Kenosha County

Planning, Development & Extension Education Committee
Agenda
Kenosha County Job Center Building
Wednesday, August 12, 2020

NOTE: UNDER THE KENOSHA COUNTY BOARD RULES OF PROCEDURE ANY REPORT, RESOLUTION, ORDINANCE OR MOTION APPEARING ON THIS AGENDA MAY BE AMENDED, WITHDRAWN, REMOVED FROM THE TABLE, RECONSIDERED OR RESCINDED IN WHOLE OR IN PART AT THIS OR AT FUTURE MEETINGS. NOTICE OF SUCH MOTIONS TO RECONSIDER OR RESCIND AT FUTURE MEETINGS SHALL BE GIVEN IN ACCORDANCE WITH SECTION 2 C OF THE COUNTY BOARD RULES. FURTHERMORE, ANY MATTER DEEMED BY A MAJORITY OF THE BOARD TO BE GERMANE TO AN AGENDA ITEM MAY BE DISCUSSED AND ACTED UPON DURING THE COURSE OF THIS MEETING AND ANY NEW MATTER NOT GERMANE TO AN AGENDA ITEM MAY BE REFERRED TO THE PROPER COMMITTEE. ANY PERSON WHO DESIRES THE PRIVILEGE OF THE FLOOR PRIOR TO AN AGENDA ITEM BEING DISCUSSED SHOULD REQUEST A COUNTY BOARD SUPERVISOR TO CALL SUCH REQUEST TO THE ATTENTION OF THE BOARD CHAIRMAN

Notice is hereby given that a meeting will be held by the Kenosha County Planning, Development & Extension Education Committee on **Wednesday, August 12, 2020, at 6:00 p.m., at the Kenosha County Job Center Building, Conference Room South 10, 8600 Sheridan Road, Kenosha, Wisconsin** (must enter through Entrance D southeast entrance of building) on the following requests:

While both the building and the meeting is open to the public, in keeping with the CDC's recommendations on social distancing, members of the public are strongly encouraged NOT to attend the meeting in person. The meeting will be accessible for public monitoring by calling (1-408-418-9388) and using Access Code (146 696 5633). Citizens wishing to make a public comment are strongly encouraged to submit such comments in writing to before 4:30 pm on Wednesday, August 12, 2020.

6:00 p.m. UW-Extension Items

1. **CERTIFICATION OF COMPLIANCE WITH WISCONSIN OPEN MEETINGS LAW**
2. **FEATURE PROGRAM: "CENSUS 2020 KENOSHA COUNTY COMPLETE COUNT COMMITTEE"**
3. **YOUTH IN GOVERNANCE**
4. **UW-EXTENSION EDUCATOR/PROGRAM UPDATES**
5. **UW-EXTENSION DIRECTOR UPDATES**

7:00 p.m. - LAND USE ITEMS HEARINGS

6. **TABLED REQUEST OF THOMAS THOMAS C. WALAS (OWNER), WISCONSIN ELECTRIC POWER CO. D/B/A WE ENERGIES, MARIA KOERNER (AGENT) - COMPREHENSIVE PLAN AMENDMENT - TOWN OF PARIS**

   Tabled Request of Thomas C. Walas, 5901 Lockhurst Dr., Woodland Hills, CA 91367 (Owner), Wisconsin Electric Power Co. d/b/a WE Energies, Maria Koerner, 231 W Michigan St., Milwaukee, WI 53203 (Agent), requests an amendment to the Adopted Land Use Plan map for Kenosha County: 2035 (map 65 of the comprehensive plan) from "Farmland Protection" & "SEC" to "Farmland Protection", "Governmental and Institutional" & "SEC" on Tax Parcel # 45-4-221-021-0100, located in the NE ¼ of Section 2, T2N

& "SEC" on Tax Parcel # 45-4-221-021-0100, located in the NE ¼ of Section 2, T2N, R21E, Town of Paris.

Documents:

0100 - SUBMITTED APP CPA.PDF
0100 EXHIBIT MAP CPA.PDF

7. **TABLED REQUEST OF THOMAS C. WALAS (OWNER), WISCONSIN ELECTRIC POWER CO. D/B/A WE ENERGIES, MARIA KOERNER (AGENT) - REZONE - TOWN OF PARIS**

   Tabled Request of Thomas C. Walas, 5901 Lockhurst Dr., Woodland Hills, CA 91367 (Owner), Wisconsin Electric Power Co. d/b/a WE Energies, Maria Koerner, 231 W Michigan St., Milwaukee, WI 53203 (Agent),requesting a rezoning from A-1 Agricultural Preservation Dist. & C-1 Lowland Resource Conservancy Dist. to A-1 Agricultural Preservation Dist., I-1 Institutional Dist. & C-1 Lowland Resource Conservancy Dist. on Tax Parcel # 45-4-221-021-0100, located in the NE ¼ of Section 2, T2N, R21E, Town of Paris.

   Documents:

   0100 - SUBMITTED APP REZO.PDF
   0100 EXHIBIT MAP REZO.PDF

8. **TABLED REQUEST OF THOMAS C. WALAS (OWNER), WISCONSIN ELECTRIC POWER CO. D/B/A WE ENERGIES, MARIA KOERNER (AGENT) - CONDITIONAL USE PERMIT - TOWN OF PARIS**

   Tabled Request of Thomas C. Walas, 5901 Lockhurst Dr., Woodland Hills, CA 91367 (Owner), Wisconsin Electric Power Co. d/b/a WE Energies, Maria Koerner, 231 W Michigan St., Milwaukee, WI 53203 (Agent),requesting a conditional use permit to allow a utility substation in the I-1 Institutional Dist. on Tax Parcel # 45-4-221-021-0100, located in the NE ¼ of Section 2, T2N, R21E, Town of Paris.

   Documents:

   0100 SUBMITTED APP CUP.PDF
   0100 EXHIBIT MAP CUP.PDF

9. **JEFFREY SCHMECKEL (OWNER), HENRY FLECK (AGENT) - COMPREHENSIVE PLAN AMENDMENT - TOWN OF BRIGHTON**

   Jeffrey Schmeckel, 275 248th Ave., Kansasville, WI 53139-9627 (Owner), Henry Fleck, PO Box 610, Kansasville, WI 53139 (Agent), requests an amendment to the Adopted Land Use Plan map for Kenosha County: 2035 (map 65 of the comprehensive plan) from ""Farmland Protection" & "PEC" to "Farmland Protection", "General Agricultural and Open Land" & "PEC" on Tax Parcel # 30-4-220-022-0200, located in the west ½ of Section 2, T2N, R20E, Town of Brighton.

