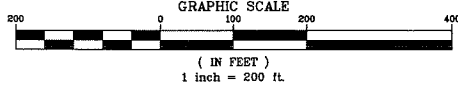
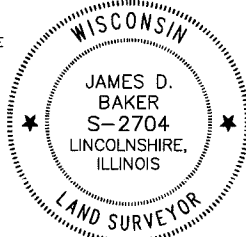
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LEGEND

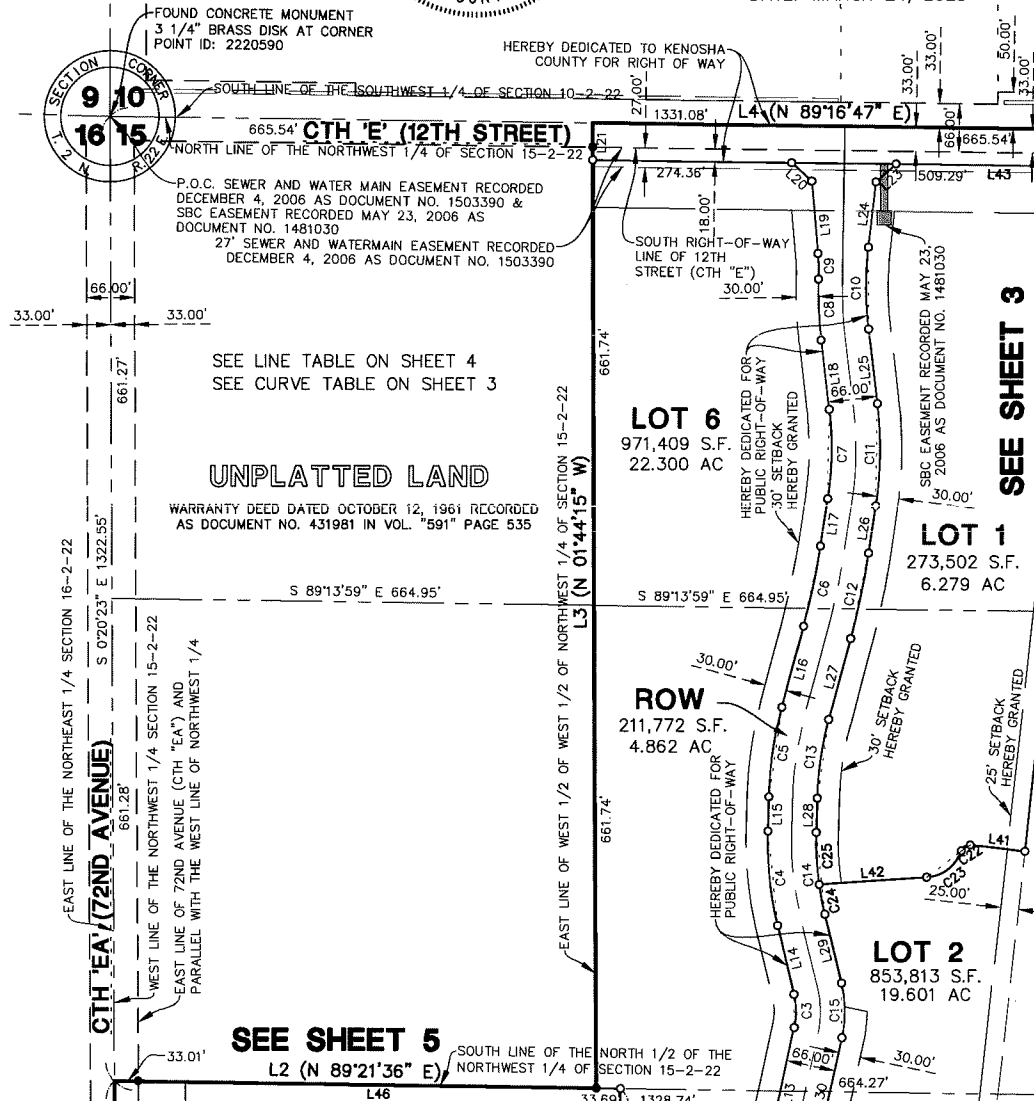
- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG WEIGHT 1.30 LBS/FT. SET

PREPARED BY:

JAMES D. BAKER,

P.L.S. No. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	2 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=200'	

Dwg Name: P:\ansmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\02-05-ALNSMWI-CSM_1.dwg Updated By: L.Mery

CERTIFIED SURVEY MAP NO. _____

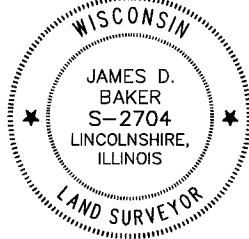
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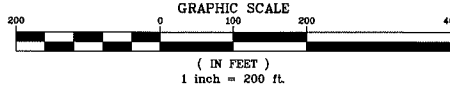
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P.L.S. NO. 2704 EXPIRES: 01/31/24

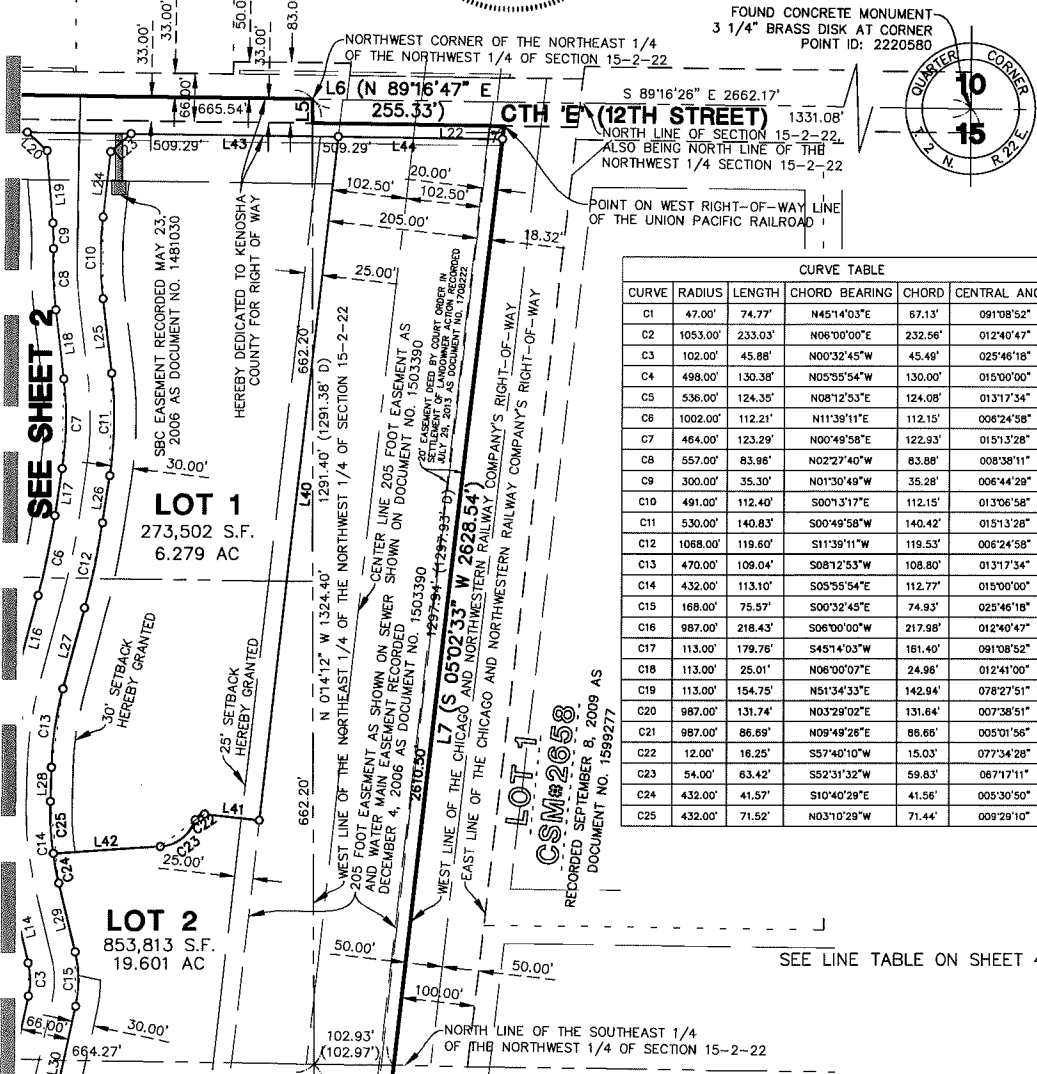
DATE: MARCH 24, 2023

FOUND CONCRETE MONUMENT
3 1/4" BRASS DISK AT CORNER
POINT ID: 2220580



LEGEND

- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG WEIGHT 1.30 LBS/FT. SET



CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE
C1	47.00'	74.77'	N45°14'03"E	67.13'	091°08'52"
C2	1053.00'	233.03'	N06°00'00"E	232.56'	012°40'47"
C3	102.00'	45.88'	N00°32'45"W	45.40'	025°46'18"
C4	498.00'	130.38'	N05°55'54"W	130.00'	015°00'00"
C5	536.00'	124.35'	N08°12'53"E	124.08'	013°17'34"
C6	1002.00'	112.21'	N11°39'11"E	112.15'	006°24'58"
C7	464.00'	123.29'	N00°49'58"E	122.93'	015°13'28"
C8	557.00'	83.98'	N02°27'40"W	83.88'	008°38'11"
C9	300.00'	35.30'	N01°30'49"W	35.28'	006°44'29"
C10	491.00'	112.40'	S00°13'17"E	112.15'	013°06'58"
C11	530.00'	140.83'	S00°49'58"W	140.42'	015°13'28"
C12	1068.00'	119.60'	S11°39'11"W	119.53'	006°24'58"
C13	470.00'	109.04'	S08°12'53"W	108.80'	013°17'34"
C14	432.00'	113.10'	S05°55'54"E	112.77'	015°00'00"
C15	168.00'	75.57'	S00°32'45"E	74.93'	025°46'18"
C16	987.00'	218.43'	S06°00'00"W	217.98'	012°40'47"
C17	113.00'	179.78'	S45°14'03"W	161.40'	091°08'52"
C18	113.00'	25.01'	N06°00'07"E	24.96'	012°41'00"
C19	113.00'	154.75'	N51°34'33"E	142.94'	078°27'51"
C20	987.00'	131.74'	N03°29'02"E	131.64'	007°38'51"
C21	987.00'	86.69'	N09°49'28"E	86.66'	005°01'56"
C22	12.00'	16.25'	S57°40'10"W	15.03'	077°34'28"
C23	54.00'	63.42'	S52°31'32"W	59.83'	067°17'11"
C24	432.00'	41.57'	S10°40'29"E	41.56'	005°30'50"
C25	432.00'	71.52'	N03°10'29"W	71.44'	009°29'10"

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SEE SHEET 4



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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP

PROJ. MGR.: JDB

SHEET

DRAWN BY: LSM

DATE: 03/24/23

SCALE: 1"=200'

3

OF

32

ALN.SMWI01

Dwg Name: P:\alnsmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\02-05-ALNSMWI-CSM_1.dwg Updated By: L.Mary 14:42

CERTIFIED SURVEY MAP NO. _____

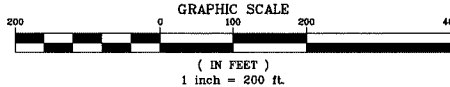
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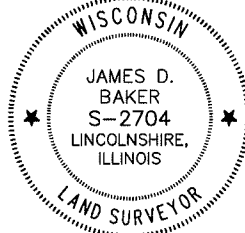
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LEGEND

- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG WEIGHT 1.30 LBS/FT. SET



PREPARED BY:

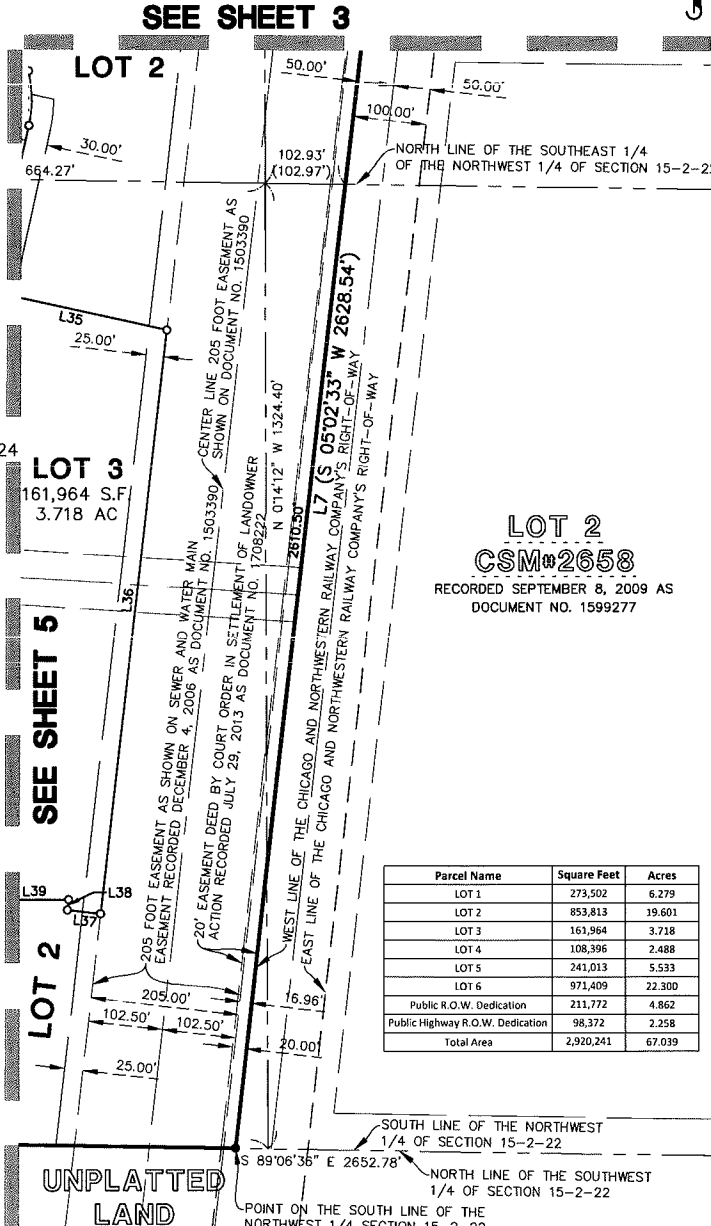
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE CURVE TABLE ON SHEET 3

LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	N00°20'23"W	1322.55'	L28	S01°34'06"W	46.86'
L2	S89°11'32"E	664.47'	L29	S13°25'54"E	96.71'
L3	N00°17'33"W	1323.48'	L30	S12°20'24"W	146.98'
L4	S89°16'26"E	665.54'	L31	S00°20'23"E	677.49'
L5	S00°14'12"E	33.00'	L32	N89°11'32"W	755.89'
L6	S89°16'26"E	282.37'	L33	S45°14'03"W	35.00'
L7	S06°29'27"W	2628.59'	L34	N00°20'23"W	243.62'
L8	N89°06'36"W	1280.78'	L35	S77°39'36"E	241.96'
L9	S89°39'37"W	17.00'	L36	S06°27'24"W	805.98'
L10	S44°45'57"E	35.71'	L37	N83°32'36"W	45.67'
L11	S89°11'32"E	757.22'	L38	N06°27'24"E	14.47'
L12	N00°20'23"W	677.49'	L39	S89°39'37"W	108.58'
L13	N12°20'24"E	146.98'	L40	S06°27'24"W	944.48'
L14	N13°25'54"W	96.71'	L41	N83°32'36"W	75.85'
L15	N01°34'06"E	46.86'	L42	S86°10'07"W	146.50'
L16	N14°51'40"E	114.68'	L43	S89°16'26"E	284.76'
L17	N08°26'43"E	65.49'	L44	S89°16'26"E	224.53'
L18	N08°46'46"W	95.54'	L45	N00°20'23"W	449.82'
L19	N04°53'04"W	99.65'	L46	S89°11'32"E	665.15'
L20	N47°04'45"W	37.04'	L47	S00°48'28"W	146.25'
L21	N00°17'23"W	51.01'	L48	N89°11'32"W	86.05'
L22	S06°29'27"W	18.09'	L49	S00°20'23"E	104.27'
L23	S48°31'53"W	37.04'	L50	N89°11'32"W	281.95'
L24	S06°20'12"W	90.29'	L51	S00°20'23"E	301.57'
L25	S06°46'46"E	103.15'	L52	N86°26'45"W	277.81'
L26	S08°26'43"W	65.49'	L53	N00°20'23"W	162.35'
L27	S14°51'40"W	114.68'			



Parcel Name	Square Feet	Acres
LOT 1	273,502	6.279
LOT 2	853,813	19.601
LOT 3	161,964	3.718
LOT 4	108,396	2.488
LOT 5	241,013	5.533
LOT 6	971,409	22.300
Public R.O.W. Dedication	211,772	4.862
Public Highway R.O.W. Dedication	96,372	2.258
Total Area	2,920,241	67.039

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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP

PROJ. MGR.: **JD**
DRAWN BY: **LSM**
DATE: **03/24/23**
SCALE: **1"=200'**

SHEET **4** OF **32**
ALN.SMWI01

Dwg Name: P:\Alnsmwi01.dwg Final Drawings Certified Survey Map\CSM_1\02-05-ALNSMWI-CSM_1.dwg Updated By: LMery

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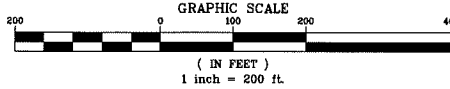
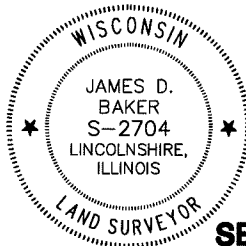
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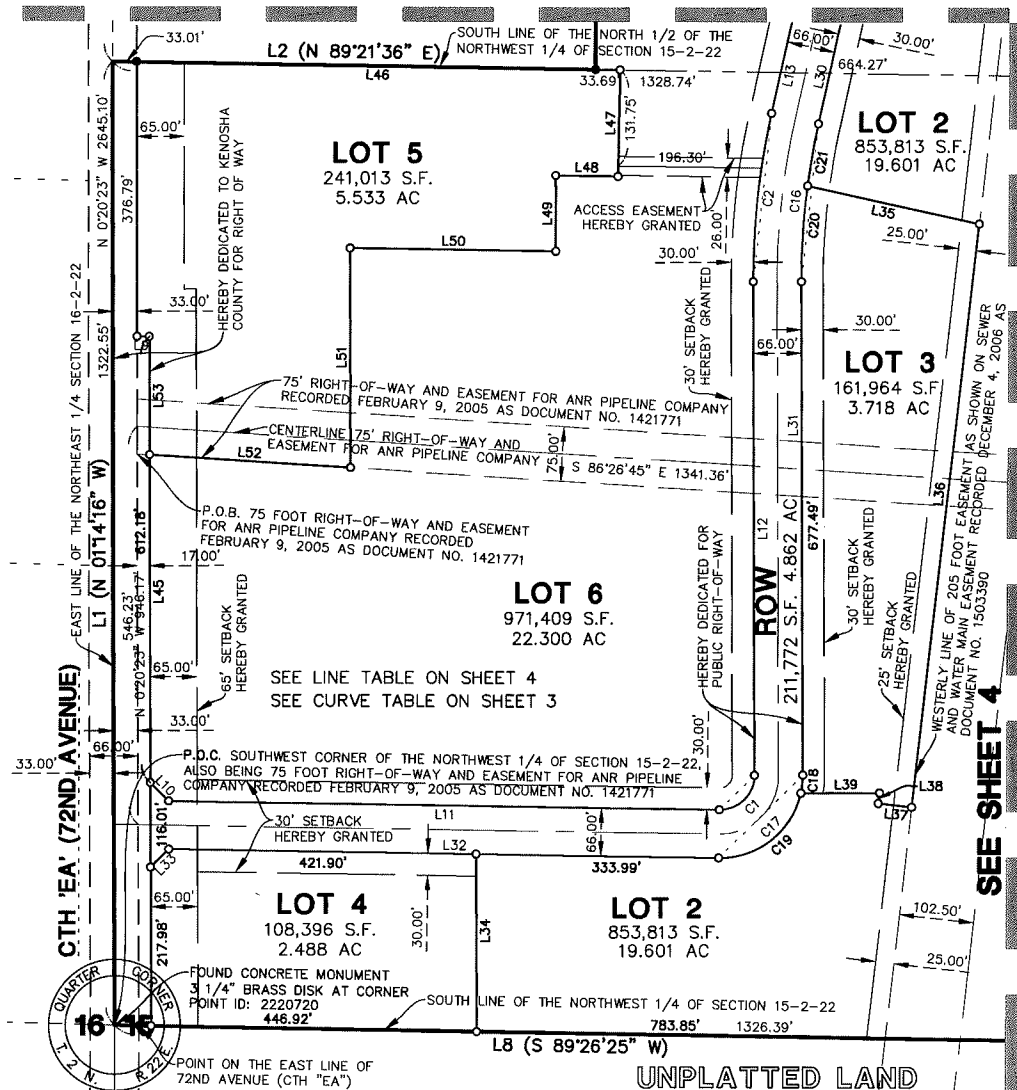
PREPARED BY:

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE SHEET 2



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VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	5 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=200'	

Dwg Name: P:\Ansmw101.dwg \Surf\Final Drawings\Certified Survey Map\CSM_102-05-ALNSMWI-01.dwg Updated By: L.Mary

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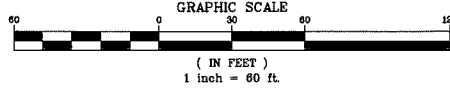
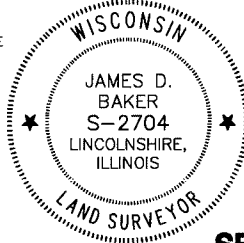
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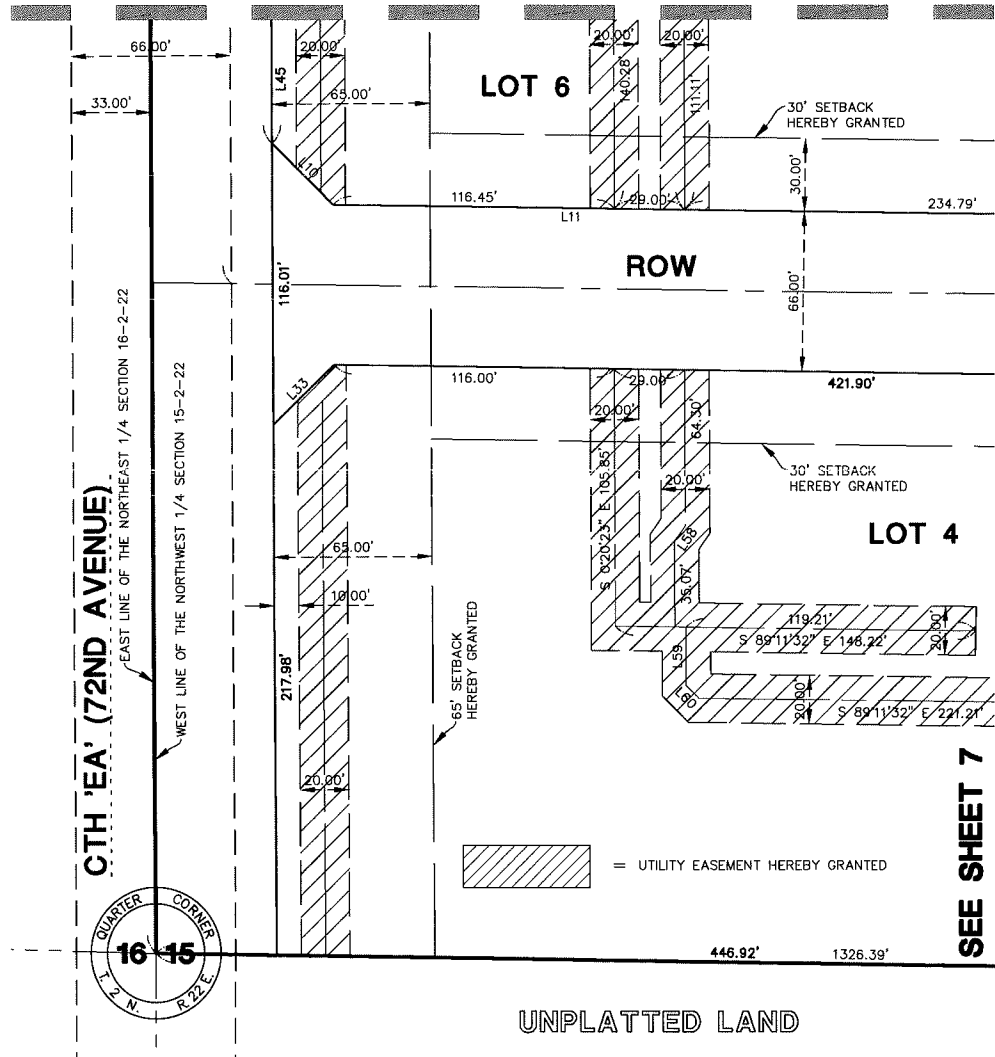
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 13



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	6 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmwi01.dwg \Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMory 14:41

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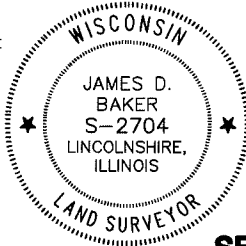
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PREPARED BY:

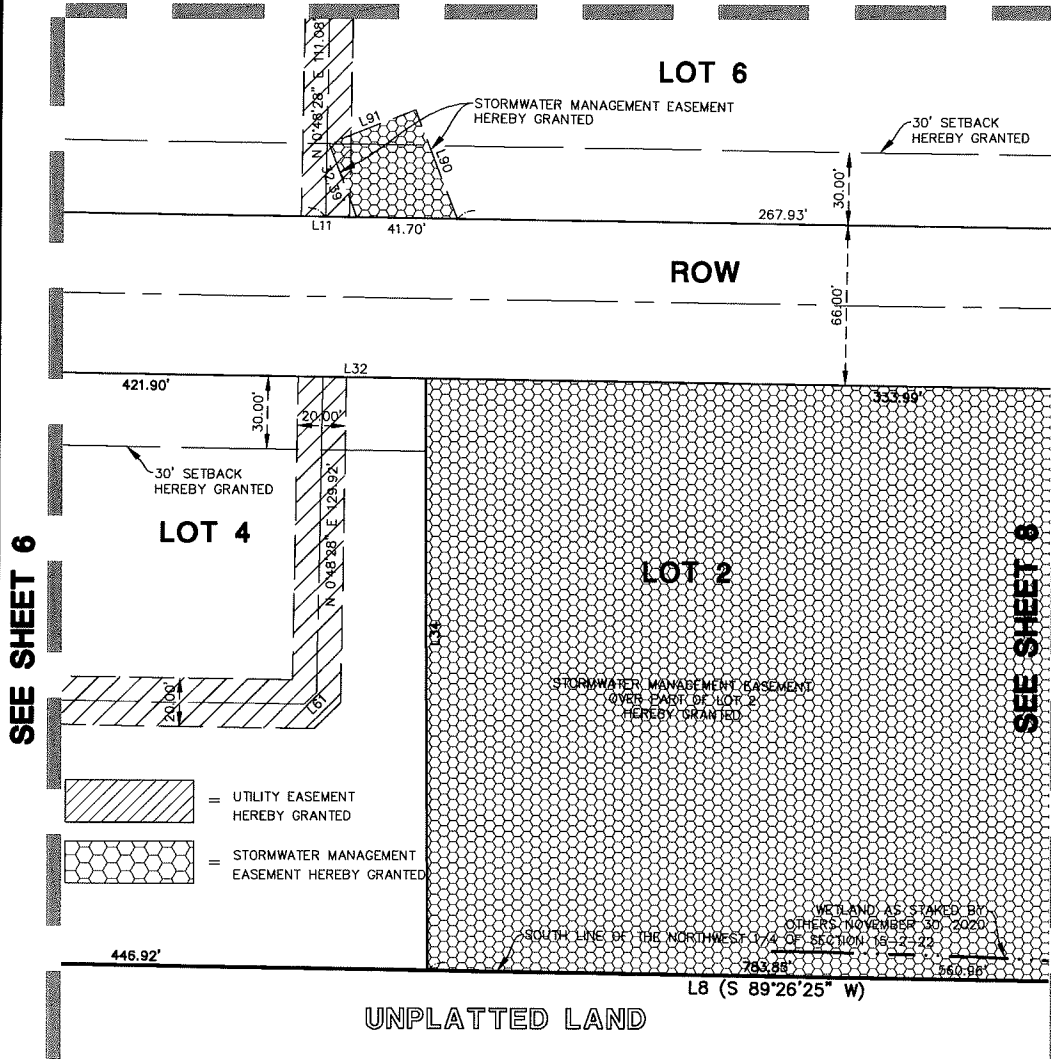
JAMES D. BAKER,

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DATE: MARCH 24, 2023

SEE SHEET 12

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP

PROJ. MGR.: **JD**
DRAWN BY: **LSM**
DATE: **03/24/23**
SCALE: **1"=80'**

SHEET
7 OF **32**
ALN.SMWI01

14:41 Dwg Name: P:\almsmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: L.Mary

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

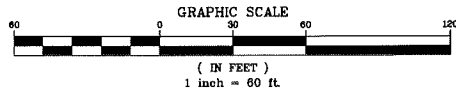
BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

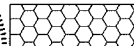
LEGEND:

- = EX./PROP. PROPERTY LINE
- - - = EX. SECTION LINE
- - - = EX. RIGHT OF WAY LINE
- - - = EX. LOT LINE LINE
- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



= UTILITY EASEMENT HEREBY GRANTED



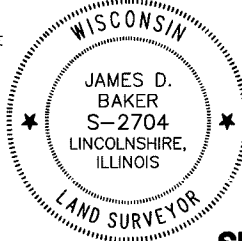
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PREPARED BY:

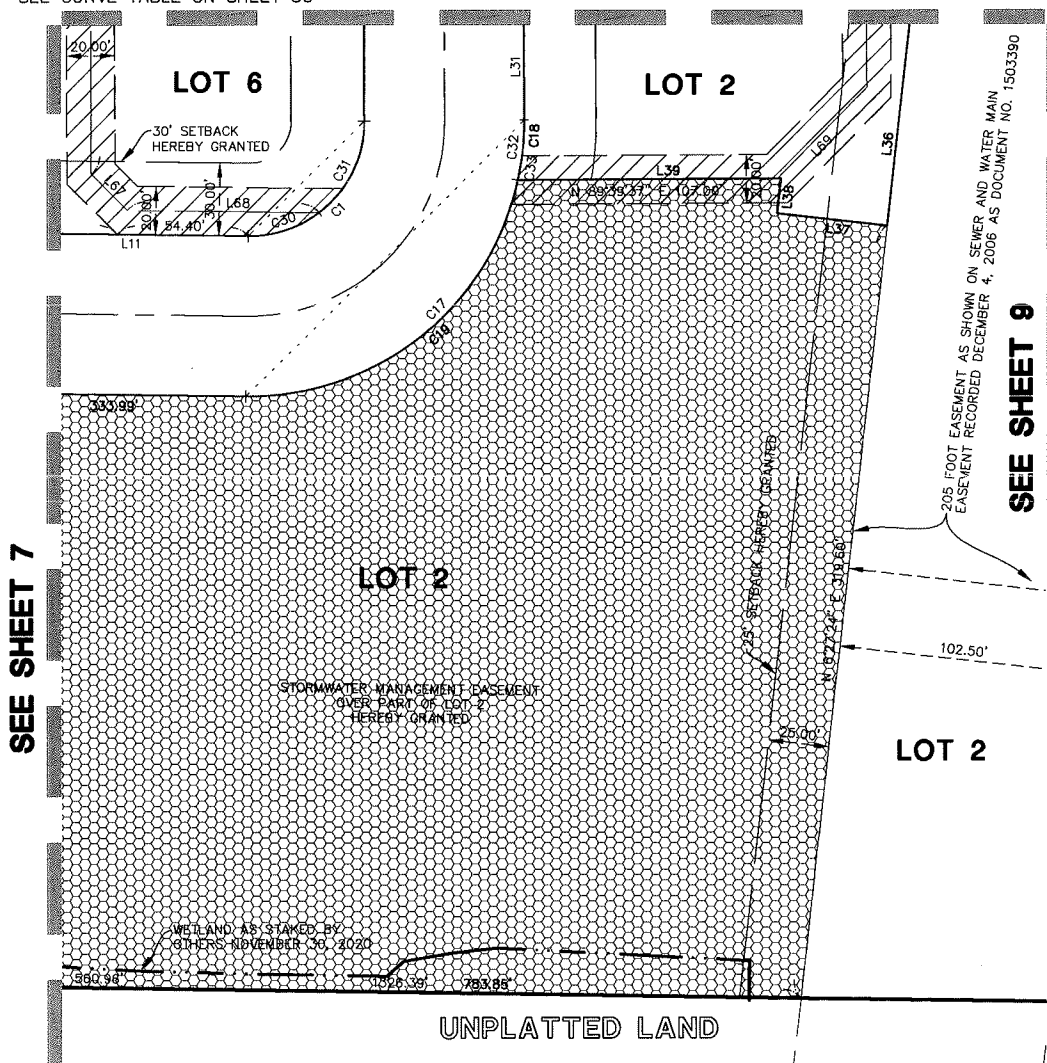
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023



SEE SHEET 11



SEE SHEET 7

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	8 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

14: 41 Dwg Name: P:\Ansmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMori

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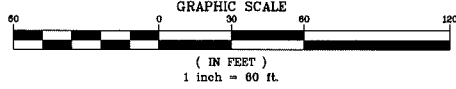
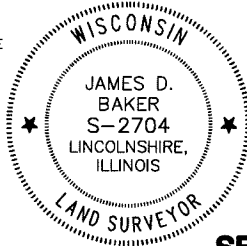
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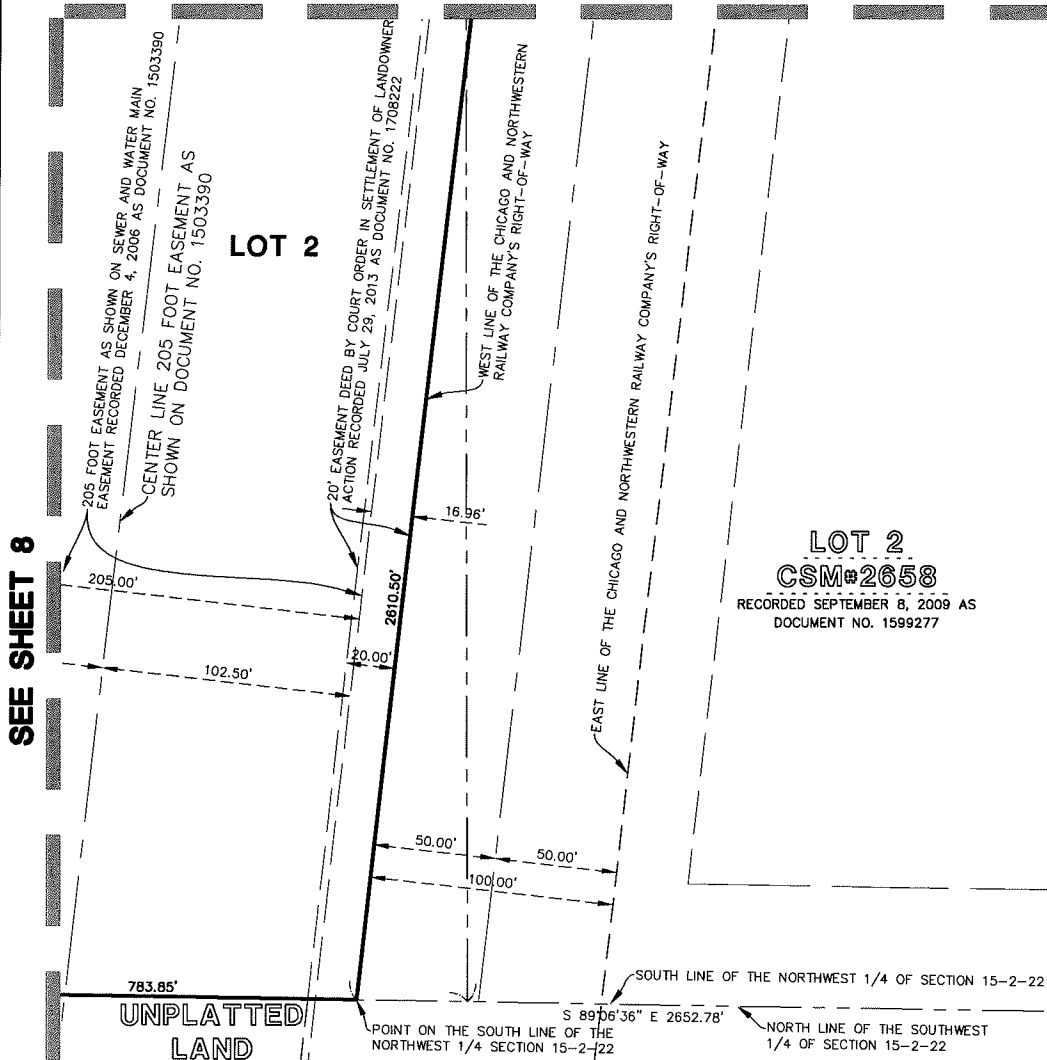
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- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 10



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: <u>JDB</u>	SHEET
DRAWN BY: <u>LSM</u>	9 OF 32
DATE: <u>03/24/23</u>	
SCALE: <u>1"=60'</u>	ALN.SMW101

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CERTIFIED SURVEY MAP NO. _____

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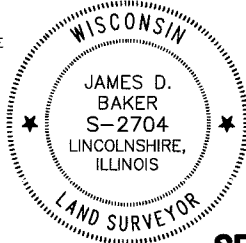
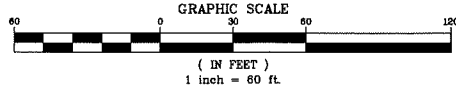
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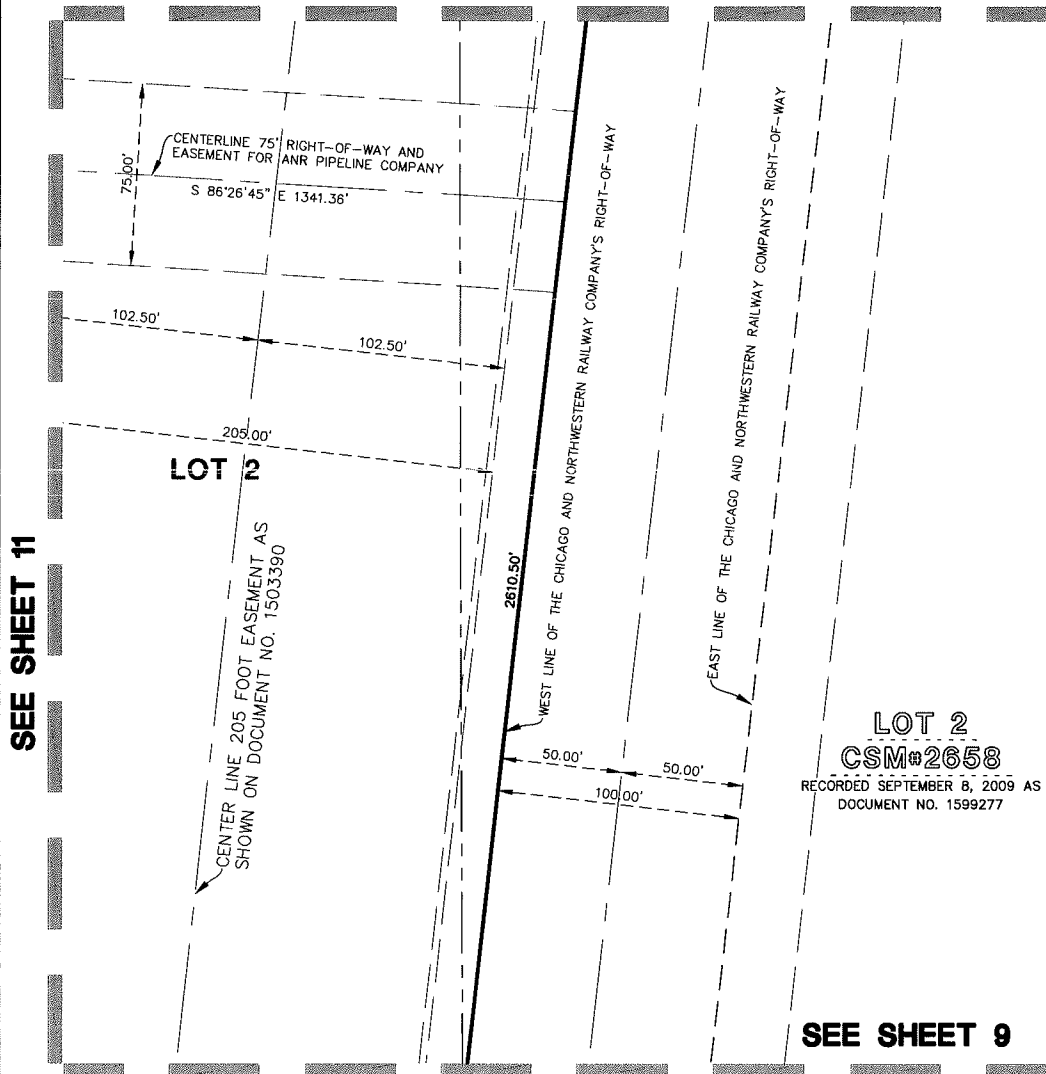
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SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE SHEET 17



SEE SHEET 11

LOT 2
CSM#2658
RECORDED SEPTEMBER 8, 2009 AS
DOCUMENT NO. 1599277

SEE SHEET 9

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	10 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\almsmw101\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: L.Wary 14:41

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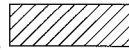
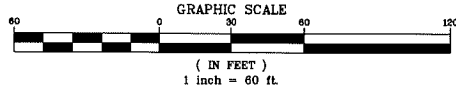
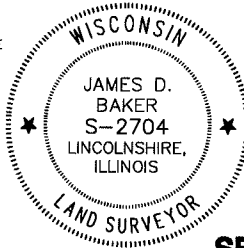
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= UTILITY EASEMENT HEREBY GRANTED

PREPARED BY:

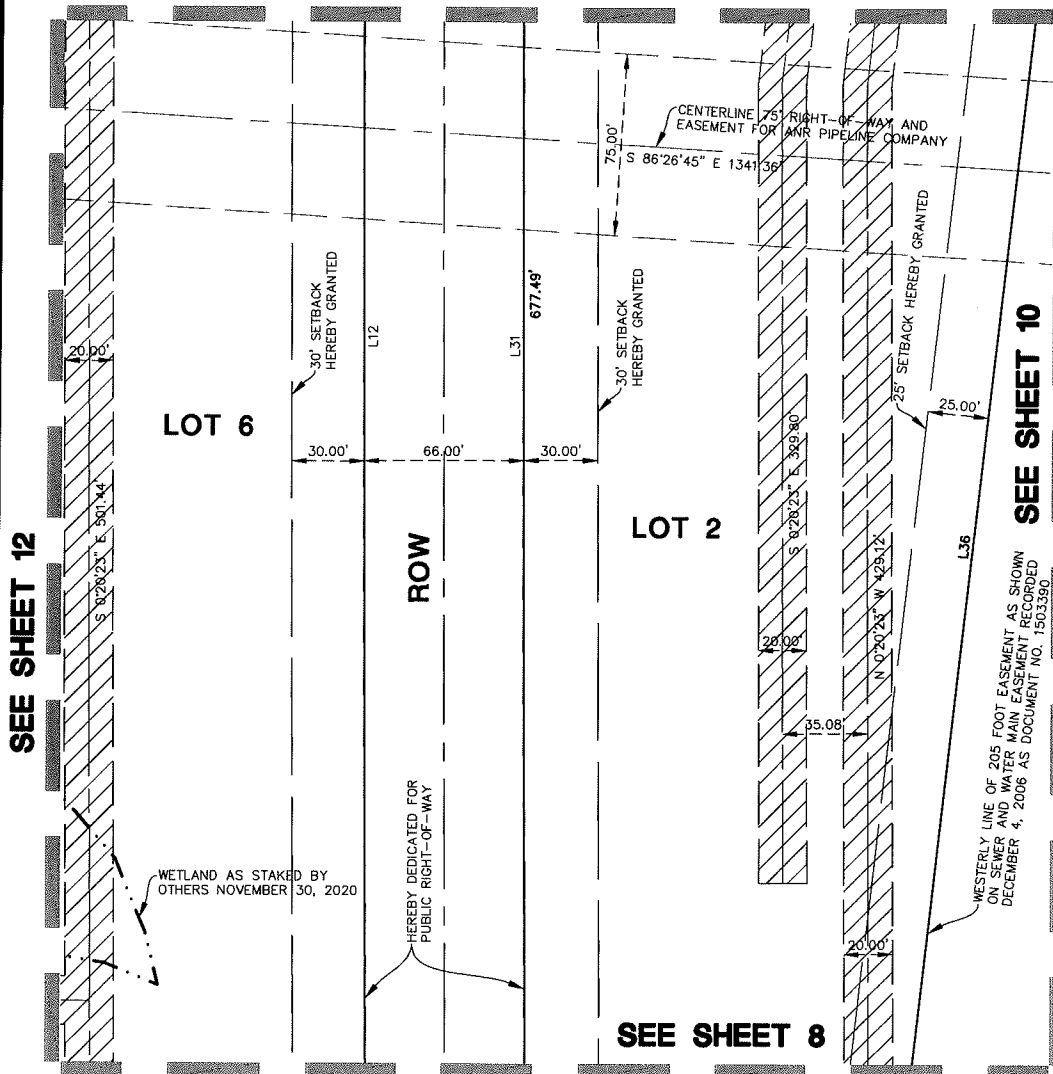
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 16



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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: JDB

SHEET

DRAWN BY: LSM

DATE: 03/24/23

SCALE: 1"=60'

11

OF

32

ALN.SMWI01

14: 41 Dwg Name: P:\almsmw\01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW-CSM_1.dwg Updated By: L.Wory

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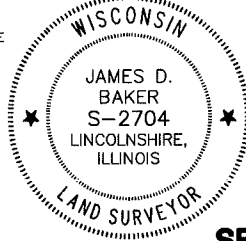
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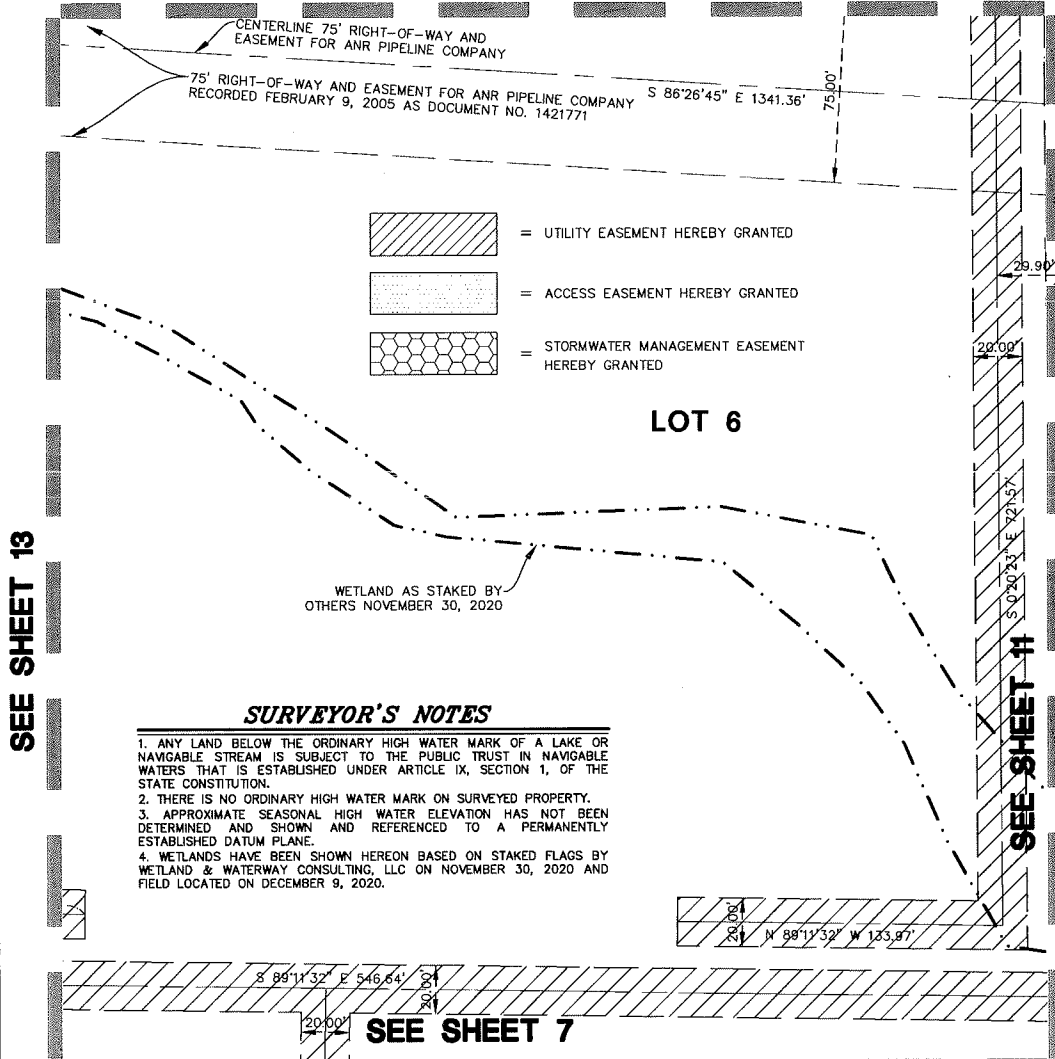


PREPARED BY: _____

JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE SHEET 15

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



SURVEYOR'S NOTES

1. ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
2. THERE IS NO ORDINARY HIGH WATER MARK ON SURVEYED PROPERTY.
3. APPROXIMATE SEASONAL HIGH WATER ELEVATION HAS NOT BEEN DETERMINED AND SHOWN AND REFERENCED TO A PERMANENTLY ESTABLISHED DATUM PLANE.
4. WETLANDS HAVE BEEN SHOWN HEREON BASED ON STAKED FLAGS BY WETLAND & WATERWAY CONSULTING, LLC ON NOVEMBER 30, 2020 AND FIELD LOCATED ON DECEMBER 9, 2020.

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	12 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Ansmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMorly

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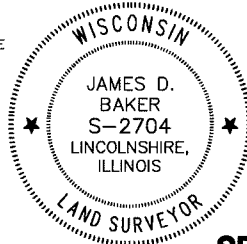
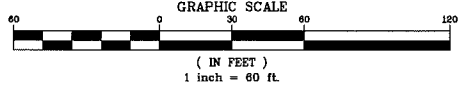
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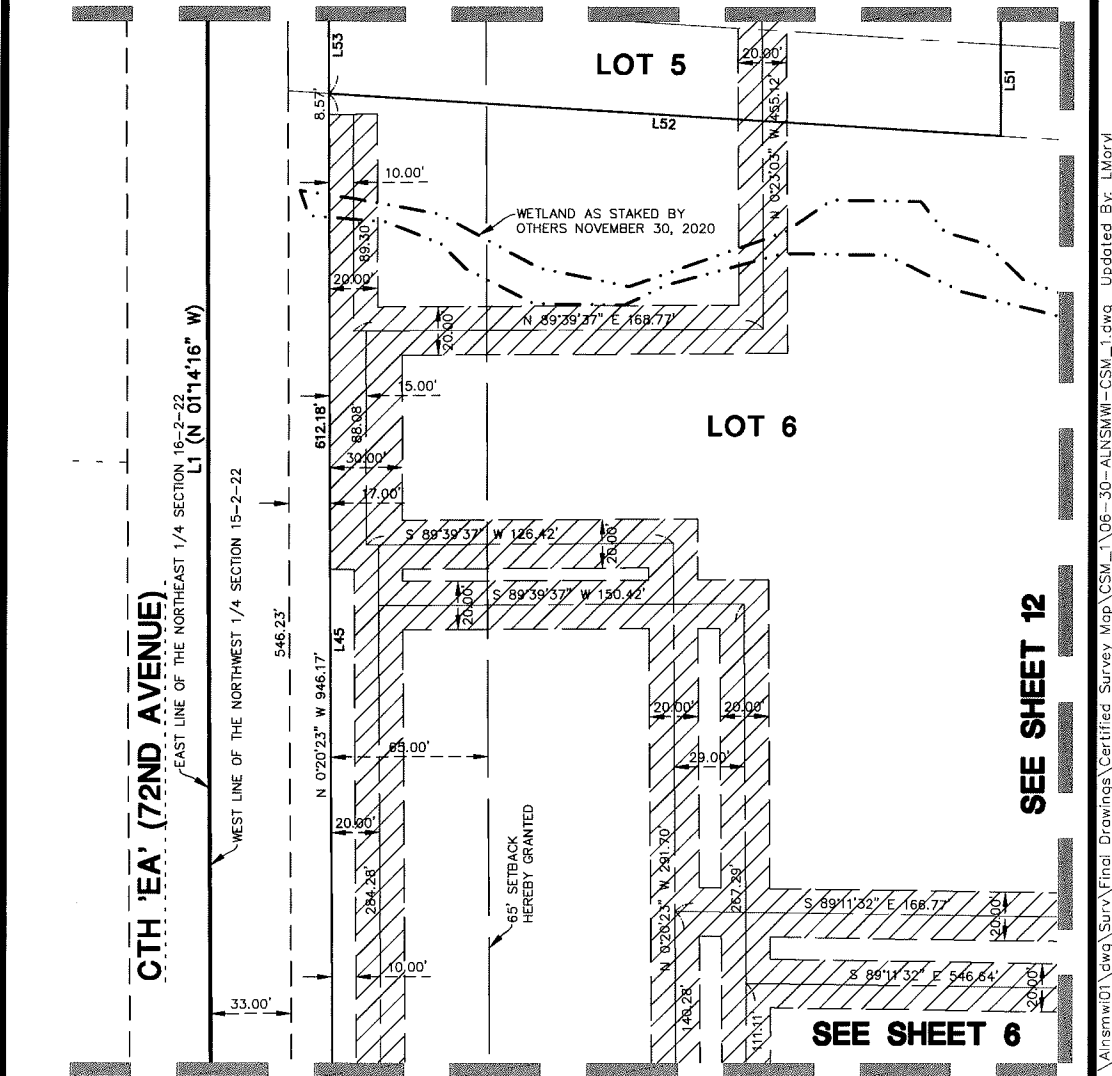
SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



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PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	13 OF 32
DATE: 03/24/23	ALN.SMW101
SCALE: 1"=60'	

Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW1-CSM_1.dwg Updated By: LMory 14:41

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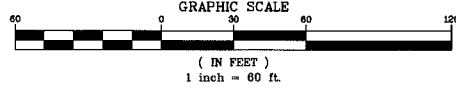
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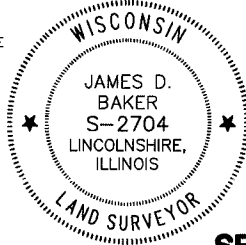
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SEE LINE TABLE ON SHEET 28
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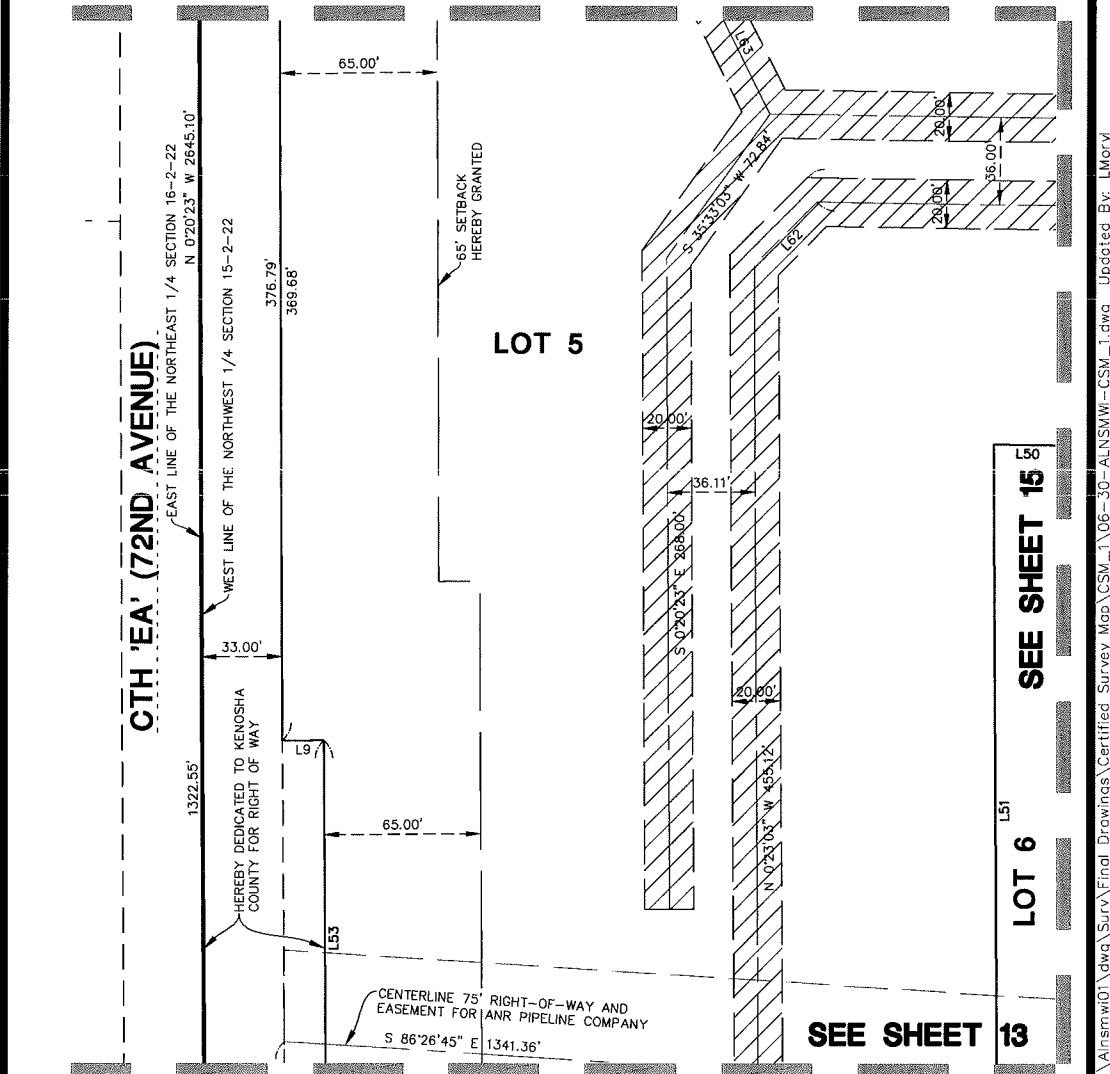
PREPARED BY:

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

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DRAWN BY: LSM
DATE: 03/24/23
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SHEET
14 OF 32
ALN.SMWI01

Dwg Name: P:\Alnsmwi01\dwg\Survey\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: Lwory

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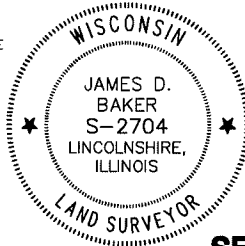
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PREPARED BY:

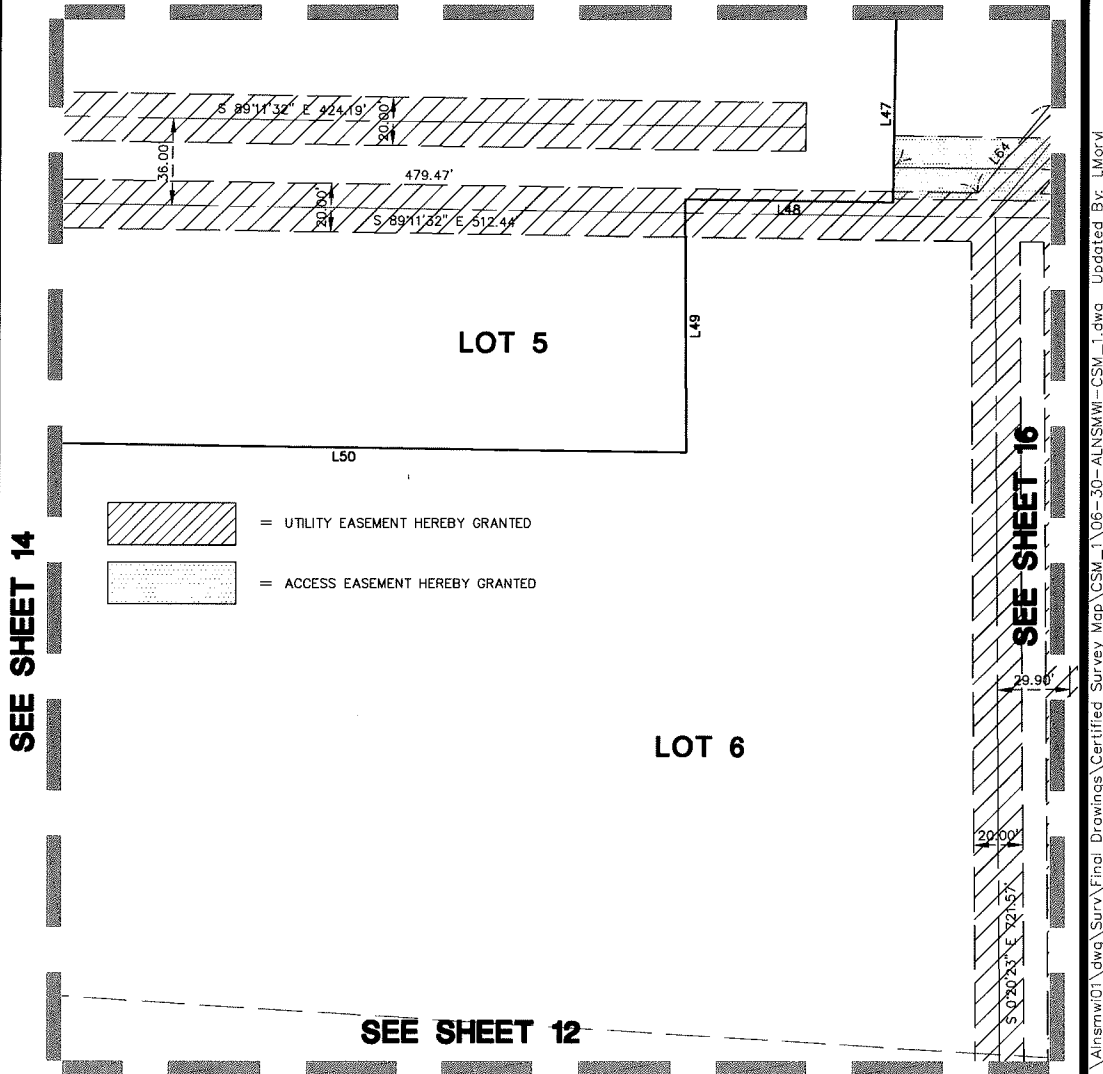
JAMES D. BAKER,

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DATE: MARCH 24, 2023

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SEE CURVE TABLE ON SHEET 30



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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.:

JDB

DRAWN BY:

LSM

DATE:

03/24/23

SCALE:

1"=60'

SHEET

15

OF

32

ALN.SMWI01

Dwg Name: P:\almswi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMary 14: 41

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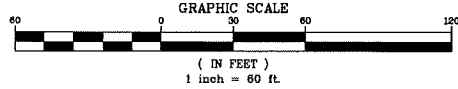
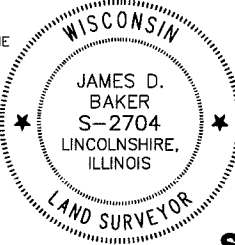
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BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

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- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



- = UTILITY EASEMENT HEREBY GRANTED
- = ACCESS EASEMENT HEREBY GRANTED

PREPARED BY:

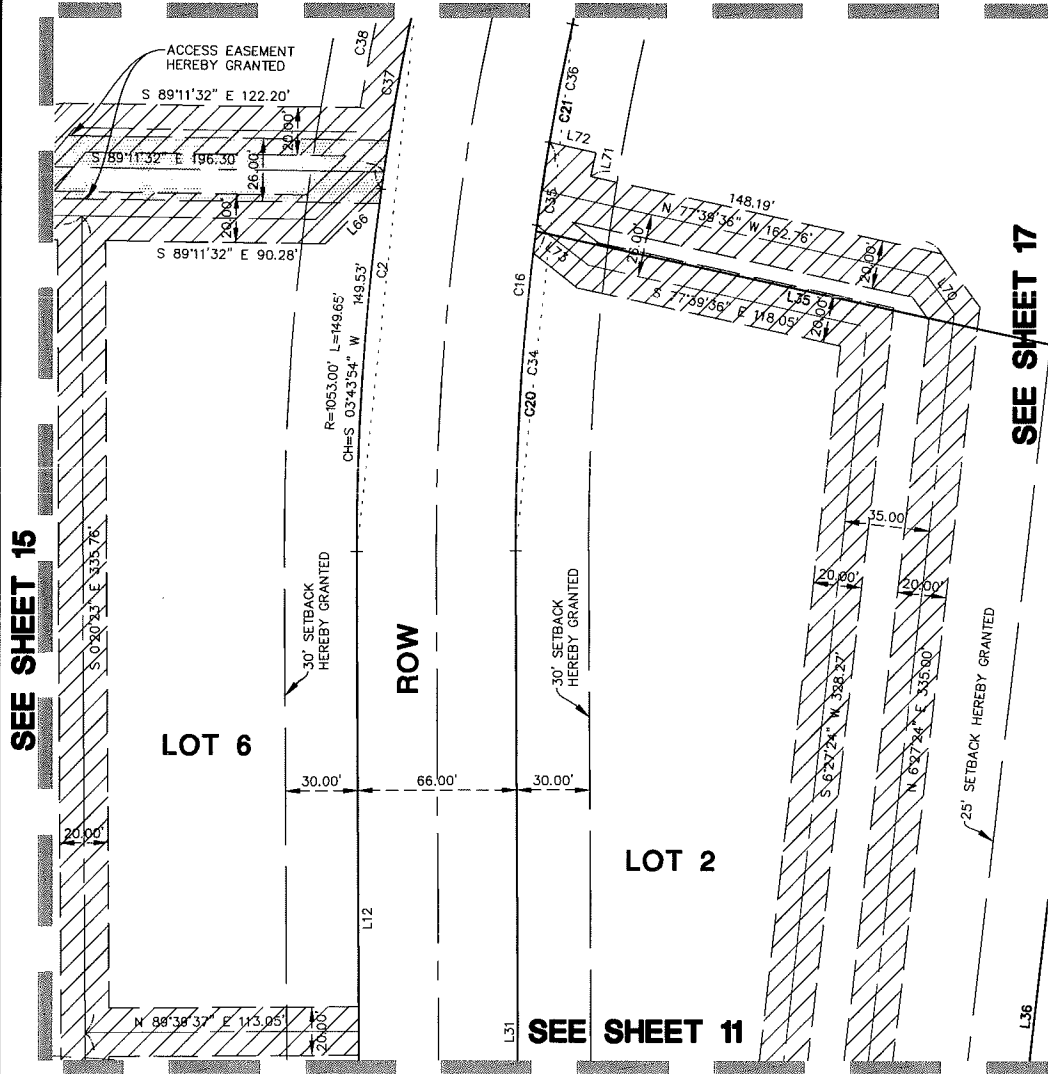
JAMES D. BAKER.

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 19



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	16 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmwi01\dwg\Survey\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMoyl

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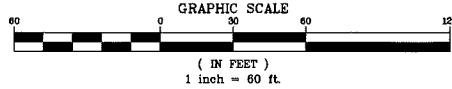
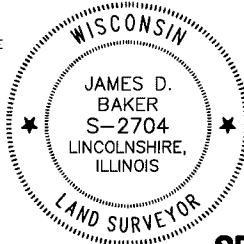
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- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
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PREPARED BY: _____

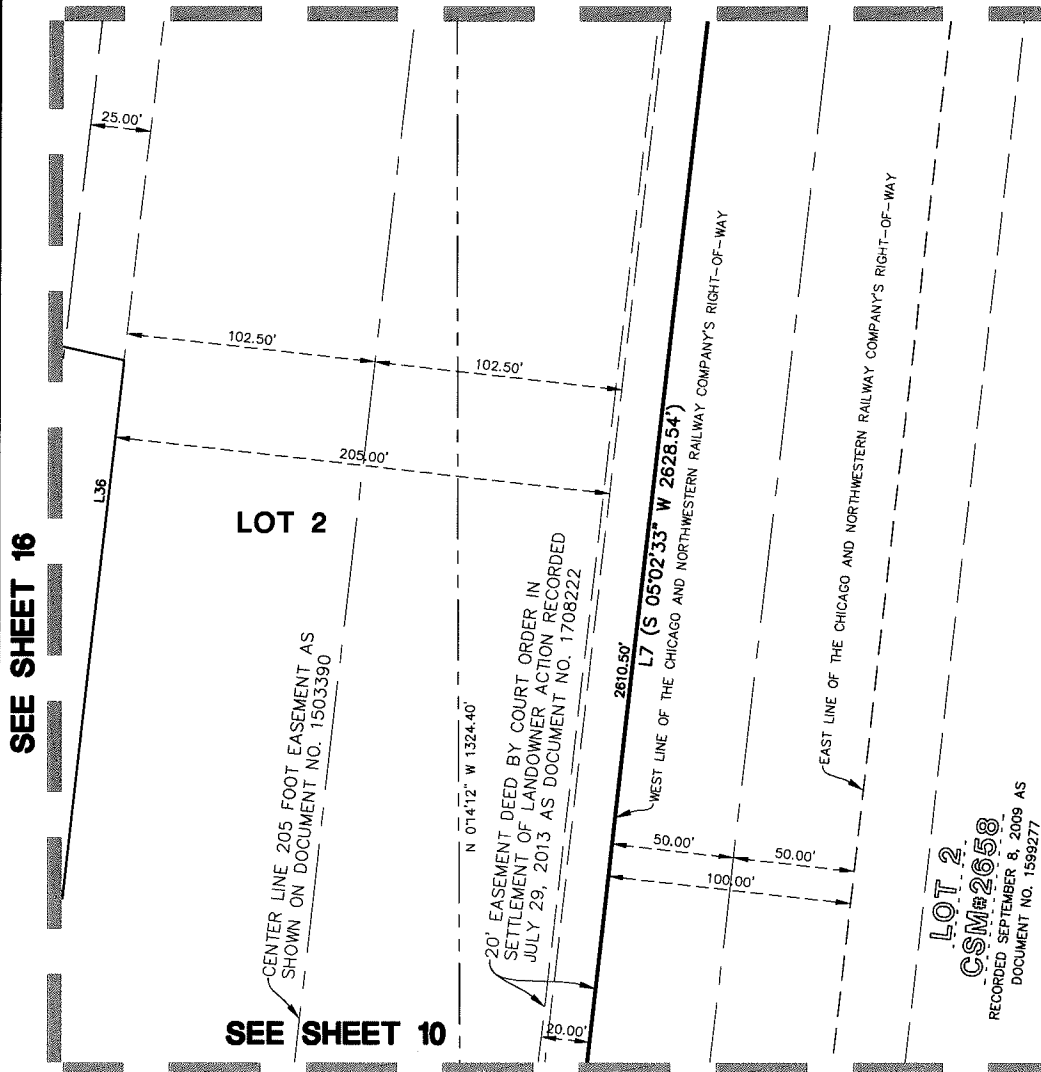
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 18



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	17 OF 32
DATE: 03/24/23	ALN.SMW101
SCALE: 1"=60'	

14: 41 Dwg Name: P:\Alnsmw\01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW1-CSM_1.dwg Updated By: LMory

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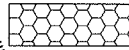
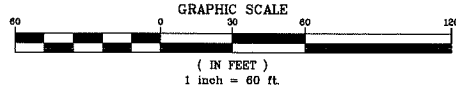
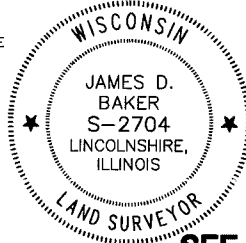
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- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



= STORMWATER MANAGEMENT EASEMENT HEREBY GRANTED

PREPARED BY: _____

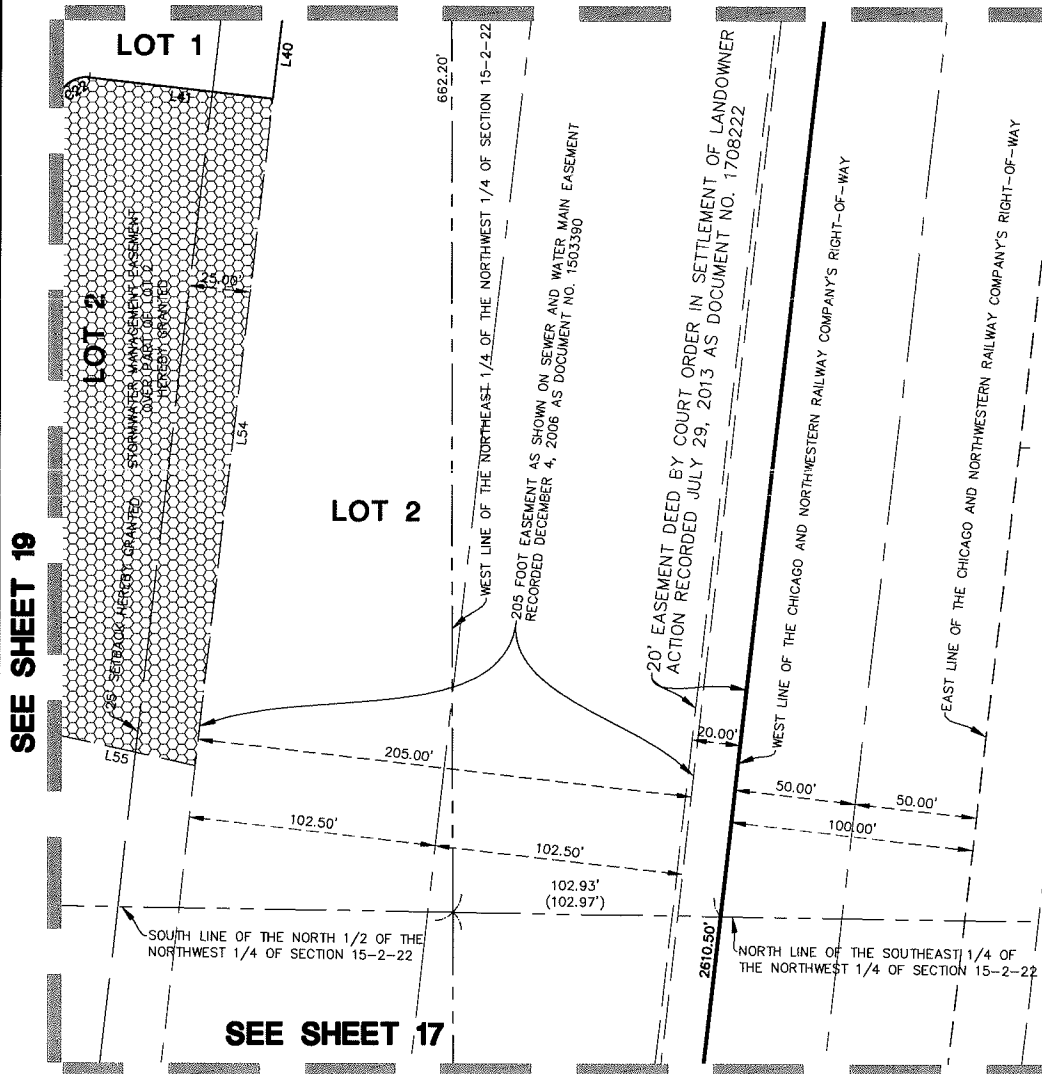
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 23 & 24



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	18 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LWory 14: 41

CERTIFIED SURVEY MAP NO. _____

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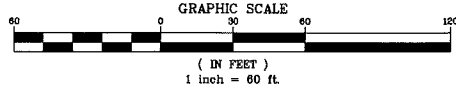
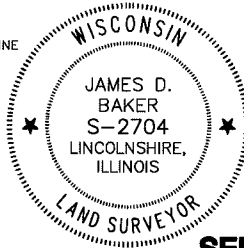
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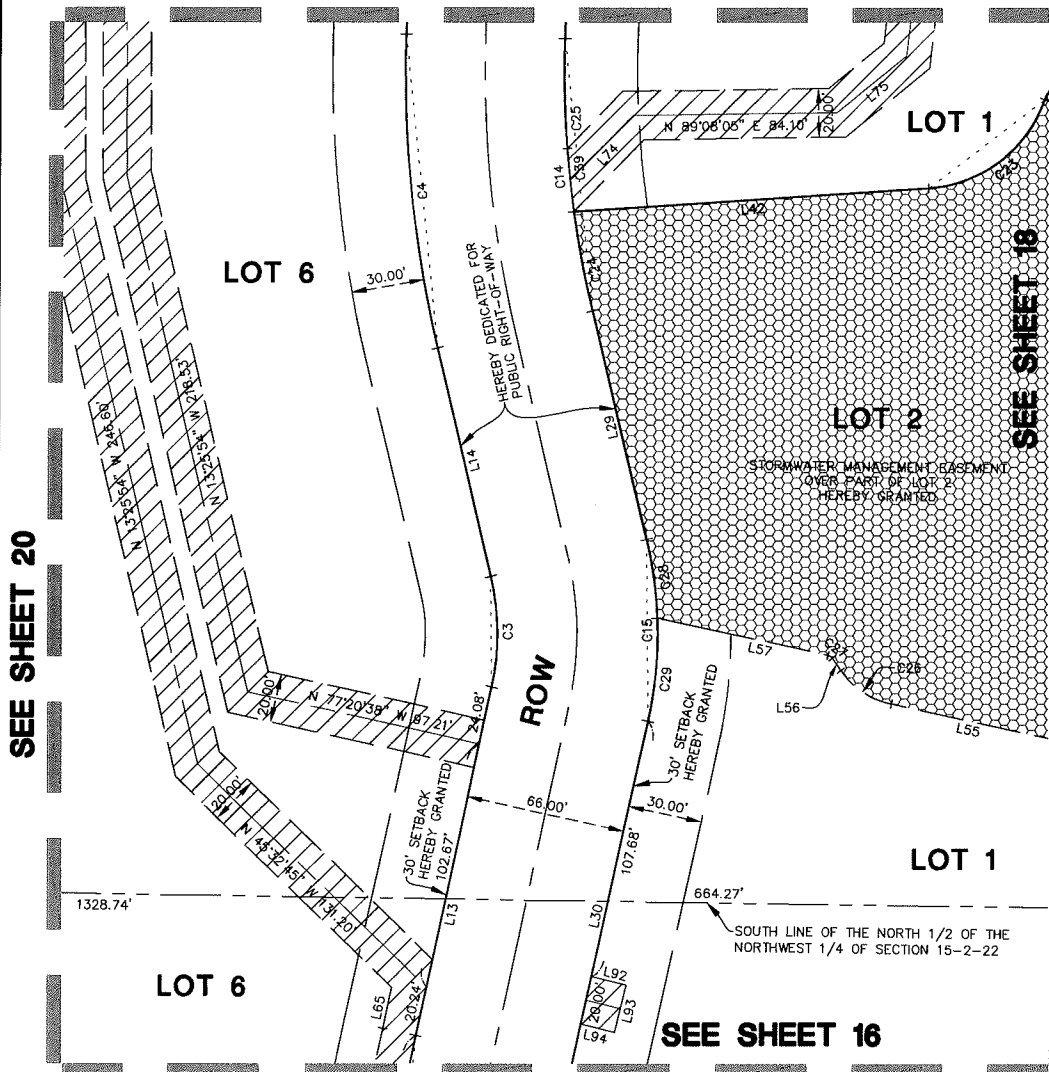
SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



- = UTILITY EASEMENT HEREBY GRANTED
- = STORMWATER MANAGEMENT EASEMENT HEREBY GRANTED

PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE SHEET 22 & 23



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**SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP**

PROJ. MGR.: JDB
DRAWN BY: LSM
DATE: 03/24/23
SCALE: 1"=60'
SHEET 19 OF 32
ALN.SMWI01

Dwg Name: P:\almsmw01\dwg\Survey\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW-CSM_1.dwg Updated By: LMW

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

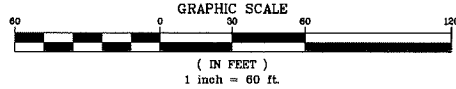
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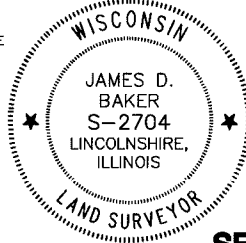
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SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



= UTILITY EASEMENT HEREBY GRANTED



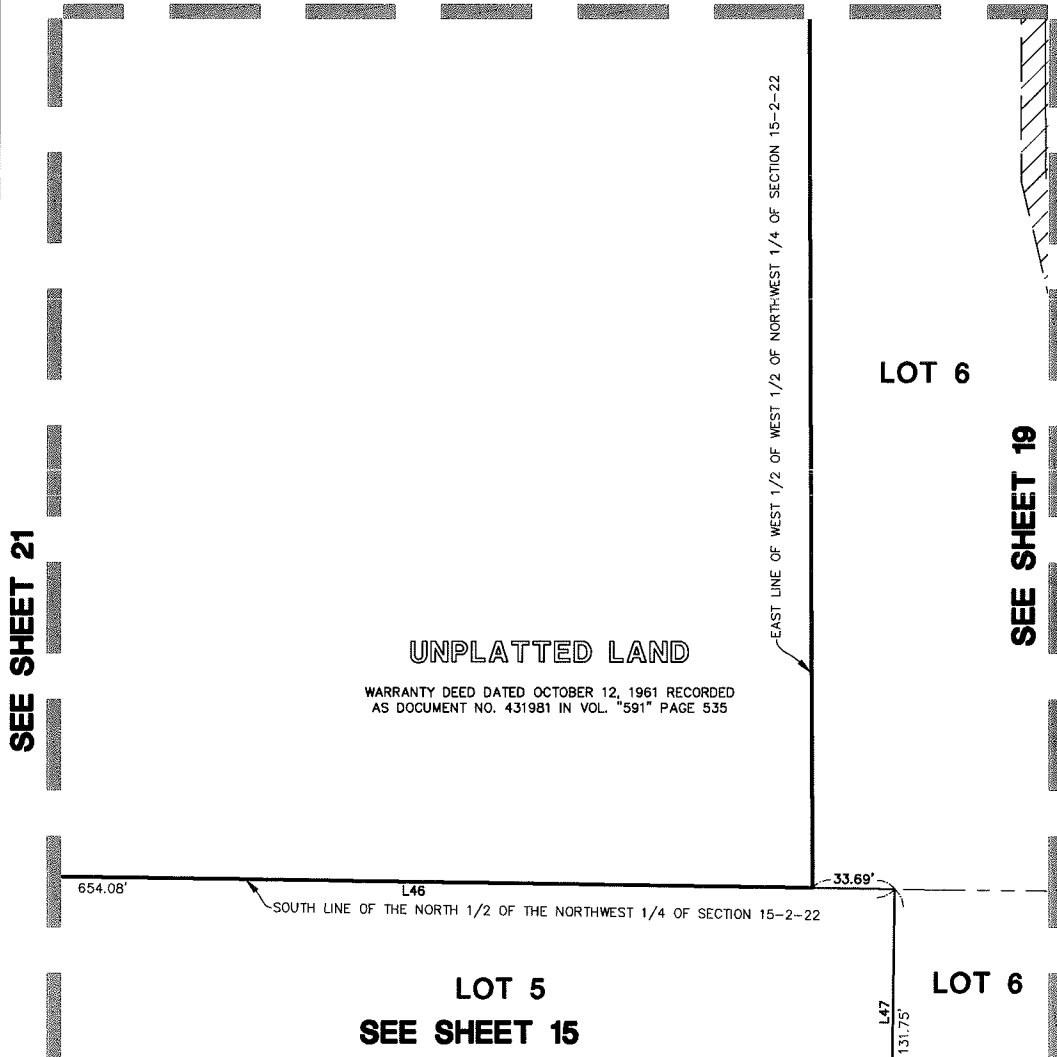
PREPARED BY:

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE SHEET 22



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	20 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

14: 41 Dwg Name: P:\almsw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSWIW-CSM_1.dwg Updated By: LMari

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

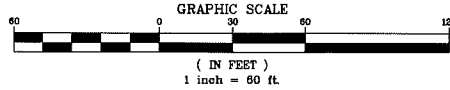
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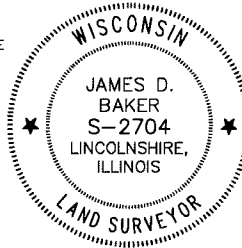
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SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

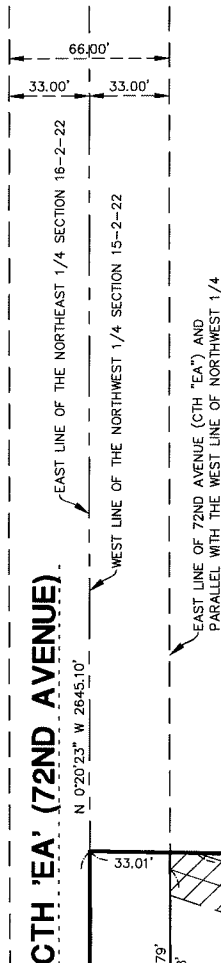


= UTILITY EASEMENT HEREBY GRANTED



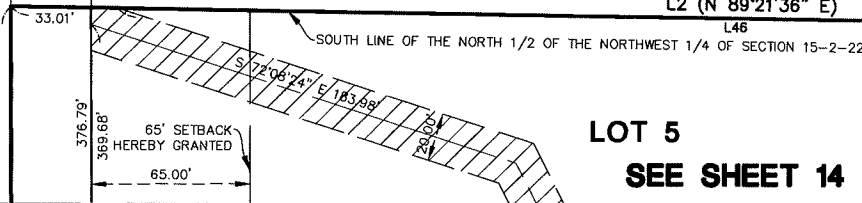
PREPARED BY: JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023



UNPLATTED LAND

WARRANTY DEED DATED OCTOBER 12, 1961 RECORDED
AS DOCUMENT NO. 431981 IN VOL. "591" PAGE 535



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	21 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

14: 41 Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: L.Wory

CERTIFIED SURVEY MAP NO. _____

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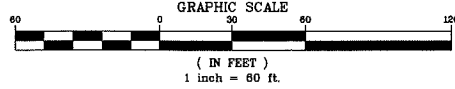
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SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30



— = UTILITY EASEMENT HEREBY GRANTED

PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

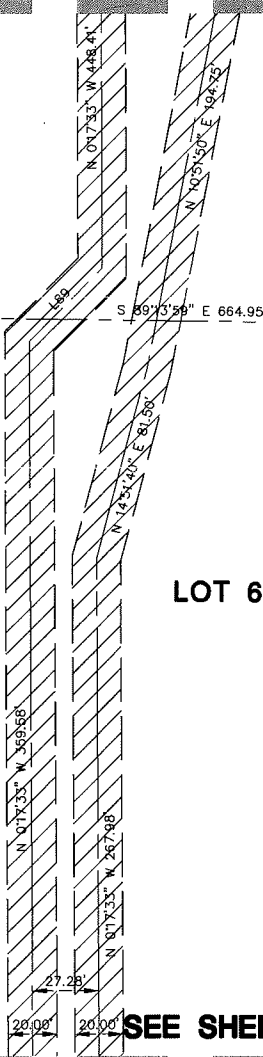
SEE SHEET 27

UNPLATTED LAND

WARRANTY DEED DATED OCTOBER 12, 1961 RECORDED AS DOCUMENT NO. 431981 IN VOL. "591" PAGE 535

L3 (N 01°44'15" W)

661.74'



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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP

PROJ. MGR.: JDB
DRAWN BY: LSM
DATE: 03/24/23
SCALE: 1"=60'

SHEET
22 OF **32**
ALN.SMW101

14:41 Dwg Name: P:\Alnsmw101.dwg (Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALN.SMW-1.dwg Updated By: LMoryl

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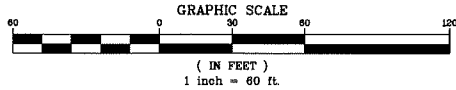
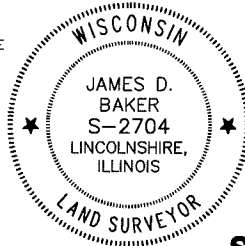
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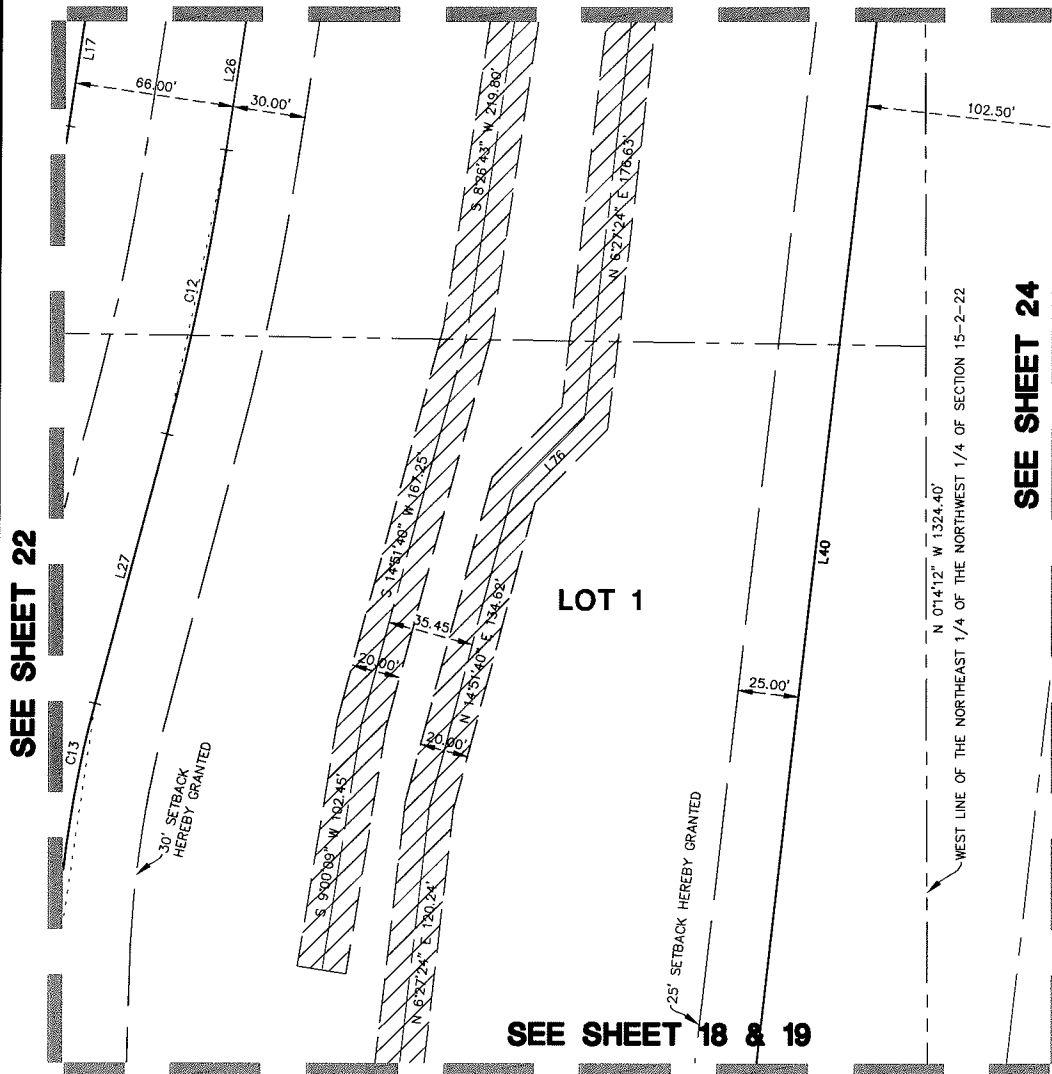


= UTILITY EASEMENT HEREBY GRANTED

PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

SEE SHEET 26



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	23 OF 32
DATE: 03/24/23	ALN.SMW101
SCALE: 1"=60'	

Dwg Name: P:\Alnsmw101\dwg\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW1-CSM_1.dwg Updated By: L.Mary

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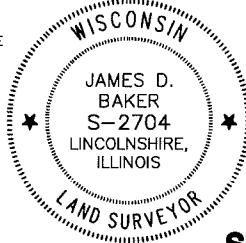
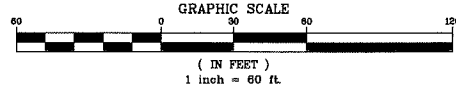
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- - - = EX./PROP. CENTERLINE



PREPARED BY:

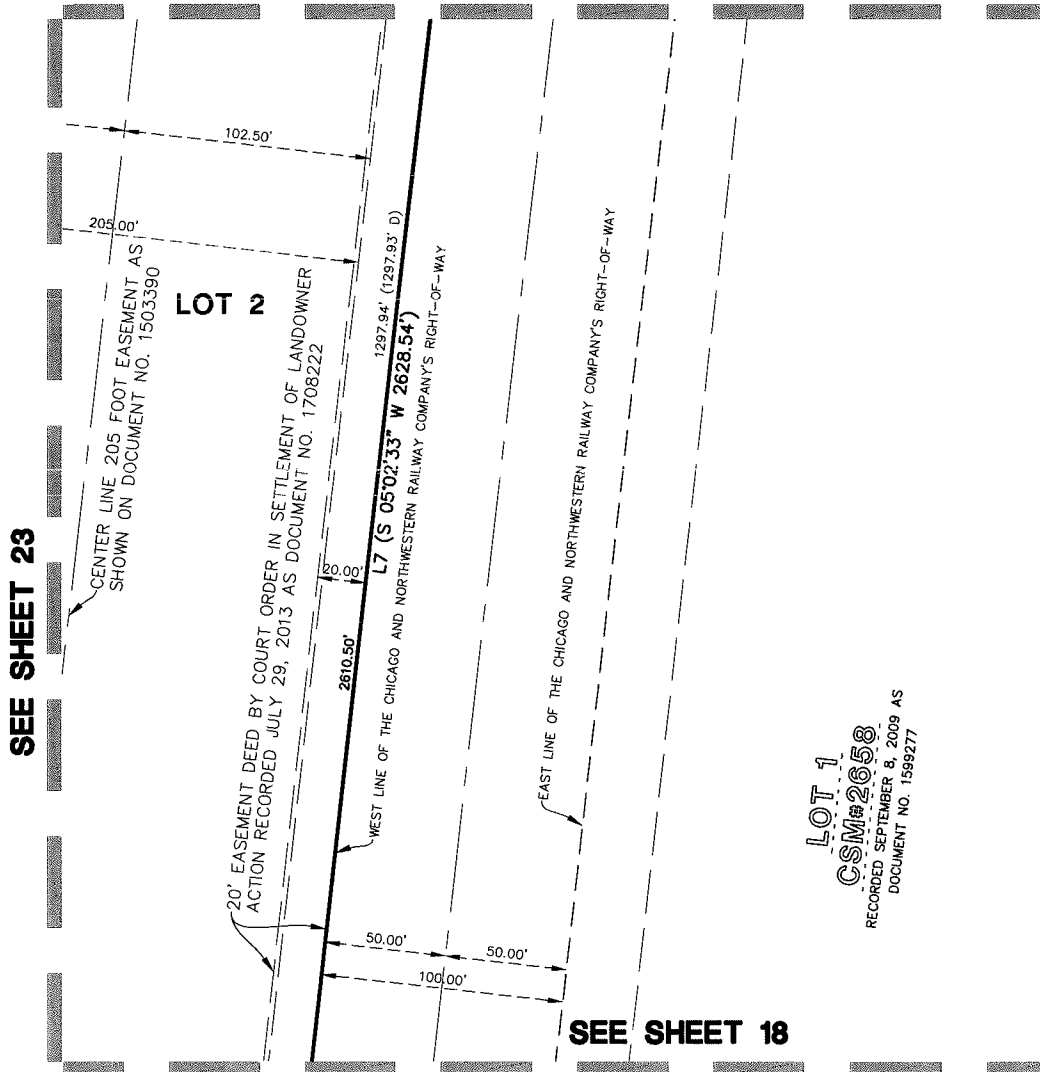
JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 28
SEE CURVE TABLE ON SHEET 30

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	24 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

14: 41 Dwg Name: P:\Alnsmw\01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMW-CSM_1.dwg Updated By: LMoray

CERTIFIED SURVEY MAP NO. _____

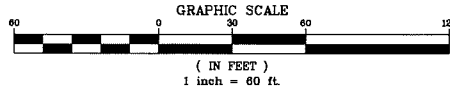
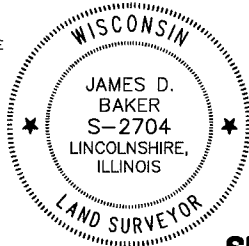
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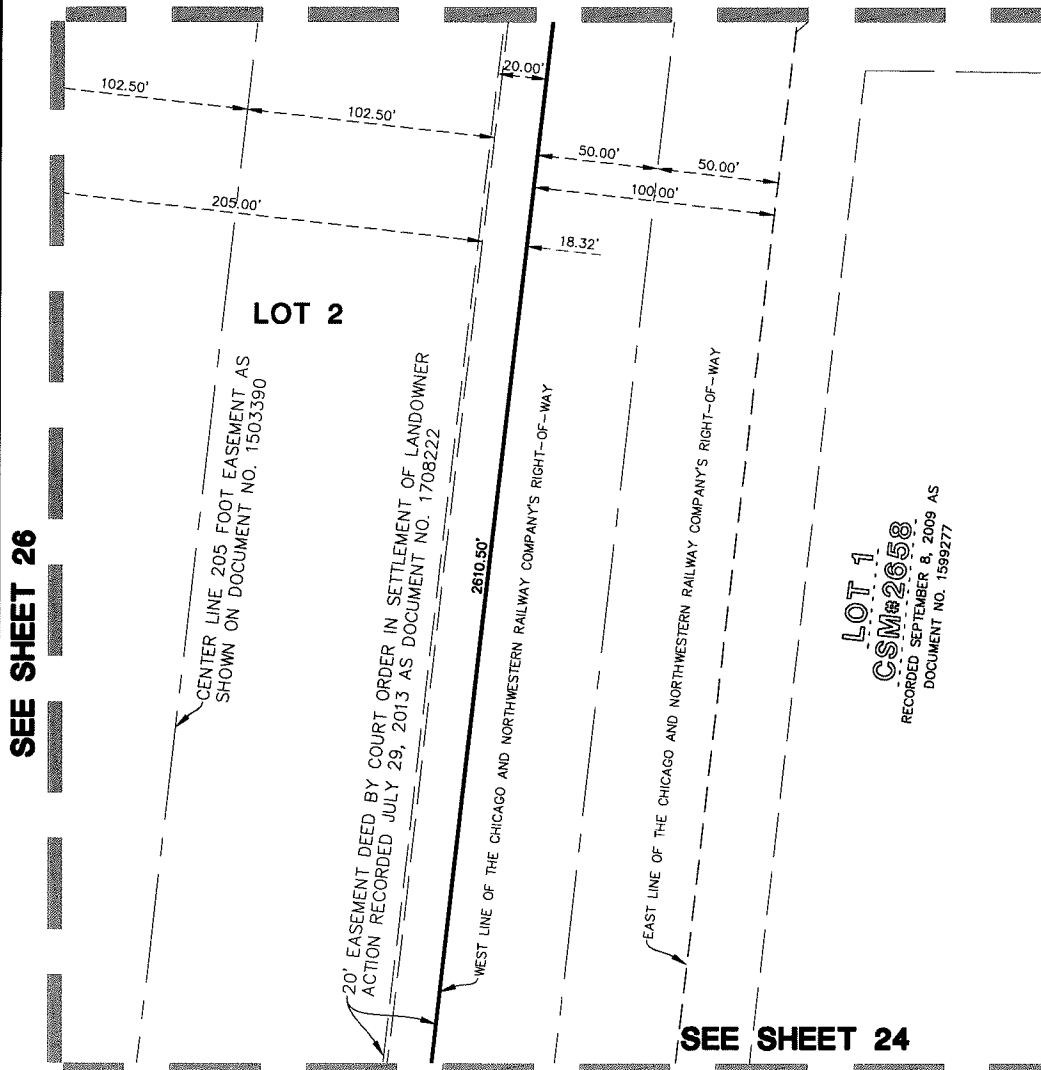
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SEE SHEET 30



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PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	25 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

14: 41 Dwg Name: P:\Ansmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMary

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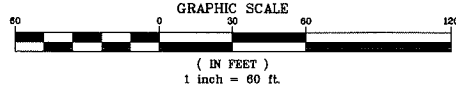
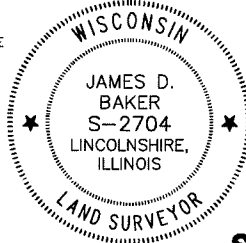
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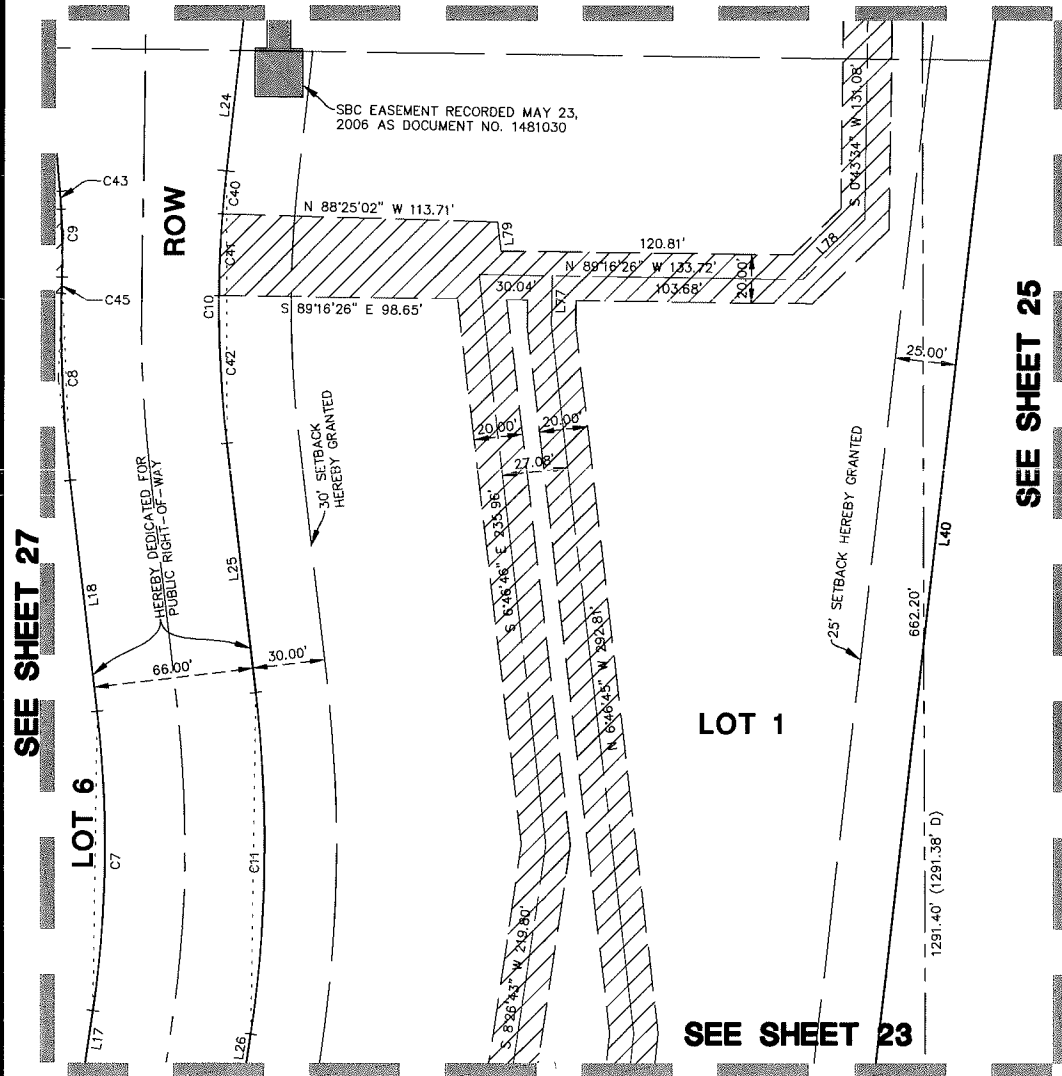
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VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JDB	SHEET
DRAWN BY: LSM	26 OF 32
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=60'	

Dwg Name: P:\Alnsmw01\dwg\Survey Map\CSM_1\06-30-ALNSMW-01.dwg Updated By: L.Worj

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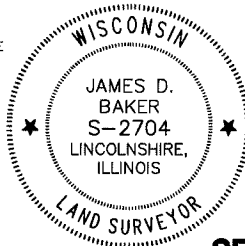
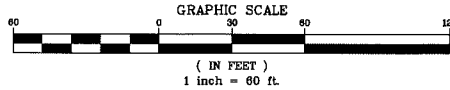
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SEE CURVE TABLE ON SHEET 30