   Documents:

   0200 - SUBMITTED APP CPA.PDF
   0200 EXHIBIT MAP.PDF

10. **JEFFREY SCHMECKEL (OWNER), HENRY FLECK (AGENT) - REZONE - TOWN OF BRIGHTON**

Jeffrey Schmeckel, 275 248th Ave., Kansasville, WI 53139-9627 (Owner), Henry Fleck, PO Box 610, Kansasville, WI 53139 (Agent), requesting a rezoning from A-1 Agricultural Preservation Dist. & C-1 Lowland Resource Conservancy Dist. to A-1 Agricultural Preservation Dist., A-2 General Agricultural Dist. & C-1 Lowland Resource Conservancy Dist. on Tax Parcel # 30-4-220-022-0200, located in the west ½ of Section 2, T2N, T2N, R20E, Town of Brighton.

Documents:

0200 - SUBMITTED APP REZONE.PDF
0200 EXHIBIT MAP REZO.PDF

11. **JEFFREY SCHMECKEL (OWNER), HENRY FLECK (AGENT) - CERTIFIED SURVEY MAP - TOWN OF BRIGHTON**

Jeffrey Schmeckel, 275 248th Ave., Kansasville, WI 53139-9627 (Owner), Henry Fleck, PO Box 610, Kansasville, WI 53139 (Agent), requesting a Certified Survey Map on Tax Parcel # 30-4-220-022-0200, located in the NW ¼ of Section 2, T2N, R20E, Town of Brighton.

Documents:

0200 - SUBMITTED APP CSM.PDF

12. **APPROVAL OF MINUTES**

13. **CITIZEN COMMENTS**

14. **ANY OTHER BUSINESS ALLOWED BY LAW**

15. **ADJOURNMENT**

NOTICE TO PETITIONERS

The petitioners: Thomas C. Walas (Owner), Wisconsin Electric Power Co. d/b/a WE Energies, Maria Koerner (Agent); Jeffrey Schmeckel (Owner), Henry Fleck (Agent)

NOTICE TO TOWNS

The Towns of Brighton and Paris are asked to be represented at the hearing on **Wednesday, August 12, 2020,** at the Kenosha County Center Public Hearing Room, 19600 75th Street, Bristol, Wisconsin. You are requested to either attend or send in your recommendation to the committee.

COUNTY OF KENOSHA
Department of Planning and Development

A MULTI-JURISDICTIONAL COMPREHENSIVE PLAN FOR KENOSHA COUNTY: 2035 AMENDMENT PROCEDURES

☐ **1.** Read the section entitled "Procedure for Amending the Multi-Jurisdictional Comprehensive Plan" of Chapter XV of the Kenosha County comprehensive plan, entitled "A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035".

☐ **2.** Contact the Kenosha County Department of Planning and Development to determine if your proposed land use change requires an amendment of the Kenosha County comprehensive plan map (Map 65 Land Use Plan Map for Kenosha County: 2035).

☐ **3.** Contact Kenosha County Department of Planning and Development to schedule a joint pre-conference meeting with your town and Kenosha County Department of Planning and Development staff; this is required for all comprehensive plan map amendment requests.

Meeting Date: 03-10-2020

☐ **4.** Complete the comprehensive plan map amendment application form (A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035 Map Amendment Application) as well as any other necessary applications; such as the Kenosha County Zoning Map Amendment Application, Kenosha County Conditional Use Permit Application, or Kenosha County Land Division Application.

☐ **5.** Submit your completed comprehensive plan map amendment application form (A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035 Map Amendment Application) and all associated documents to the Kenosha County Department of Planning and Development. Your application must receive a date stamp from the Kenosha County Department of Planning and Development prior to moving on to step six below. After you have received a date stamp from the Kenosha County Department of Planning and Development, you will be provided with two copies of your application documents.

Note: Any petitioner has the right to simultaneously file any other necessary applications (such as the Kenosha County Zoning Map Amendment Application, Kenosha County Conditional Use Permit Application and/or Kenosha County Land Division Application) in conjunction with the proposed comprehensive plan map amendment, however let it be known that should the comprehensive plan map amendment petition be denied or withdrawn, refunds for the additional formal petitions will not be issued.

☐ **6.** Keep one copy of the completed application for your records and deliver the second copy to your local town clerk for notice of public hearing (per section 66.1001(4)(d) of Wisconsin State Statutes) and placement on the Town Planning Commission and Town Board meeting agendas. Note: **The town may not accept/process your application unless it has been stamped received by the Kenosha County Department of Planning and Development**. The town clerk will provide you with the three following dates. Note: these meetings may be held on the same or different days, depending on your respective town's meeting schedule.

Town Plan Commission Meeting/Public Hearing Date: _____

Town Board Meeting Date: _____

Attend the Town Plan Commission/Public Hearing and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request. If you fail to attend these required meetings, your approval process may be delayed.

☐ **7.** Submit to the Kenosha County Department of Planning and Development a copy (original newspaper page or certified copy from the Town) of the notice of public hearing (per section 66.1001(4)(d) of Wisconsin State Statutes) that was published by your Town at least 30 days before the public hearing is held.

Note: See item (i) on the comprehensive plan map amendment application form (A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035 Map Amendment Application).

☐ **8.** Submit to the Kenosha County Department of Planning and Development a copy of the enacted town resolution and ordinance (per section 66.1001(4)(b) and (c) of Wisconsin State Statutes) adopting the amendment to the Kenosha County comprehensive plan map.

Note: See item (j) on the comprehensive plan map amendment application form (A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035 Map Amendment Application).

☐ **9.** Attend the Kenosha County Planning, Development & Extension Education Committee meeting/Public Hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request. The Planning, Development & Extension Education Committee cannot act on your application until a recommendation is received from the Town Board.

Kenosha County Planning, Development & Extension Education Committee meeting date: _____

☐ **10.** Planning, Development & Extension Education Committee recommends either approval and adopts a resolution or denial and transmits recommendation to the Kenosha County Board of Supervisors. No action is required from the applicant at this time.

☐ **11.** The Kenosha County Board of Supervisors either approves or denies the amendment.

If approved, County Board enacts an ordinance that adopts the amendment.

If denied by the Kenosha County Board of Supervisors you have thirty (30) days to file an appeal with circuit court if you so choose.