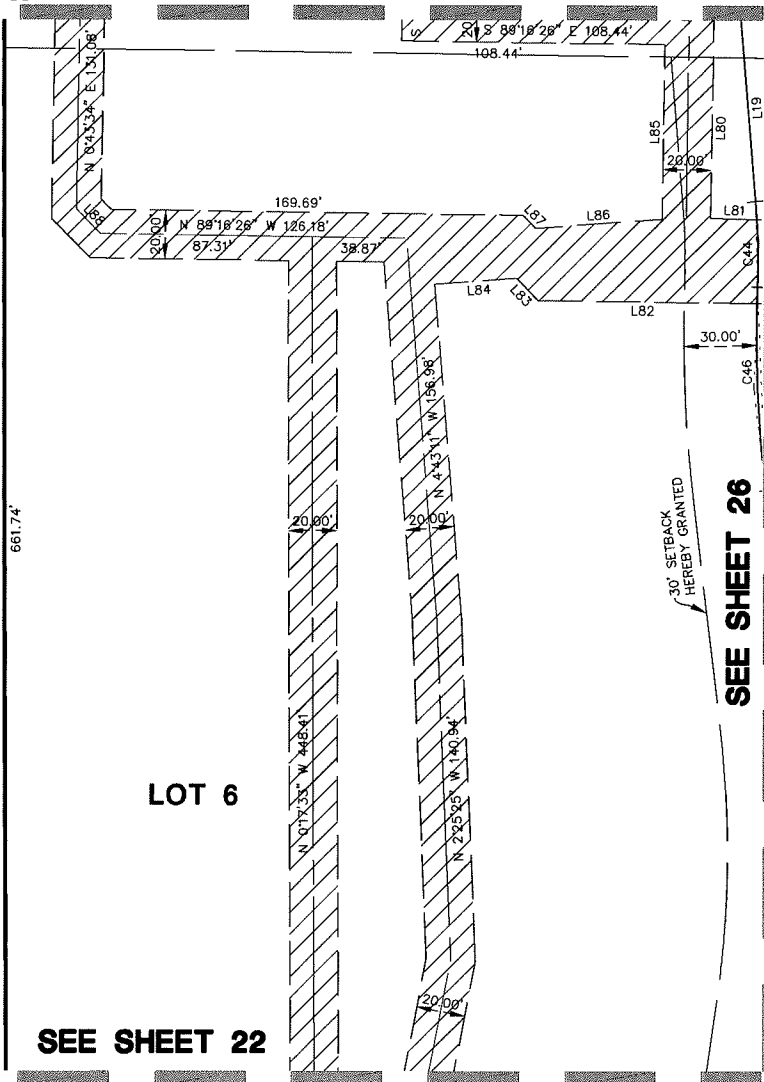
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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: JDB
DRAWN BY: LSM
DATE: 03/24/23
SCALE: 1"=60'

SHEET

27 OF 32

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Dwg Name: P:\almsmw01\dwg\Final Drawings\Certified Survey Map\CSM_1\08-30-ALNSMWI-CSM_1.dwg Updated By: L.Mory 14:41

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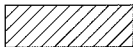
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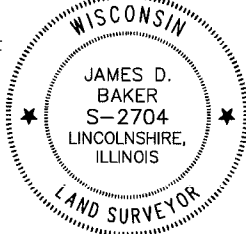
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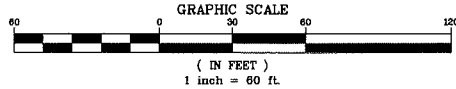
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SEE CURVE TABLE ON SHEET 30



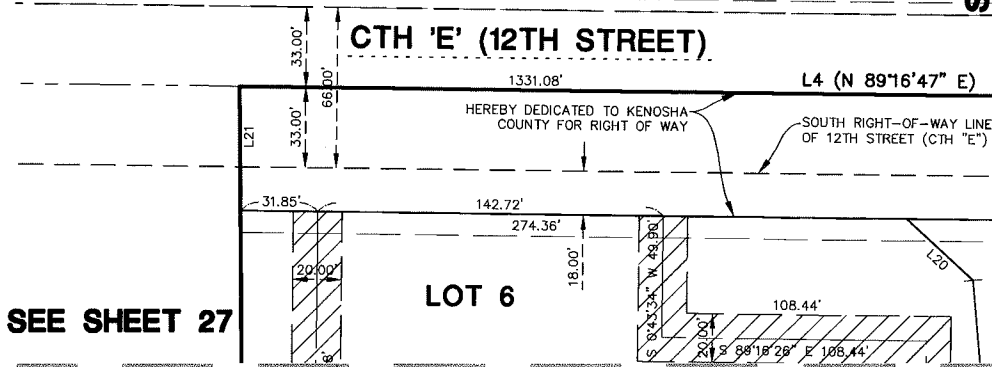
PREPARED BY:

JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023



LINE TABLE			LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	N00°20'23"W	132.55'	L33	S45°14'03"E	35.00'	L65	N12°20'24"E	17.22'
L2	S89°11'32"E	664.47'	L34	N00°20'23"W	243.62'	L66	N45°48'28"E	32.45'
L3	N00°17'33"W	1323.48'	L35	S77°39'36"E	241.96'	L67	N45°20'23"W	21.14'
L4	S89°16'26"E	665.54'	L36	S06°27'24"W	805.98'	L68	N89°11'32"W	79.35'
L5	S00°14'12"E	33.00'	L37	N83°32'36"W	45.67'	L69	N44°39'37"E	52.69'
L6	S89°16'26"E	262.37'	L38	N06°27'24"E	14.47'	L70	N35°36'06"W	19.33'
L7	S06°29'27"W	2628.59'	L39	S89°39'37"W	108.58'	L71	N12°20'24"E	10.00'
L8	N89°06'36"W	1280.78'	L40	S06°27'24"W	944.48'	L72	N77°39'36"W	19.63'
L9	S89°39'37"W	17.00'	L41	N83°32'36"W	75.85'	L73	S51°58'38"E	26.74'
L10	S44°45'57"E	35.71'	L42	S86°10'07"W	146.50'	L74	N43°44'43"E	37.18'
L11	S89°11'32"E	757.22'	L43	S89°16'26"E	284.76'	L75	N50°52'47"E	36.98'
L12	N00°20'23"W	677.49'	L44	S89°16'26"E	224.53'	L76	N44°51'40"E	41.89'
L13	N12°20'24"E	146.98'	L45	N00°20'23"W	449.82'	L77	N00°43'34"E	20.65'
L14	N13°25'54"W	96.71'	L46	S89°11'32"E	665.15'	L78	S45°43'34"W	35.38'
L15	N01°34'06"E	46.86'	L47	S00°48'28"W	146.25'	L79	N06°46'46"W	11.97'
L16	N14°51'40"E	114.68'	L48	N89°11'32"W	86.05'	L80	S00°43'34"W	91.33'
L17	N08°26'43"E	65.49'	L49	S00°20'23"E	104.27'	L81	S88°25'02"E	19.18'
L18	N08°46'46"W	95.54'	L50	N89°11'32"W	281.95'	L82	S89°16'26"E	90.44'
L19	N04°53'04"W	99.65'	L51	S00°20'23"E	301.57'	L83	S44°16'26"E	12.72'
L20	N47°04'45"W	37.04'	L52	N86°26'45"W	277.81'	L84	N85°49'31"E	33.65'
L21	N00°17'23"W	51.01'	L53	N00°20'23"W	162.35'	L85	S00°43'34"W	72.00'
L22	S06°29'27"W	18.09'	L54	S06°27'24"W	276.24'	L86	S85°49'31"W	52.24'
L23	S48°31'53"W	37.04'	L55	N77°39'36"W	122.31'	L87	N44°16'26"W	7.47'
L24	S06°20'12"W	90.29'	L56	N35°39'59"W	6.19'	L88	N44°16'26"W	14.14'
L25	S06°48'46"E	103.15'	L57	N77°39'36"W	71.86'	L89	N44°42'26"E	42.49'
L26	S08°26'43"W	65.49'	L58	S34°47'39"W	7.82'	L90	N21°09'46"W	47.99'
L27	S14°51'40"W	114.68'	L59	S00°20'23"E	24.09'	L91	S88°50'14"W	36.67'
L28	S01°34'06"W	46.86'	L60	S44°45'58"E	7.14'	L92	S76°27'00"E	14.71'
L29	S13°25'54"E	96.71'	L61	N45°48'28"E	7.07'	L93	S13°33'00"W	20.00'
L30	S12°20'24"W	146.98'	L62	N45°14'03"E	36.68'	L94	N76°27'00"W	14.29'
L31	S00°20'23"E	677.49'	L63	S26°40'34"E	61.65'			
L32	N89°11'32"W	755.89'	L64	N39°8'10"E	46.38'			

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PROJ. MGR.: JSB	SHEET
DRAWN BY: LSM	28 OF 32
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14: 41 Dwg Name: P:\alnmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSW_1.dwg Updated By: LMori

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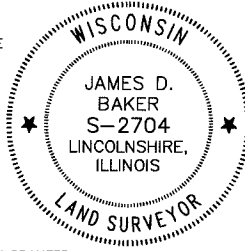
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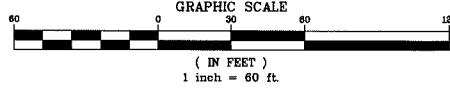
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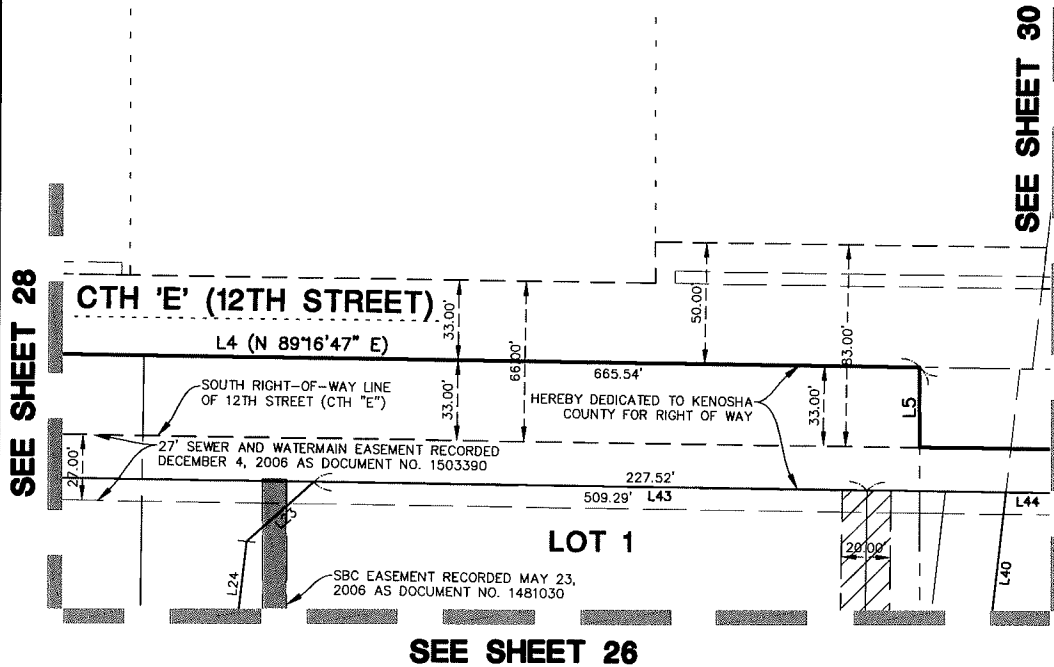


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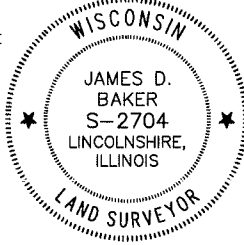
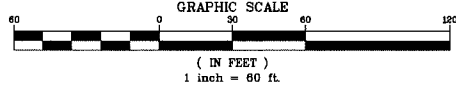
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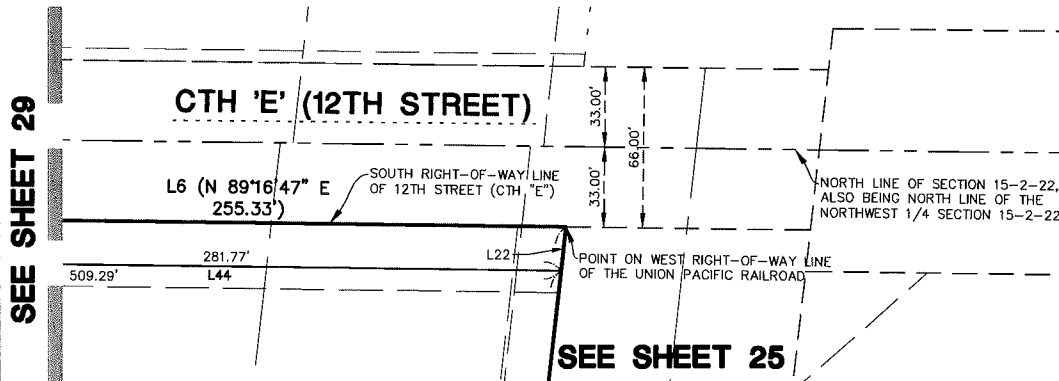
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DATE: MARCH 24, 2023

CURVE TABLE						CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE	CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE
C1	47.00'	74.77'	N45°14'03"E	67.13'	091°08'52"	C24	432.00'	41.57'	N10°40'28"W	41.56'	005°30'50"
C2	1053.00'	233.03'	N06°00'00"E	232.56'	012°40'47"	C25	432.00'	71.52'	S03°10'29"E	71.44'	009°29'10"
C3	102.00'	45.88'	N00°32'45"W	45.49'	025°46'18"	C26	35.00'	25.65'	N56°39'48"W	25.08'	041°59'37"
C4	498.00'	130.38'	N05°55'54"W	130.00'	015°00'00"	C27	3.00'	2.20'	N56°39'48"W	2.15'	041°59'37"
C5	536.00'	124.35'	N08°12'53"E	124.08'	013°17'34"	C28	168.00'	32.75'	N07°50'51"W	32.69'	011°10'05"
C6	1002.00'	112.21'	N11°39'11"E	112.15'	006°24'58"	C29	168.00'	42.82'	N05°02'18"E	42.70'	014°36'13"
C7	464.00'	123.29'	N00°49'58"E	122.93'	015°13'28"	C30	47.00'	45.07'	N63°20'21"E	43.36'	054°56'15"
C8	557.00'	83.96'	N02°27'40"W	83.88'	008°38'11"	C31	47.00'	43.54'	N26°11'53"E	42.00'	053°04'32"
C9	300.00'	35.30'	N01°30'49"W	35.28'	006°44'29"	C32	113.00'	25.01'	S06°00'07"W	24.96'	012°41'00"
C10	491.00'	112.40'	S00°13'17"E	112.15'	013°06'58"	C33	113.00'	20.53'	N12°23'49"E	20.50'	010°24'40"
C11	530.00'	140.83'	S00°49'58"W	140.42'	015°13'28"	C34	987.00'	134.34'	N03°33'34"E	134.23'	007°47'54"
C12	1068.00'	119.60'	S11°39'11"W	119.53'	006°24'58"	C35	987.00'	46.15'	N08°07'17"E	46.14'	002°40'44"
C13	470.00'	109.04'	S08°12'53"W	108.80'	013°17'34"	C36	987.00'	49.60'	N10°54'01"E	49.59'	002°52'45"
C14	432.00'	113.10'	S05°55'54"E	112.77'	015°00'00"	C37	1053.00'	83.38'	N10°04'17"E	83.36'	004°32'13"
C15	168.00'	75.57'	S00°32'45"E	74.93'	025°46'18"	C38	1067.00'	52.54'	N10°55'45"E	52.54'	002°49'17"
C16	987.00'	218.43'	S08°00'00"W	217.98'	012°40'47"	C39	432.00'	26.14'	N08°11'03"W	26.14'	003°28'01"
C17	113.00'	179.76'	S45°14'03"W	161.40'	091°08'52"	C40	491.00'	17.83'	S05°17'47"W	17.83'	002°04'50"
C18	113.00'	25.01'	N06°00'07"E	24.96'	012°41'00"	C41	491.00'	33.59'	S02°17'47"W	33.58'	003°55'10"
C19	113.00'	154.75'	N51°34'33"E	142.94'	078°27'51"	C42	491.00'	60.98'	S03°13'17"E	60.94'	007°06'58"
C20	987.00'	131.74'	N03°29'02"E	131.64'	007°38'51"	C43	300.00'	7.50'	S04°10'07"E	7.49'	001°25'53"
C21	987.00'	86.69'	N09°49'26"E	86.66'	005°01'56"	C44	300.00'	27.80'	S00°47'53"E	27.79'	005°18'36"
C22	12.00'	16.25'	S57°40'10"W	15.03'	077°34'28"	C45	557.00'	6.78'	S01°30'29"W	6.78'	000°41'52"
C23	54.00'	63.42'	S52°31'32"W	59.83'	067°17'11"	C46	557.00'	77.18'	N02°48'36"W	77.11'	007°56'19"

CURVE TABLE							
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE	TANGENT BEARING START	TANGENT BEARING END
C8	557.00'	83.96'	N02°27'40"W	83.88'	008°38'11"	N6°46'46"W	N1°51'25"E
C9	300.00'	35.30'	N01°30'49"W	35.28'	006°44'29"	N1°51'25"E	N4°53'04"W



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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP

PROJ. MGR.: **JD**
DRAWN BY: **LSM**
DATE: **03/24/23**
SCALE: **1"=60'**

SHEET **30** OF **32**
ALN.SMWI01

Dwg Name: P:\ansmwi01\dwg\Final Drawings\Certified Survey Map\CSM_1\06-30-ALNSMWI-CSM_1.dwg Updated By: LMory

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

OWNER'S CERTIFICATE

AS OWNER(S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED ON THE PLAT. I (WE) ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF SOMERS. WITNESS THE HAND AND SEAL OF SAID OWNER(S)

THIS _____ DAY OF _____, 2023.

ON THIS _____ DAY OF _____, 2023.

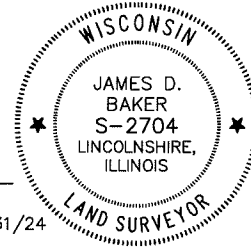
BY: _____

TITLE: _____ PREPARED BY: _____

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023



NOTARY'S CERTIFICATE

STATE OF _____)

COUNTY OF _____) S.S.

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE

AFORESAID, DO HEREBY CERTIFY THAT _____ AND

WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THIS INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC

VILLAGE OF SOMERS BOARD APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF SOMERS AND DEDICATION ACCEPTED ON THIS _____ DAY OF _____, 2023.

GEORGE STONER, VILLAGE PRESIDENT

MARY COLE, VILLAGE CLERK

VILLAGE OF SOMERS PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE VILLAGE PLAN COMMISSION OF THE VILLAGE OF SOMERS AND ADOPTED ON THIS _____ DAY OF _____, 2023.

GEORGE STONER, VILLAGE PRESIDENT

MARY COLE, VILLAGE CLERK

VILLAGE TREASURER CERTIFICATE

STATE OF WISCONSIN)
KENOSHA COUNTY)SS

I, _____, BEING THE DULY ELECTED (APPOINTED), QUALIFIED AND ACTING TREASURER OF THE VILLAGE OF SOMERS, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF _____, 2023 AFFECTING THE LANDS INCLUDED IN THIS PLAT.

(DATE)

TREASURER

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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: JD

SHEET

DRAWN BY: LSM

DATE: 03/24/23

SCALE: N.T.S.

31 OF 32

ALN.SMWI01

14:41 Dwg Name: P:\Ansmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\31-32-ALNSMWI-CSM_1.dwg Updated By: LMory

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF LAKE)

I, JAMES D. BAKER, A WISCONSIN PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED AND CONSOLIDATED A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN, DESCRIBED AS FOLLOWS:

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN., BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 15; THENCE NORTH 00 DEGREES 20 MINUTES 23 SECONDS WEST, ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 15, A DISTANCE OF 1322.55 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 15; THENCE SOUTH 89 DEGREES 11 MINUTES 32 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 664.47 FEET TO A POINT ON THE EAST LINE OF WEST 1/2 OF WEST 1/2 OF NORTHWEST 1/4 OF SAID SECTION 15; THENCE NORTH 00 DEGREES 17 MINUTES 33 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 1323.48 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 15; THENCE SOUTH 89 DEGREES 16 MINUTES 26 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 665.54 FEET; THENCE SOUTH 00 DEGREES 14 MINUTES 12 SECONDS EAST, A DISTANCE OF 33.00 FEET TO A POINT ON A LINE 33.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 15; THENCE SOUTH 89 DEGREES 16 MINUTES 26 SECONDS EAST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 262.37 FEET TO A POINT ON THE WEST LINE OF THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY'S RIGHT-OF-WAY; THENCE SOUTH 06 DEGREES 29 MINUTES 27 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 2628.59 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION; THENCE NORTH 89 DEGREES 06 MINUTES 36 SECONDS WEST, ALONG THE LAST DESCRIBED LINE, A DISTANCE OF 1280.78 FEET TO THE POINT OF BEGINNING.

THAT I HAVE MADE THIS SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF CARDINAL CAPITAL MANAGEMENT.

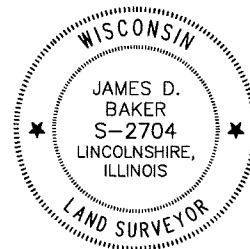
SUBJECT TO EASEMENTS, RESTRICTIONS AND ROADWAYS OF RECORD, SAID PARCEL CONTAINING 67.039 ACRES.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE LAND DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES AND THE CODE OF GENERAL ORDINANCES FOR THE VILLAGE OF SOMERS, DIVIDING AND MAPPING THE SAME.

DATED THIS 24TH DAY OF MARCH, 2023

SURVEYOR: JAMES D. BAKER
WISCONSIN PROFESSIONAL LAND SURVEYOR NO. 2704-8



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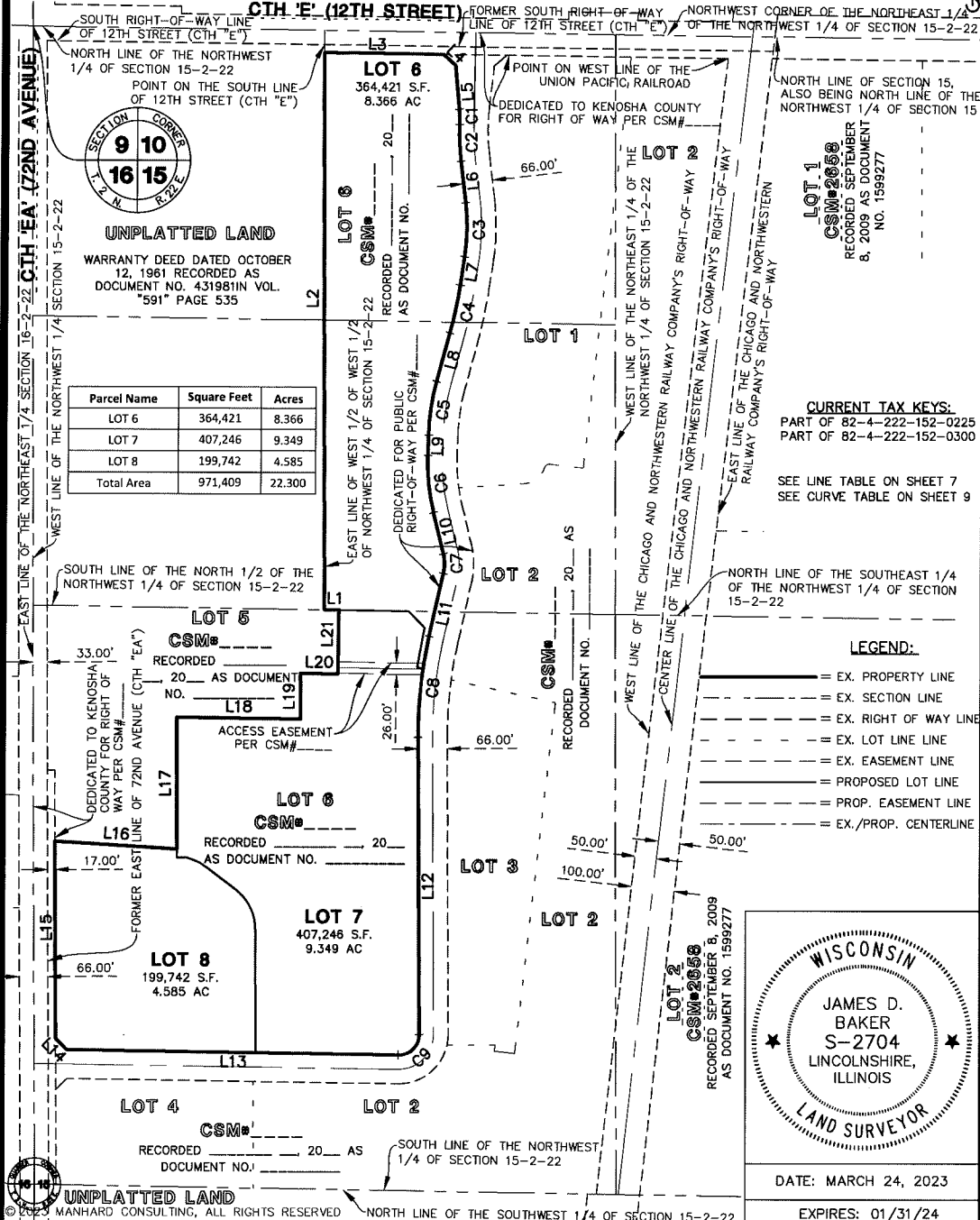
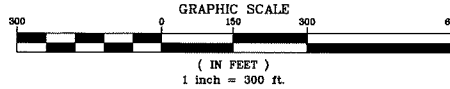
SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JB	SHEET
DRAWN BY: LSM	32 OF 32
DATE: 03/24/23	
SCALE: N.T.S.	ALN.SMWI01

Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_1\31-32-ALN.SMWI-1.dwg Updated By: LMory 14:41

CERTIFIED SURVEY MAP NO.

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BASIS OF BEARINGS
BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011)
IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W



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SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP
PROJ. MGR.: JDB
DRAWN BY: LSM
DATE: 03/24/23
SCALE: 1"=300'
SHEET
1 OF 11
ALN.SMWI01

Dwg Name: P:\alnmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\01-ALNSMWI-CSM_2.dwg Updated By: LMory

CERTIFIED SURVEY MAP NO. _____

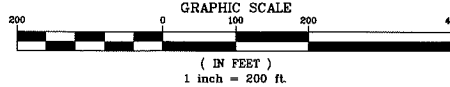
THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

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LEGEND:

- = EX./PROP. PROPERTY LINE
- - - = EX. SECTION LINE
- - - = EX. RIGHT OF WAY LINE
- - - = EX. LOT LINE LINE
- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE

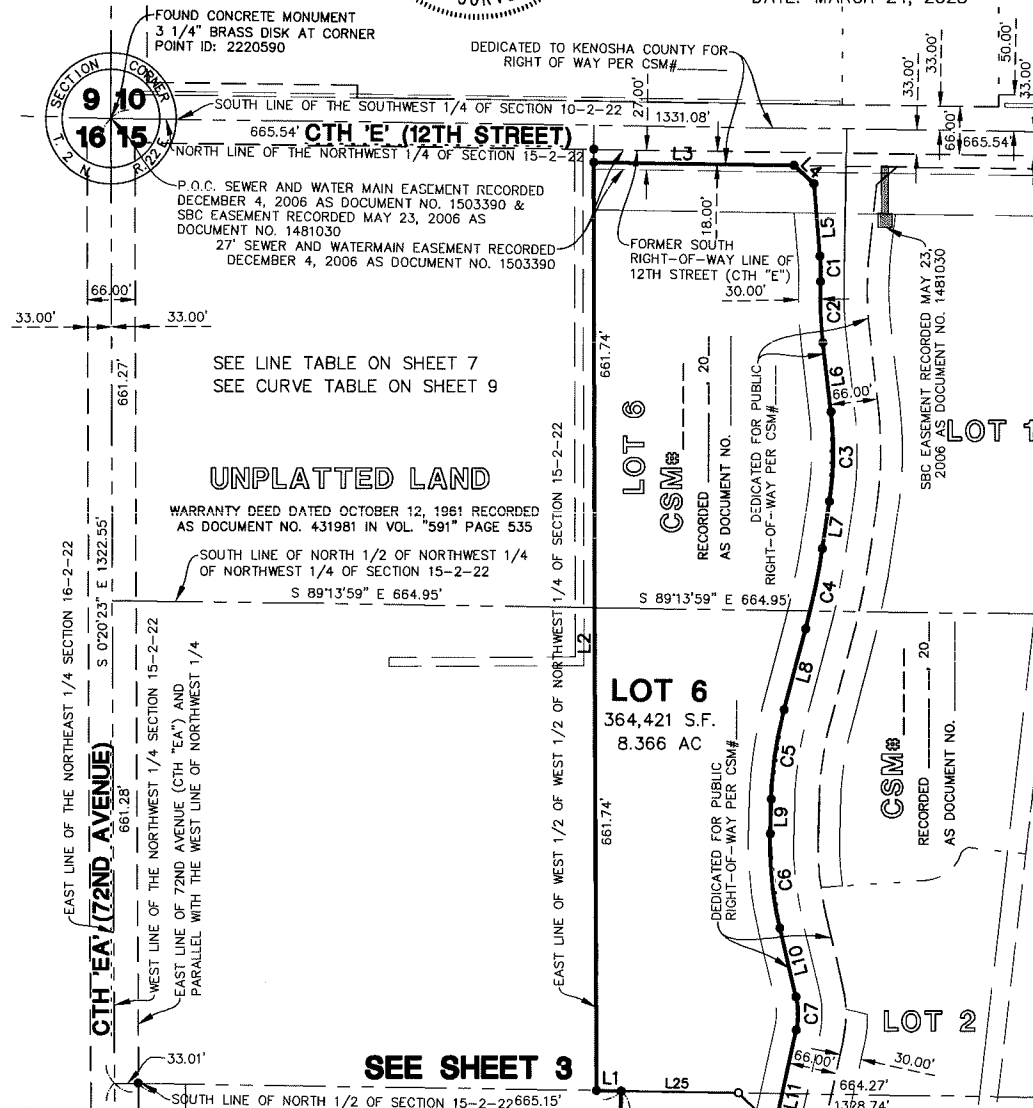


LEGEND

- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG WEIGHT 1.30 LBS/FT. SET

PREPARED BY: _____

JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023



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VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JSB	SHEET
DRAWN BY: LSM	2 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=200'	

15:44 Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\02-03-ALN.SMWI-01.dwg Updated By: L.Mayr

CERTIFIED SURVEY MAP NO. _____

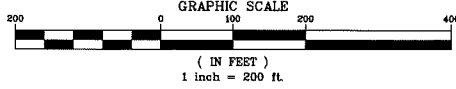
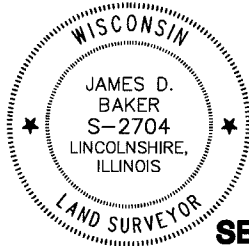
THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

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- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



LEGEND

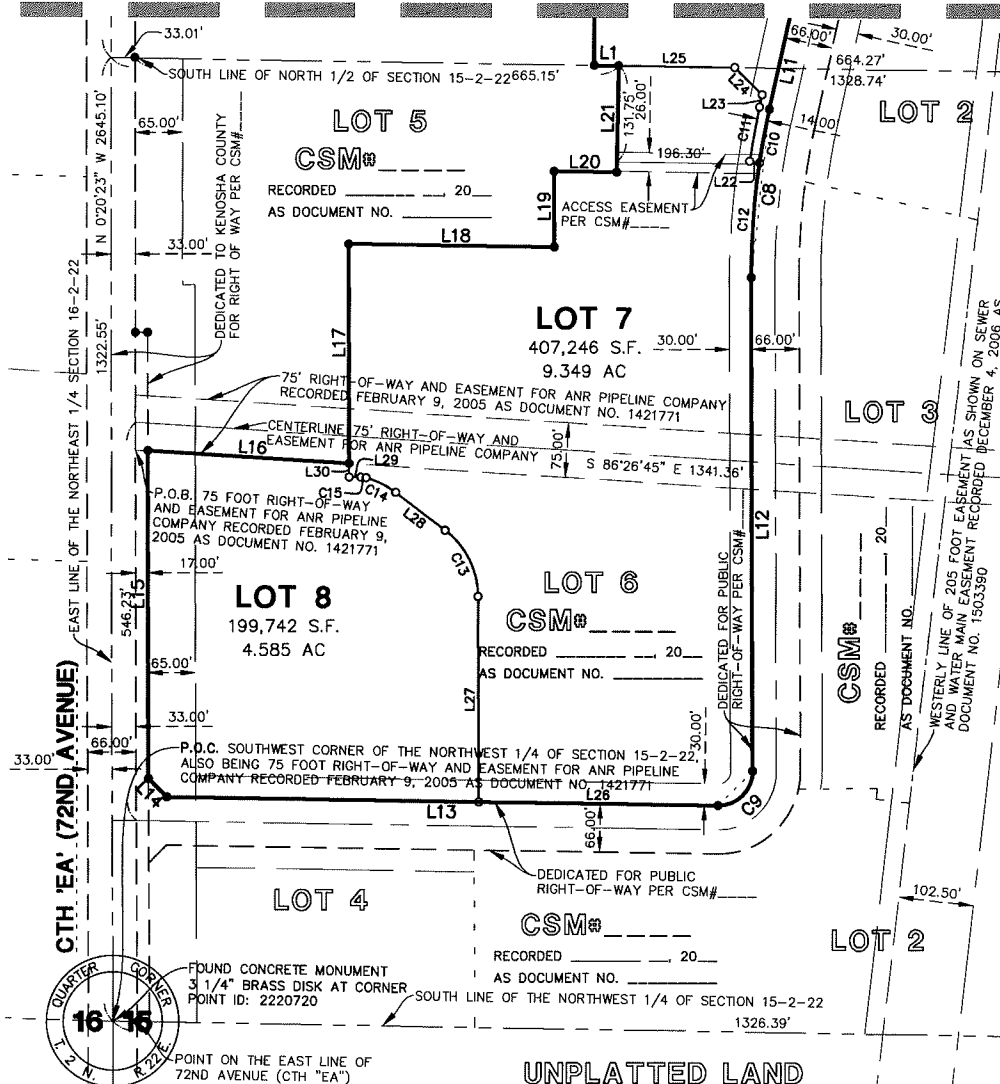
- 1" O.D. IRON PIPE FOUND
- 1" O.D. 18" LONG WEIGHT 1.30 LBS/FT. SET

PREPARED BY: _____

JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE ON SHEET 9

SEE SHEET 2



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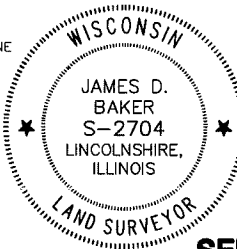
SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	3 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=200'	

15:44 Dwg Name: P:\almsmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\02-03-ALNSMWI-CSM_2.dwg Updated By: Lmory

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

LEGEND:

- _____ = EX./PROP. PROPERTY LINE
 - - - - - = EX. SECTION LINE
 - - - - - = EX. RIGHT OF WAY LINE
 - - - - - = EX. LOT LINE LINE
 - - - - - = EX. EASEMENT LINE
 _____ = PROPOSED LOT LINE
 - - - - - = PROP. EASEMENT LINE
 - - - - - = EX./PROP. CENTERLINE



GRAPHIC SCALE



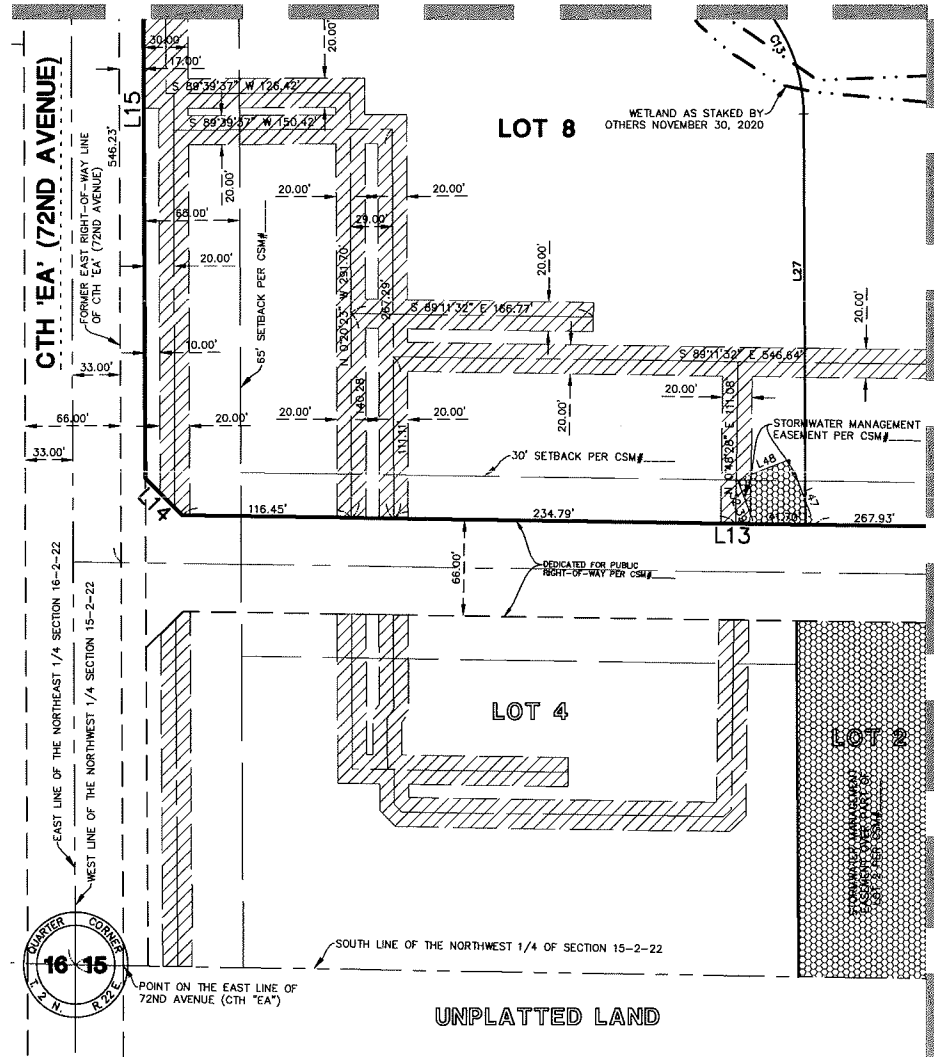
(IN FEET)
1 inch = 100 ft.

-  = UTILITY EASEMENT
PER CSM# _____
-  = STORMWATER MANAGEMENT EASEMENT
PER CSM# _____

PREPARED BY: _____
JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE ON SHEET 9

SEE SHEET 5



SEE SHEET 6

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**SOMERVILLE APARTMENTS
VILLAGE OF SOMERS, WISCONSIN
CERTIFIED SURVEY MAP**

PROJ. MGR.: JDB
DRAWN BY: LSM
DATE: 03/24/23
SCALE: 1"=100'

SHEET
OF 11
VI01

16:09 Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\04-09--ALNSMWI--CSM_2.dwg Updated By: LMoryl

CERTIFIED SURVEY MAP NO. _____

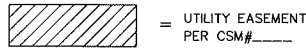
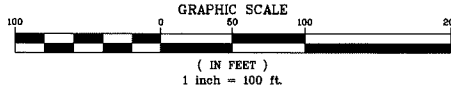
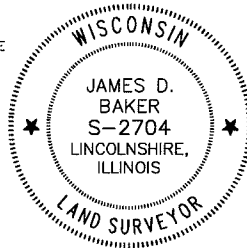
THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

LEGEND:

- = EX./PROP. PROPERTY LINE
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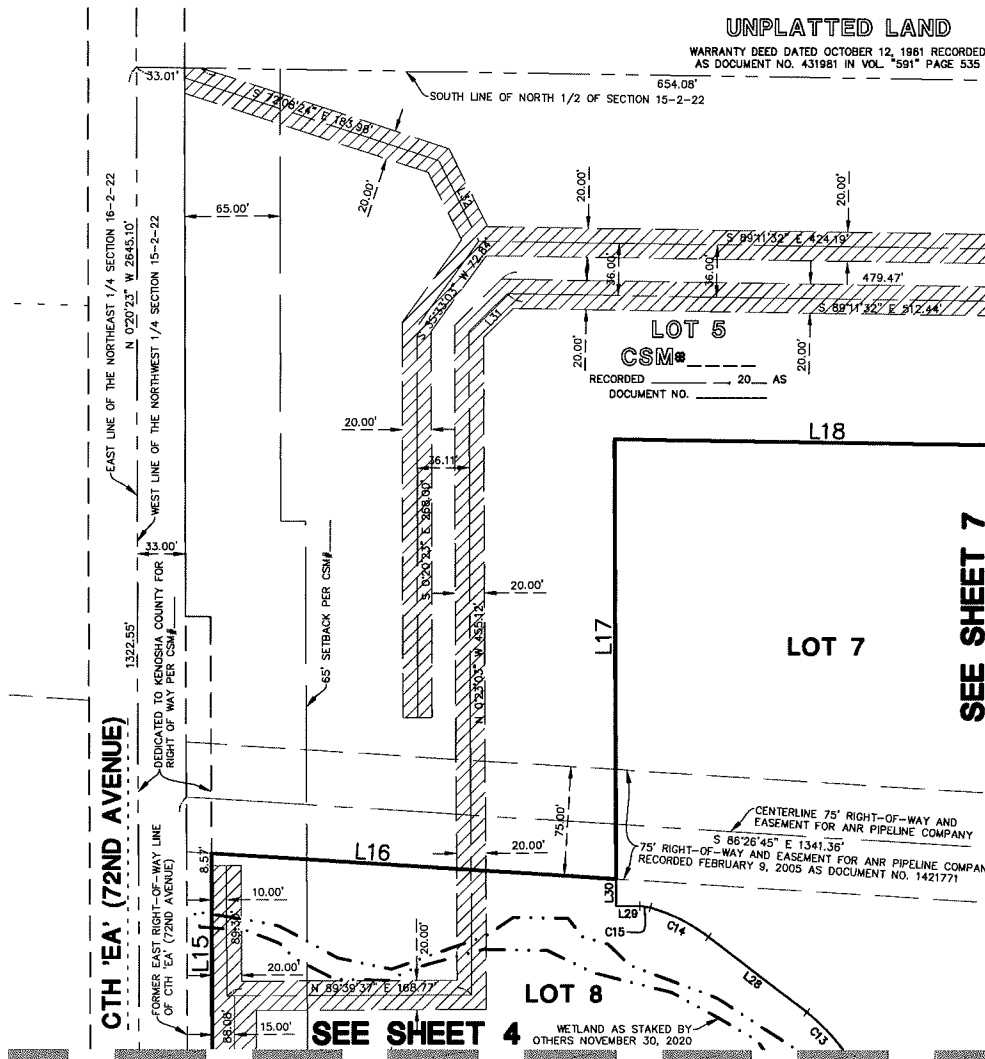
= UTILITY EASEMENT PER CSM# _____

PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE ON SHEET 9

UNPLATTED LAND

WARRANTY DEED DATED OCTOBER 12, 1961 RECORDED AS DOCUMENT NO. 431981 IN VOL. "591" PAGE 535



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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: JDB
DRAWN BY: LSM
DATE: 03/24/23
SCALE: 1"=100'

SHEET

5 OF 11

ALN.SMWI01

Dwg Name: P:\Alnsmwi01.dwg Final Drawings\Certified Survey Map\CSM_2\04-09-ALNSMWI-CSM_2.dwg Updated By: L.Vory

CERTIFIED SURVEY MAP NO. _____

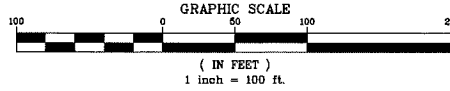
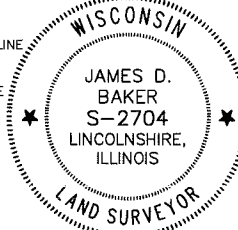
THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (KENOSHA COUNTY) NAD 83 (2011) IN WHICH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 22 EAST, IS ASSUMED TO BEAR N 00°20'23" W

LEGEND:

- = EX./PROP. PROPERTY LINE
- - - = EX. SECTION LINE
- - - = EX. RIGHT OF WAY LINE
- - - = EX. LOT LINE LINE
- - - = EX. EASEMENT LINE
- - - = PROPOSED LOT LINE
- - - = PROP. EASEMENT LINE
- - - = EX./PROP. CENTERLINE



SURVEYOR'S NOTES

1. ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
2. THERE IS NO ORDINARY HIGH WATER MARK ON SURVEYED PROPERTY.
3. APPROXIMATE SEASONAL HIGH WATER ELEVATION HAS NOT BEEN DETERMINED AND SHOWN AND REFERENCED TO A PERMANENTLY ESTABLISHED DATUM PLANE.
4. WETLANDS HAVE BEEN SHOWN HEREON BASED ON STAKED FLAGS BY WETLAND & WATERWAY CONSULTING, LLC ON NOVEMBER 30, 2020 AND FIELD LOCATED ON DECEMBER 9, 2020.