☐ **12.** After the County Executive has signed the official Ordinance document amending the Kenosha County comprehensive plan (A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035), you will be notified in writing. You may then follow through with filing any other required paperwork such as but not limited to:

Kenosha County Zoning Map Amendment – Filing, review, approval.
Minor Land Divisions – Filing, review, approval and recordation of certified survey map document.
Major Land Divisions – Filing, review, approval and recordation of subdivision plat document.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
Department of Planning & Development
19600 - 75th Street, Post Office Box 520
Bristol, Wisconsin 53104-0520

Division of County Development (including Sanitation & Land Conservation) **857-1895**
Facsimile #..... 857-1920

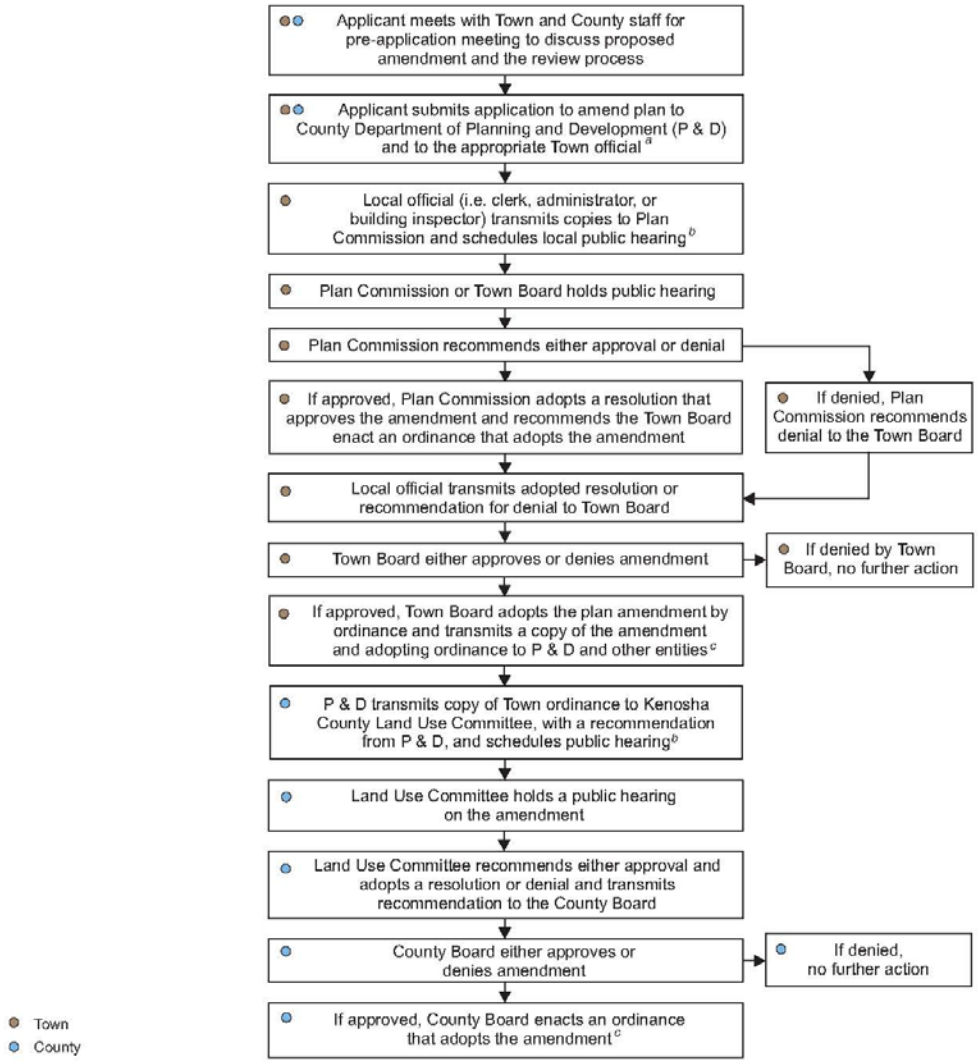
Public Works Division of Highways..... 857-1870

Administration Building
Division of Land Information 653-2622

Brighton, Town of 878-2218
Paris, Town of 859-3006
Randall, Town of 877-2165
Salem, Town of 843-2313
Utility District 862-2371
Somers Town of 859-2822
Wheatland, Town of 537-4340
Wisconsin Department of Natural Resources - Sturtevant Office 884-2300
Wisconsin Department of Transportation - Waukesha Office 548-8722

Figure XV-1

KENOSHA COUNTY MULTI-JURISDICTIONAL COMPREHENSIVE PLAN AMENDMENT PROCESS FOR TOWNS



[a] *If Town has adopted a separate Town comprehensive plan, applicant files an application to amend the Town plan. If Town has adopted the multi-jurisdictional comprehensive plan, applicant files application for Town Board approval of amendment to the multi-jurisdictional plan.*

[b] *A notice of public hearing must be published and distributed in accordance with Section 66.1001(4) of the* Wisconsin Statutes *and the community or County public participation plan.*

[c] *A copy of the amendment and adopting ordinance must be distributed in accordance with Section 66.1001(4) of the* Wisconsin Statutes *and the community or County public participation plan.*

Source: Kenosha County and SEWRPC.

January 2013

COUNTY OF KENOSHA
Department of Planning and Development

RECEIVED
MAY - 6 2020
Kenosha County
Deputy County Clerk

RECEIVED
MAY - 6 2020
Kenosha County
Planning and Development

A MULTI-JURISDICTIONAL COMPREHENSIVE PLAN FOR KENOSHA COUNTY: 2035
MAP AMENDMENT APPLICATION

(a) Property Owner's Name:

Thomas C. Walas x _____ Signature

Mailing Address:

5901 Lockhurst Dr.

City: Woodland Hills State: CA Zip: 91367

Phone Number: 310-498-3443 E-mail (optional): tomwalas@prodigy.net

Note: If the property owner's signature cannot be obtained in the above space, a "letter of agent status" signed by the property owner must be submitted if you are an applicant (tenant, leaseholder, or authorized agent representing the legal owner) acting on their behalf.

Applicant's Name (if applicable):

Wisconsin Electric Power Company d/b/a We Energies, Maria Koerner Agent x Maria Koerner Signature

Mailing Address:

231 W. Michigan Street - P129

City: Milwaukee State: WI Zip: 53203

Phone Number: 414-221-2727 E-mail (optional): maria.koerner@we-energies.com

(b) Existing planned land use category as shown on Map 65 of the Kenosha County comprehensive plan:

"Farmland Protection", "Secondary Environmental Corridor" & "Non-Farmed Wetland"

(c) Proposed land use category (must be a land use category included in the legend for Map 65 of the Kenosha County comprehensive plan):

All the categories listed in (b) and "Transportation - Communication - Utility" on 3/4 of an acre.

(d) Proposed use (a statement of intended use and/or the type, extent, area, etc. of any development project):

Wisconsin Electric Power Company, a Wisconsin corporation, doing business as We Energies proposes to construct, install, and maintain a gas regulator station approximately 5400 feet west of I-94 on the south side of County Highway KR (1st Street), in the Town of Paris, Kenosha County, WI. The proposed parcel consists of Farmland Protection, Secondary Environmental Corridor and Non-Farmed Wetland zoned land totaling approximately 77.43 acres.

The actual footprint of the proposed gas regulator station is approximately 32,692 square feet or 3/4 acres which is currently zoned Farmland Protection and is intended to be rezoned to Transportation - Communication - Utility.

(e) Compatibility with the Kenosha County comprehensive plan (address the following questions in detail):

(e-1) Is the proposed amendment consistent with the goals, objectives, policies, and programs of this plan? Explain:

The proposed amendment is compatible and consistent with Kenosha County's Comprehensive Plan, because the land use plan is the foundation for the design of the utility systems. This proposed amendment complies with the County's plan as detailed below.

The utility section of the Land Use Element of the County's Comprehensive Plan has a provision for utilities and community facilities to ensure there is efficient and adequate utility services for county residents, workers and businesses. The objective of the Comprehensive Plan is to encourage land uses and densities that promote efficient development patterns and relatively low utility costs. A gas regulator station will assist to ensure that Kenosha, Racine and Milwaukee Counties have an adequate gas supply for current and future development.

(e-2) Is the proposed amendment compatible with surrounding land uses? Explain its compatibility with both existing and planned land uses:

The proposed amendment is compatible with surrounding land uses because 76 of the 77 acres will remain unchanged complimenting the neighbors. Also this gas regulator station is an essential component to two gas pipeline projects, Lakeshore Capacity Improvement Project (LCIP) that was approved by the Public Service Commission of Wisconsin in April 2019, and the proposed Lakeshore Lateral Project (LLP). Locating the gas regulator station in this area is ideal to prevent extending the gas pipelines through wetlands or any other parcels.

(e-3) Will the proposed amendment have any detrimental environmental effects? Explain:

The proposed plan amendment will have no detrimental environmental effects. We Energies also plans to landscape around the gas regulator station to minimize any visual impact to neighboring properties.

(e-4) Has a substantial public benefit been demonstrated by the proposed plan amendment? Explain:

The proposed plan amendment demonstrates a public benefit consistent with the approval by the Public Service Commission of Wisconsin of We Energies' application of the Lakeshore Capacity Improvement Project, of which the gas regulator station is a part of. The general public interest and public convenience and necessity require completion of the proposed project.

(e-5) Are public roads, services, and utilities available, or planned to be available in the near future, to serve the proposed development? Explain:

The proposed gas regulator station will be constructed on the south side of County Highway KR. USDOT-PHMSA, WisDOT, and Racine County Public Works' rules would support a separate access driveway for the utility facility. These rules would also allow Wisconsin Electric Power Company to include a separate access driveway for the remaining parcel. The existing access point would remain for the tenant farmer. The gas regulator station does not require sanitary sewer or water services. An overhead electric distribution along County Highway KR will provide the power needed for the building located within the gas regulator station.

(e-6) Are existing or planned facilities and services adequate to serve the type of development associated with the amendment? Explain:

The approved gas pipeline project called, Lakeshore Capacity Improvement Project (LCIP), is part of the distribution system and construction on this project has commenced. The gas regulator station will take the high pressure gas from the Lakeshore Lateral Project (LLP) and decrease or reduce the pressure to the LCIP pipeline.

(e-7) Any additional data or information as requested by the Department of Planning and Development:

None.

(f) Attach a legal description and provide the tax key number(s) below of property to be amended on the Kenosha County comprehensive plan:

45-4-221-021-0100 The entire property description is: The East Half of the Northeast Quarter of Section Two (2), in Town Two (2) North, of Range Twenty-One (21) East of the Fourth Principal Meridian, in the Town of Paris, Kenosha County, Wisconsin, EXEPTING therefrom the North 55 feet thereof conveyed for highway purposes.

(g) Attach plot plan or survey plat of property to be amended on the comprehensive plan (showing location, dimensions, planned land use of adjacent properties, existing uses and buildings of adjacent properties—drawn to scale).

(h) The name of the County Supervisor of the district wherein the property is located:

Supervisory District Number: 19 County Board Supervisor: Michael J. Skalitzky

(i) Attach a copy (original newspaper clipping or certified copy from the Town) of the notice of public hearing (per section 66.1001(4)(d) of Wisconsin State Statutes) that is published by your Town at least 30 days before the public hearing is held. Include the date of publication with the copy of the notice of public hearing.

Note: Your application will not be processed by Kenosha County until a copy of the notice of public hearing and town approval letter is received by the Kenosha County Department of Planning and Development.

(j) Attach a copy of the enacted town resolution and ordinance (per section 66.1001(4)(c) of Wisconsin State Statutes) adopting the amendment to the Kenosha County comprehensive plan map.

Note: Your application will not be processed by Kenosha County until a copy of the enacted town resolution and ordinance adopting the amendment is received by the Kenosha County Department of Planning and Development.

(k) The fee specified in Section 12.05-8 of this ordinance.
Request for Land Use Plan Map Amendment ..... $250.00 payable to "Kenosha County"

(For other fees see the Fee Schedule)

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
Department of Planning & Development
19600 - 75th Street, Post Office Box 520
Bristol, Wisconsin 53104-0520

Division of County Development (including Sanitation & Land Conservation) **857-1895**
Facsimile #..... 857-1920

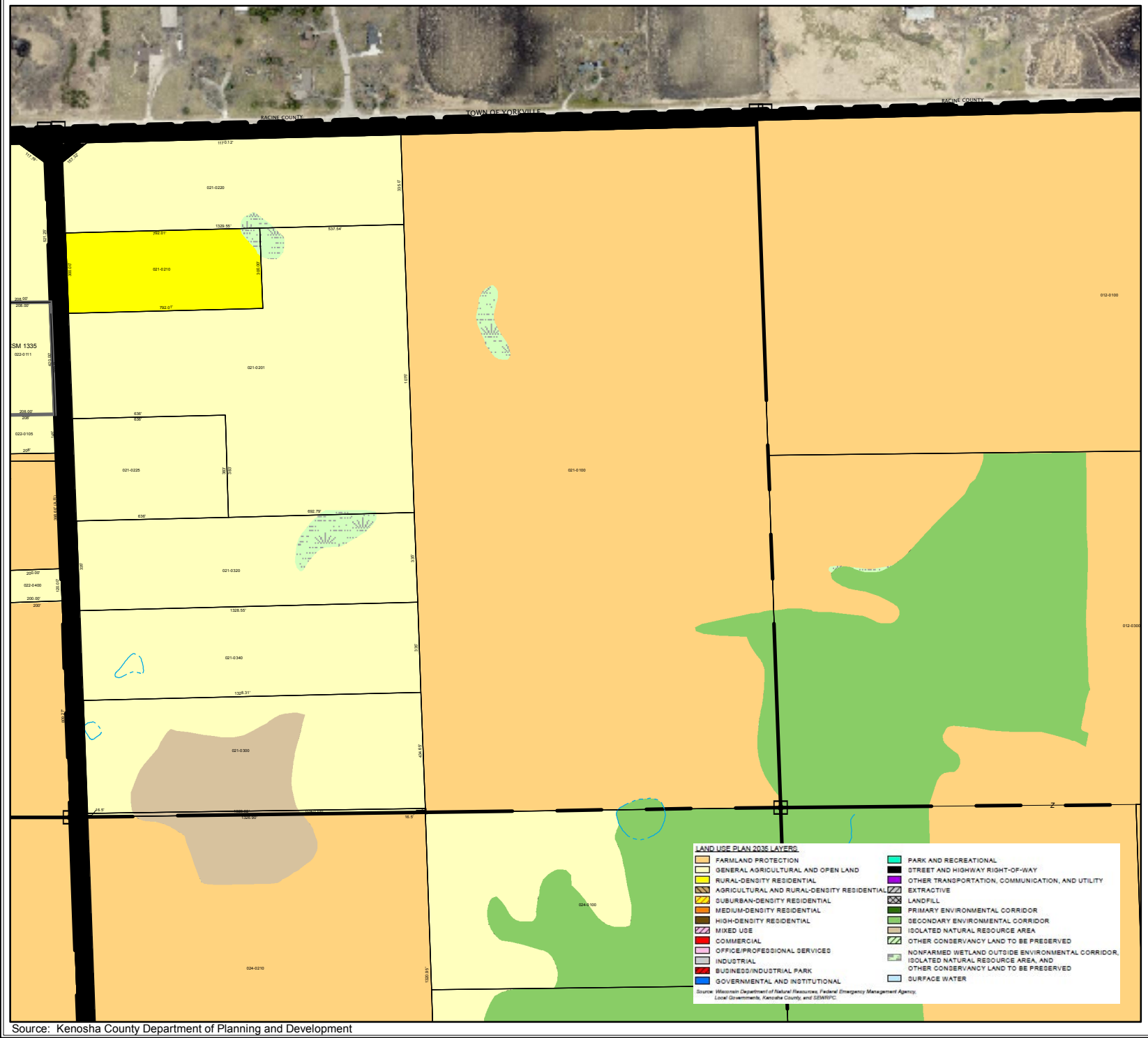
Public Works Division of Highways..... 857-1870