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE ON SHEET 9

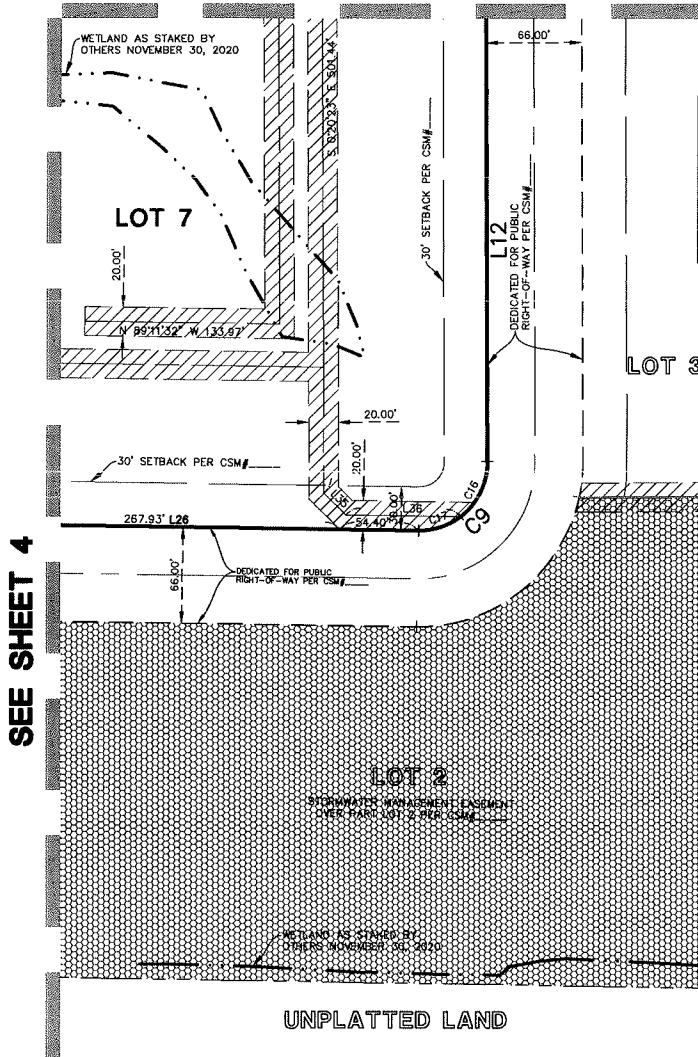
SEE SHEET 7

PREPARED BY:

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

Parcel Name	Square Feet	Acres
LOT 6	364,421	8.366
LOT 7	407,246	9.349
LOT 8	199,742	4.585
Total Area	971,409	22.300



- = UTILITY EASEMENT PER CSM# _____
- = STORMWATER MANAGEMENT EASEMENT PER CSM# _____

SEE SHEET 4

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JB	SHEET
DRAWN BY: LSM	6 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=100'	

16:09 Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\04-09-ALN.SMWI-01.dwg Updated By: LMory

CERTIFIED SURVEY MAP NO. _____

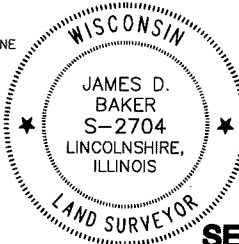
THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

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LEGEND:

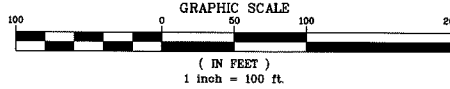
- = EX./PROP. PROPERTY LINE
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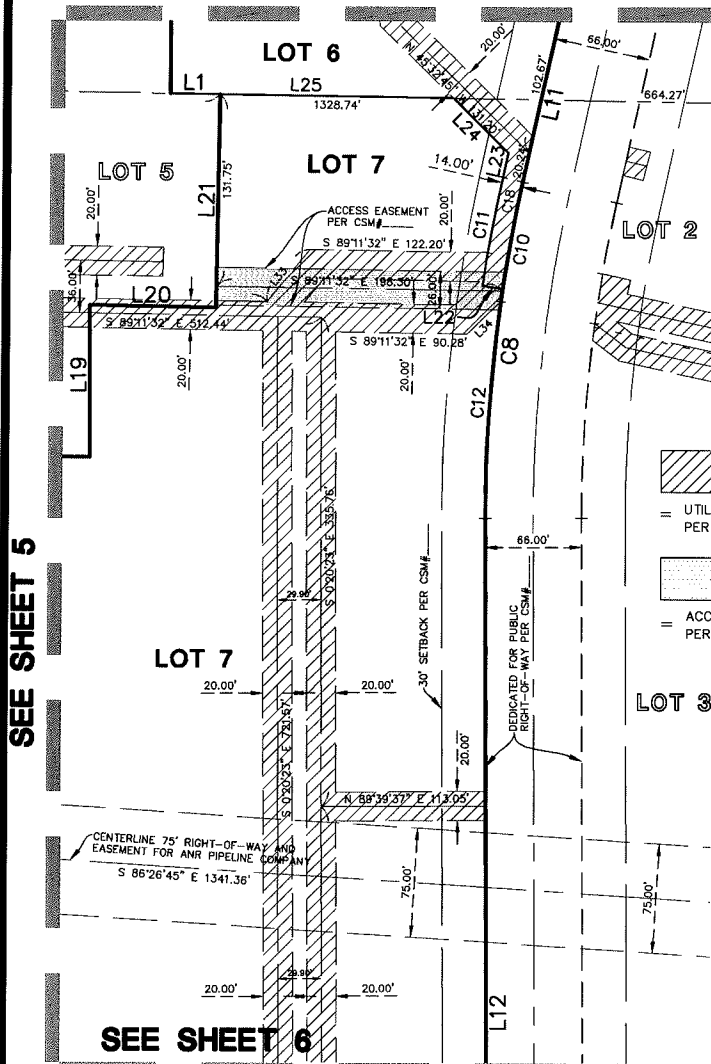
PREPARED BY:

JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES:
01/31/24
DATE: MARCH 24, 2023

SEE SHEET 8



LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°11'32"W	33.69'
L2	N00°17'33"W	1272.47'
L3	S89°16'26"E	274.36'
L4	S47°04'45"E	37.04'
L5	S04°53'04"E	99.65'
L6	S06°46'46"E	95.54'
L7	S08°26'43"W	65.49'
L8	S14°51'40"W	114.68'
L9	S01°34'06"W	46.86'
L10	S13°25'54"E	96.71'
L11	S12°20'24"W	146.98'
L12	S00°20'23"E	677.49'
L13	N89°11'32"W	757.22'
L14	N44°45'57"W	35.71'
L15	N00°20'23"W	449.82'
L16	N86°26'45"W	277.81'
L17	S00°20'23"E	301.57'
L18	N89°11'32"W	281.95'
L19	S00°20'23"E	104.27'
L20	N89°11'32"W	86.05'
L21	S00°48'28"W	146.25'
L22	N81°43'17"W	14.00'
L23	S12°20'24"W	17.22'
L24	N45°32'45"W	53.41'
L25	N89°11'32"W	193.60'
L26	N89°11'32"W	328.57'
L27	N00°20'23"W	281.82'
L28	N52°47'24"W	85.49'
L29	S89°39'37"W	16.18'
L30	N00°20'23"W	18.70'
L31	N45°14'03"E	36.68'
L32	S26°40'34"E	61.65'
L33	N39°18'10"E	46.38'
L34	N45°48'28"E	32.45'
L35	N45°20'23"W	21.14'
L36	N89°11'32"W	79.35'
L37	S00°43'34"W	91.33'
L38	S88°25'02"E	19.18'
L39	S89°16'26"E	90.44'
L40	S44°16'26"E	12.72'
L41	N85°49'31"E	33.65'
L42	S00°43'34"W	72.00'
L43	S85°49'31"W	52.24'
L44	N44°16'26"W	7.47'
L45	N44°16'26"W	14.14'
L46	N44°42'26"E	42.49'
L47	N21°09'46"W	47.99'
L48	S68°50'14"W	38.67'



SEE SHEET 5

SEE SHEET 6

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SEE LINE TABLE ON SHEET THIS SHEET
SEE CURVE TABLE ON SHEET 9



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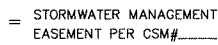
SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JD	SHEET
DRAWN BY: LSM	7 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=100'	

Dwg Name: P:\Anamw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\04-09-ALNSMWI-CSM_2.dwg Updated By: LMoryl 16:09

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=====	=	PROPOSED LOT LINE
-----	=	PROP. EASEMENT LINE
-----	=	EX./PROP. CENTERLINE



The seal is circular with a double-lined border. The word "WISCONSIN" is arched across the top, and "LAND SURVEYOR" is arched across the bottom. In the center, the text reads "JAMES D. BAKER", "S-2704", and "LINCOLNSHIRE, ILLINOIS". Two five-pointed stars are positioned on the left and right sides of the central text.

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023

UNPLATTED LAND

WARRANTY DEED DATED OCTOBER 12, 1961 RECORDED
AS DOCUMENT NO. 431981 IN VOL. "591" PAGE 535

EAST LINE OF WEST 1/2 OF WEST 1/2 OF NORTHWEST 1/4 OF SECTION 15-2-22

SEE SHEET 7

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VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: JDB

DRAWN BY:

DATE: 03/24/23

SCALE:

SHEET

8 OF 11

ALN.SMWI01

6:09 Dwg Name: P:\Alnsmwi01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\04-09-ALNSMWI-CSM_2.dwg Updated By: LMoryl

CERTIFIED SURVEY MAP NO. _____

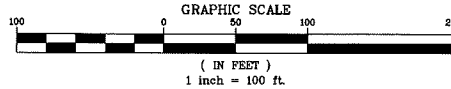
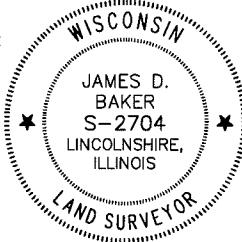
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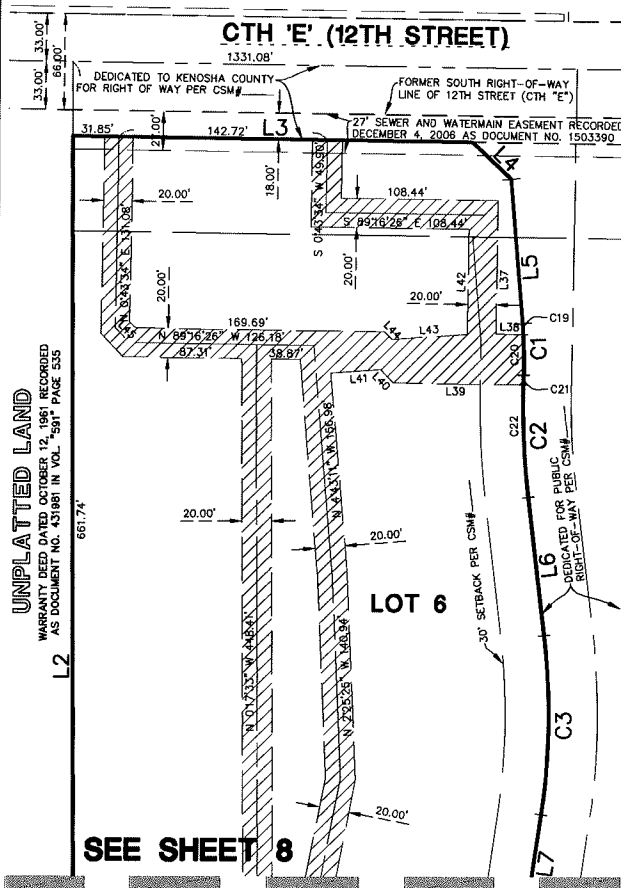
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- - - = EX./PROP. CENTERLINE



PREPARED BY: JAMES D. BAKER,
P.L.S. NO. 2704 EXPIRES: 01/31/24
DATE: MARCH 24, 2023

CURVE TABLE							
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE	TANGENT BEARING START	TANGENT BEARING END
C1	300.00'	35.30'	S01°30'49"E	35.28'	008°44'29"	S1°51'25"W	S4°33'04"E
C2	557.00'	83.96'	S02°27'40"E	83.88'	008°38'11"	S6°46'46"E	S1°51'25"W



= UTILITY EASEMENT PER CSM# _____

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	CENTRAL ANGLE
C1	300.00'	35.30'	S01°30'49"E	35.28'	008°44'29"
C2	557.00'	83.96'	S02°27'40"E	83.88'	008°38'11"
C3	484.00'	123.29'	S00°49'58"W	122.93'	015°13'28"
C4	1002.00'	112.21'	S11°39'11"W	112.15'	006°24'58"
C5	536.00'	124.35'	S08°12'53"W	124.08'	013°17'34"
C6	498.00'	130.38'	S05°55'54"E	130.00'	015°00'00"
C7	102.00'	45.68'	S00°32'45"E	45.49'	025°46'18"
C8	1053.00'	233.03'	S08°00'00"W	232.56'	012°40'47"
C9	47.00'	74.77'	S45°14'03"W	67.13'	091°08'52"
C10	1053.00'	74.64'	S10°18'34"W	74.62'	004°03'40"
C11	1067.00'	75.63'	S10°18'34"W	75.62'	004°03'40"
C12	1053.00'	158.39'	S03°58'10"W	158.24'	008°37'07"
C13	115.00'	105.27'	N28°33'54"W	101.64'	052°27'01"
C14	119.50'	45.37'	N63°39'57"W	45.08'	021°45'05"
C15	26.50'	7.31'	N82°28'26"W	7.28'	015°47'54"
C16	47.00'	43.54'	S28°11'53"W	42.00'	053°04'32"
C17	47.00'	45.07'	S63°20'21"W	43.36'	054°56'15"
C18	1067.00'	52.54'	S10°55'45"W	52.54'	002°49'17"
C19	300.00'	7.50'	S04°10'07"E	7.49'	001°25'53"
C20	300.00'	27.80'	S00°47'53"E	27.78'	005°18'36"
C21	557.00'	8.78'	S01°30'29"W	8.78'	000°41'52"
C22	557.00'	77.18'	S02°48'36"E	77.11'	007°56'19"

SEE LINE TABLE ON SHEET 7
SEE CURVE TABLE THIS SHEET

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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: JB	SHEET
DRAWN BY: LSM	9 OF 11
DATE: 03/24/23	ALN.SMWI01
SCALE: 1"=100'	

Dwg Name: P:\alnmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\04-09-ALNSMWI-CSM_2.dwg Updated By: LMory 16:09

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

OWNER'S CERTIFICATE

AS OWNER(S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED ON THE PLAT. I (WE) ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF SOMERS. WITNESS THE HAND AND SEAL OF SAID OWNER(S)

THIS _____ DAY OF _____, 2023.

ON THIS _____ DAY OF _____, 2023.

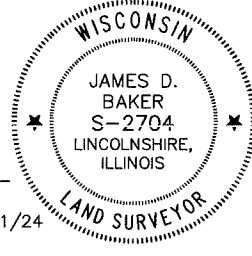
BY: _____

TITLE: _____ PREPARED BY: _____

JAMES D. BAKER,

P.L.S. NO. 2704 EXPIRES: 01/31/24

DATE: MARCH 24, 2023



NOTARY'S CERTIFICATE

STATE OF _____)
COUNTY OF _____) S.S.

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE

AFORESAID, DO HEREBY CERTIFY THAT _____ AND

_____ OF SAID CORPORATION, PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THIS INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC

VILLAGE OF SOMERS BOARD APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF SOMERS AND DEDICATION ACCEPTED ON THIS _____ DAY OF _____, 2023.

GEORGE STONER, VILLAGE PRESIDENT

MARY COLE, VILLAGE CLERK

VILLAGE OF SOMERS PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE VILLAGE PLAN COMMISSION OF THE VILLAGE OF SOMERS AND ADOPTED ON THIS _____ DAY OF _____, 2023.

GEORGE STONER, VILLAGE PRESIDENT

MARY COLE, VILLAGE CLERK

VILLAGE TREASURER CERTIFICATE

STATE OF WISCONSIN)
KENOSHA COUNTY)SS

I, _____, BEING THE DULY ELECTED (APPOINTED), QUALIFIED AND ACTING TREASURER OF THE VILLAGE OF SOMERS, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF _____, 2023 AFFECTING THE LANDS INCLUDED IN THIS PLAT.

(DATE) TREASURER

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SOMERVILLE APARTMENTS

VILLAGE OF SOMERS, WISCONSIN

CERTIFIED SURVEY MAP

PROJ. MGR.: **JB**

SHEET

DRAWN BY: **LSM**

DATE: **03/24/23**

SCALE: **N.T.S.**

10 OF **11**

ALN.SMWI01

Dwg Name: P:\Ansmw01\dwg\Surv\Final Drawings\Certified Survey Map\CSM_2\10-11-ALNSMWI-CSM_2.dwg Updated By: LMory 08:56

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SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF LAKE)

I, JAMES D. BAKER, A WISCONSIN PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED AND CONSOLIDATED A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN, DESCRIBED AS FOLLOWS:

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15 TOWNSHIP 2 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF SOMERS, COUNTY OF KENOSHA AND STATE OF WISCONSIN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 6 IN CERTIFIED SURVEY MAP NO. _____ RECORDED _____, 20____

THAT I HAVE MADE THIS SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF CARDINAL CAPITAL MANAGEMENT.

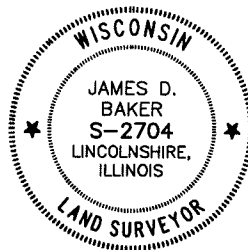
SUBJECT TO EASEMENTS, RESTRICTIONS AND ROADWAYS OF RECORD, SAID PARCEL CONTAINING 27.833 ACRES.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE LAND DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES AND THE CODE OF GENERAL ORDINANCES FOR THE VILLAGE OF SOMERS, DIVIDING AND MAPPING THE SAME.

DATED THIS 24TH DAY OF MARCH, 2023

SURVEYOR: JAMES D. BAKER
WISCONSIN PROFESSIONAL LAND SURVEYOR NO. 2704-8



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SOMERVILLE APARTMENTS	
VILLAGE OF SOMERS, WISCONSIN	
CERTIFIED SURVEY MAP	
PROJ. MGR.: <u>JDB</u>	SHEET
DRAWN BY: <u>LSM</u>	11 OF 11
DATE: <u>03/24/23</u>	
SCALE: <u>N.T.S.</u>	
ALN.SMWI01	

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