Administration Building
Division of Land Information 653-2622

Brighton, Town of..... 878-2218
Paris, Town of 859-3006
Randall, Town of 877-2165
Salem, Town of 843-2313
Utility District 862-2371
Somers Town of..... 859-2822
Wheatland, Town of 537-4340
Wisconsin Department of Natural Resources - Sturtevant Office 884-2300
Wisconsin Department of Transportation - Waukesha Office 548-8722

Kenosha County

CURRENT LAND USE PLAN MAP DESIGNATIONS

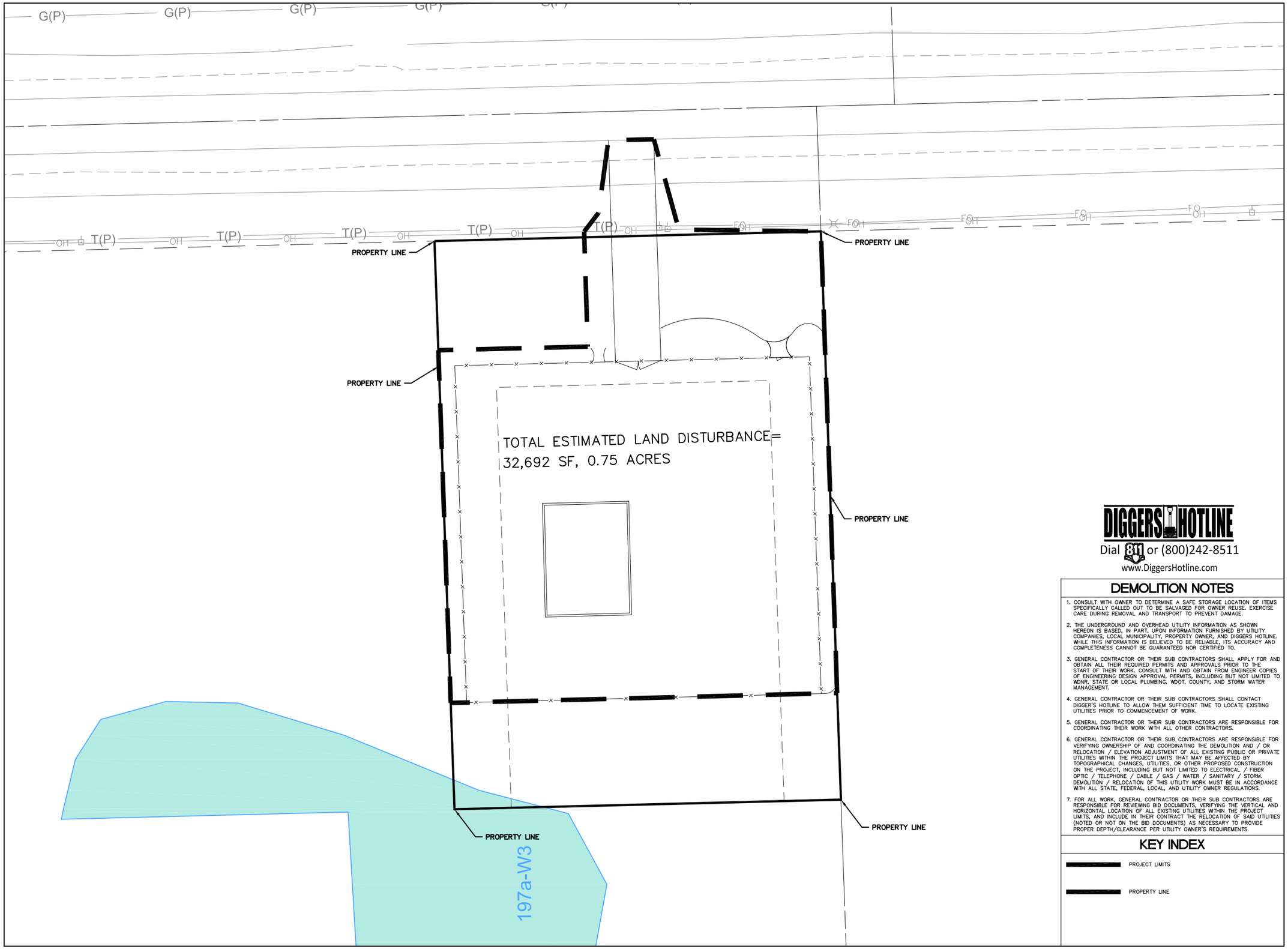


N
W E
S

1 inch = 500 feet

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INNACURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT KENOSHA COUNTY.

Source: Kenosha County Department of Planning and Development



DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

DEMOLITION NOTES

1. CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION OF ITEMS SPECIFICALLY CALLED OUT TO BE SALVAGED FOR OWNER REUSE. EXERCISE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
3. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDNR, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.
4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
5. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.
7. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.

KEY INDEX

PROJECT LIMITS

PROPERTY LINE

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurinc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'
0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER
all in

SHEET:
SITE DEMOLITION PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C101

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C101 – SITE DEMOLITION PLAN.dwg

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

KEY INDEX

- PROJECT LIMITS
- AREAS DISTURBED BY CONSTRUCTION (RESTORATION SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS)
- NEW CONCRETE SLAB
- NEW CRUSHED AGGREGATE
- NEW FENCE

6
C2.11

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES
LAKESHORE H.P.
REGULATION
STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'

0 20 40

SEAL:
WISCONSIN
LANCE M. NEWMAN
E-40453
OAK CREEK, WISCONSIN
PROFESSIONAL ENGINEER

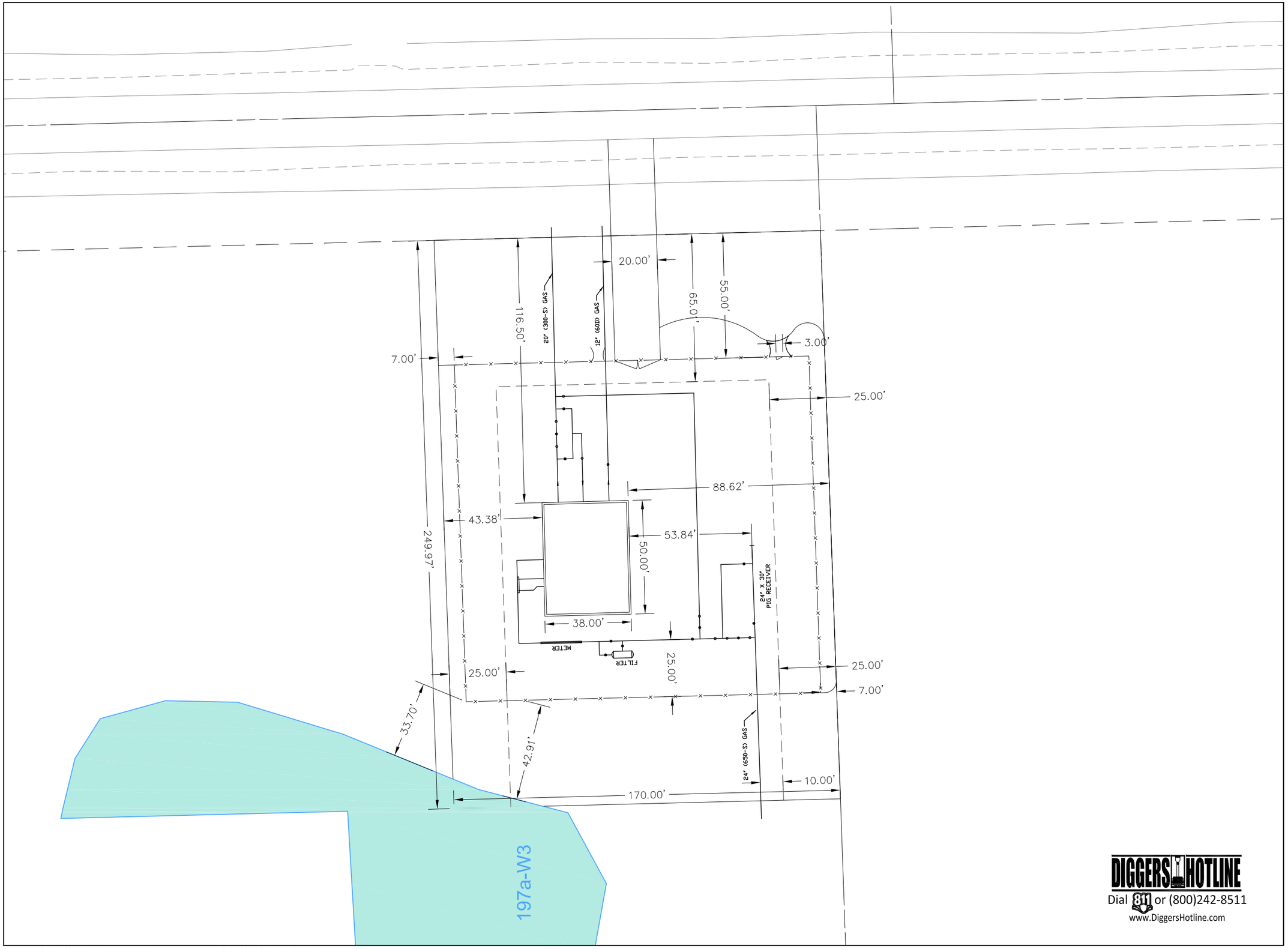
all in

SHEET:
SITE LAYOUT PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C102

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C102 – SITE LAYOUT PLAN.dwg



DIGGERS HOTLINE
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kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'

0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

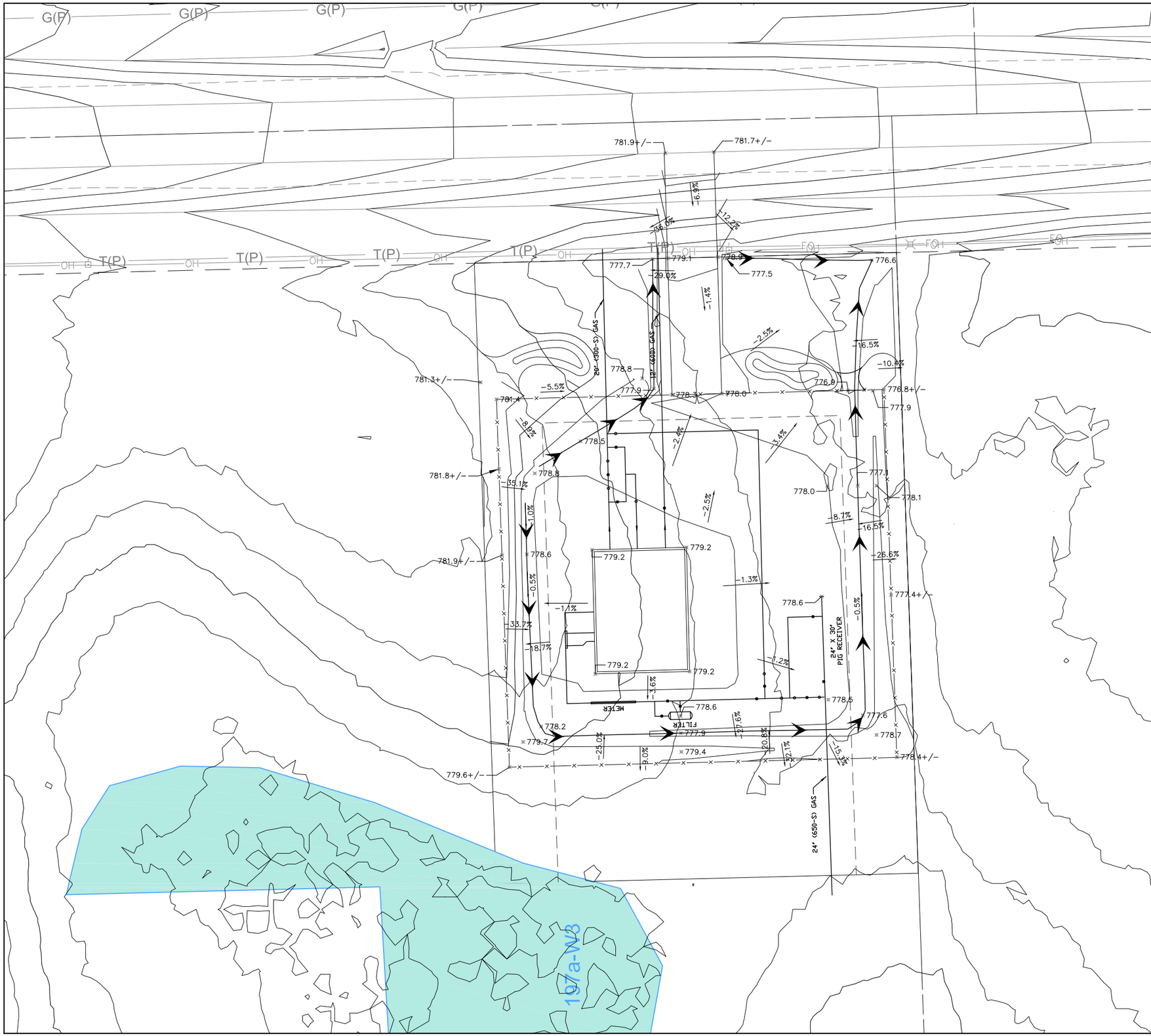
all in

SHEET:
SITE GEOMETRIC PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C103

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C103 – SITE GEOMETRIC PLAN.dwg



kapur

7711 N. Port Washington Road
Milwaukee, Wisconsin 53217

kapurinc.com

PROJECT:

WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:

WALAS SITE

CLIENT:

we energies

RELEASE:

PRELIMINARY

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WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

all in

DIGGERS HOTLINE

Dial 811 or (800)242-8511

www.DiggersHotline.com

GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

KEY INDEX

PROJECT LIMITS	
999	EXISTING CONTOUR MINOR
999	EXISTING CONTOUR MAJOR
999	PROPOSED CONTOUR MINOR
999	PROPOSED CONTOUR MAJOR
970.0	PROPOSED SPOT GRADE
970.0±	MATCH EXISTING GRADE
	DRAINAGE SWALE

SHEET:

SITE GRADING PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:

C104

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C104 – SITE GRADING PLAN.dwg

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UTILITY NOTES

PROJECT LIMITS

CAUTION

KNOWN UTILITY AND POTENTIAL CONFLICT EXIST WITH EXISTING UNDERGROUND UTILITIES. PRIOR TO UTILITY INSTALLATION, CONTRACTOR TO EXCAVATE AND EXPOSE EXISTING UTILITIES, VERIFY LOCATIONS AND ELEVATIONS, AND CONTACT ENGINEER IF CONFLICTS EXIST WITH PROPOSED CONSTRUCTION AND EXISTING UNDERGROUND UTILITIES..

1. PER PROJECT SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, THE POINT OF COMMENCEMENT FOR THE LAYING OF SEWER PIPE SHALL BE AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. THE PIPE SHALL BE LAID WITH THE BELL END OF THE BELL AND SPIGOT PIPE, OR WITH THE RECEIVING GROOVE END OF THE TONGUE AND GROOVE PIPE, POINTING UPGRADE. WHEN A NEW SEWER IS TO BE CONNECTED TO AN EXISTING SEWER NOT TERMINATING IN A MANHOLE, THE CONTRACTOR SHALL UNCOVER THE EXISTING SEWER TO ALLOW ANY ADJUSTMENTS IN LINE AND GRADE TO BE MADE BEFORE PIPE IS LAID.

2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

3. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDNR, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.

4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

5. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.

6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

7. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.

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Milwaukee, Wisconsin 53217
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PROJECT:
WE ENERGIES
LAKESHORE H.P.
REGULATION
STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

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0 20 40

SEAL:
WISCONSIN
LANCE M. NEWMAN
E-40453
OAK CREEK, WISCONSIN
PROFESSIONAL ENGINEER

all in

SHEET:
SITE UTILITY PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C105

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C105 – SITE UTILITY PLAN.dwg

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EROSION NOTES

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND WPDES PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

POINTS OF CONTACT

LAND OWNER:

WE ENERGIES
KEN MOUTVIC
231 W. MICHIGAN STREET
MILWAUKEE, WI 53203
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PROJECT ENGINEER:

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7711 NORTH PORT WASHINGTON ROAD
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PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
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SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

all in

SHEET:
SITE EROSION CONTROL PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C106

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C106 – SITE EROSION CONTROL PLAN.dwg

EROSION CONTROL MEASURES

1. CONTRACTOR TO INSTALL AND MAINTAIN EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN AND PER THE LATEST WDNR TECHNICAL STANDARDS. TECHNICAL STANDARDS MAY BE VIEWED ONLINE AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html

2. INLETS AND CATCH BASINS SHALL BE PROTECTED WITH INLET FILTERS THAT ARE PHASED IN WITH CONSTRUCTION TO REDUCE SEDIMENT FROM ENTERING THESE AREAS PER WDNR TECHNICAL STANDARD 1060 AS FOLLOWS:

   ALL FABRIC BARRIERS SELECTED FOR INLET/CATCH BASIN PROTECTION DEVICES SHALL BE SELECTED FROM THE LIST OF APPROVED FABRICS CERTIFIED FOR INLET PROTECTION, GEOTEXTILE FABRIC, TYPE FF IN THE CURRENT EDITION OF THE WisDOT PRODUCT ACCEPTABILITY LIST, TO OBTAIN THE PAL, PLEASE REFER TO THIS WEBSITE:
   http://wisconsindot.gov/Documents/doing-bus/eng-consultants/cnslt-rsrces/tools/pal/pal-7-14.pdf

   A. INLET PROTECTION SHALL BE AT A MINIMUM INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT OF ½ INCH OR GREATER DURING A 24-HOUR PERIOD.

   B. PLACEMENT OF SPOIL MATERIAL, DEBRIS, SOILS, ETC. ON TOP OF INLETS/CATCH BASINS, EVEN IF TEMPORARY, IS STRICTLY DISCOURAGED AND PROHIBITED.

   C. SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO ½ THE DESIGN DEPTH OF THE DEVICE FOR TYPES A–C, WHEN SEDIMENT IS WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLE FOR TYPE D, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING PER MANUFACTURER'S SPECIFICATIONS. ALL SEDIMENT COLLECTED SHALL BE PROPERLY DISPOSED OF TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.

   D. DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLETS/CATCH BASINS AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET/CATCH BASIN SHALL BE REMOVED AND PROPERLY DISPOSED OF PER NOTE C ABOVE.

   E. INLET FILTERS MAY BE REMOVED AND PROPERLY DISPOSED OF UPON COMPLETION OF CONSTRUCTION, HAULING OR MOVEMENT OF CONSTRUCTION EQUIPMENT THROUGHOUT THE SITE, AND ONCE THE SITE IS ADEQUATELY STABILIZED, UNLESS AS OTHERWISE NOTIFIED BY THE WDNR.

3. A TRACKING PAD SHALL BE INSTALLED AS SHOWN ON THE PLAN SHEET PRIOR TO THE START OF CONSTRUCTION TO REDUCE OFF-SITE SEDIMENTATION BY ELIMINATING THE TRACKING OF SEDIMENT FROM THE SITE PER WDNR TECHNICAL STANDARD 1057 AS FOLLOWS:

   A. AGGREGATE USED FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED BY 3 INCH SIEVE.

   B. THE AGGREGATE SHALL BE PLACED IN A LAYER OF AT LEAST 12 INCHES THICK ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED, TRACKING PADS WILL BE UNDERLAIN WITH WisDOT TYPE R GEOTEXTILE FABRIC.

   C. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (MIN. 15 FEET WIDE) AND BE AT LEAST 50 FEET LONG.

   D. VEHICLES TRAVELING ACROSS THE TRACKING PAD SHALL MAINTAIN A SLOW CONSTANT SPEED.

   E. ANY SEDIMENT OR ROCK ACCUMULATION ONTO LOCAL ROADWAYS SHALL BE REMOVED BY STREET CLEANING, NOT FLUSHING BEFORE THE END OF EACH WORKING DAY.

   F. THE TRACKING PAD SHALL, AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT OF ½ INCH OF RAIN OR MORE DURING A 24-HOUR PERIOD.

   G. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED AT A MINIMUM OF 12" BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

4. THE CONSTRUCTION SITE PERIMETER AND TOPSOIL STOCKPILE AREA SHALL BE PROTECTED WITH SILT FENCE AS SHOWN ON THE PLAN SHEET PRIOR TO THE START OF CONSTRUCTION TO INTERCEPT AND REDUCE THE FLOW OF SEDIMENT-LADEN SHEET FLOW RUNOFF FROM THE CONSTRUCTION SITE PER WDNR TECHNICAL STANDARD 1056 AS FOLLOWS:

   A. SILT FENCE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE AS SHOWN ON THE PLAN SHEET.

   B. INSTALLED SILT FENCE SHALL BE A MINIMUM 14 INCHES HIGH AND SHALL NOT EXCEED 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.

   C. SILT FENCE SHALL BE SUPPORTED BY EITHER STEEL OR WOOD SUPPORT POSTS.

   D. THE MAXIMUM SPACING OF POSTS FOR NONWOVEN SILT FENCE SHALL BE 3 FEET OR FOR WOVEN FABRIC 8 FEET.

   E. SILT FENCE SHALL HAVE A SUPPORT CORD AT THE TOP OF THE FENCE.

   F. WHERE JOINTS ARE NEEDED, EACH END OF THE FABRIC SHALL BE SECURELY FASTENED TO A POST. THE POSTS SHALL BE WRAPPED AROUND EACH OTHER TO PRODUCE A STABLE AND SECURE JOINT OR SHALL BE OVERLAPPED THE DISTANCE BETWEEN TWO POSTS.

   G. A MINIMUM OF 20 INCHES OF THE POSTS SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.

   H. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4 INCH WIDE BY 6 INCH DEEP TRENCH, OR 6 INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. THE TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED ANY WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.

   I. ON THE TERMINAL ENDS OF THE SILT FENCE THE FABRIC SHALL BE WRAPPED AROUND THE POST SUCH THAT THE STAPLES ARE NOT VISIBLE.

   J. GEOTEXTILE FABRIC SPECIFICATIONS SHALL MEET VALUES ESTABLISHED IN TECHNICAL STANDARD 1056.

   K. SILT FENCE SHALL BE REMOVED ONCE THE SITE IS ADEQUATELY STABILIZED.

   L. WHEN PLACING SILT FENCE NEAR TREES, CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO THE ROOT SYSTEM BY AVOIDING COMPACTION AND ROOT CUTTING WITHIN A RADIUS OF 1.5 FEET MULTIPLIED BY THE INCH DIAMETER OF THE TREE.

   M. THE CONTRACTOR MAY FURTHER STRENGTHEN THE SILT FENCE BY USING HAY BALES ON THE DOWN SLOPE SIDE AS NEEDED.

   N. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES ½ INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD.

   O. DAMAGED OR DECOMPOSED SILT FENCE, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.

   P. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ½ THE HEIGHT OF THE FENCE TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.

5. SEEDING AND MULCHING TECHNIQUES SHALL BE USED ON AREAS OF EXPOSED SOIL WHERE THE ESTABLISHMENT OF VEGETATION IS DESIRED. TEMPORARY SEEDING APPLIES TO DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND-DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 CALENDAR DAYS, REQUIRING VEGETATIVE COVER FOR LESS THAN ONE YEAR. SEED AND MULCH SHALL BE UTILIZED THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH TEMPORARY VEGETATION TO HELP REDUCE EROSION PER WDNR TECHNICAL STANDARDS 1059 AND 1058 RESPECTIVELY AS FOLLOWS:

   A. TEMPORARY SEEDING REQUIRES A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2 INCHES.

   B. FERTILIZER APPLICATION IS NOT GENERALLY REQUIRED FOR TEMPORARY SEEDING. HOWEVER, ANY APPLICATION OF FERTILIZER OR LIME SHALL BE BASED ON SOIL TESTING.

   C. THE SOIL SHALL HAVE A PH RANGE OF 5.5 TO 8.0.

   D. ALL SEED SHALL CONFORM TO THE REQUIREMENTS OF THE WISCONSIN STATE STATUTES AND OF THE ADMINISTRATIVE CODE CHAPTER ATCP 20.01 REGARDING NOXIOUS WEED SEED CONTENT AND LABELING.

   E. SEED SHALL NOT BE USED LATER THAN ONE YEAR AFTER THE TEST DATE ON THE LABEL.

   F. IN THE SUMMER-SPRING, CONTRACTOR SHALL USE OATS APPLIED AT 131 LBS/ACRE FOR TEMPORARY SEEDING PURPOSES. IN THE FALL THE CONTRACTOR SHALL USE ANNUAL RYEGRASS APPLIED AT 80 LBS/ACRE OR WINTER WHEAT OR CEREAL RYE APPLIED AT 131 LBS/ACRE. THE CONTRACTOR SHALL USE STRAW MULCH APPLIED AT 1.5 TONS/ACRE. DORMANT SEED SHALL BE USED WHEN SOIL TEMPERATURE IS CONSISTENTLY BELOW 53 DEGREES FAHRENHEIT (TYPICALLY NOV. 1 UNTIL SNOW COVER ANNUALLY). NEVER PLACE SEED ON TOP OF SNOW. IF COVER IS NEEDED AFTER SNOW FALL, CONTRACTOR MAY CHOOSE TO USE A DORMANT, NONTOXIC TYPE B SOIL STABILIZER PER MANUFACTURER'S SPECIFICATIONS AS REQUIRED BY THE WDNR.

   G. SEEDING SHALL NOT TAKE PLACE WHEN THE SOIL IS TOO WET.

   H. CONTRACTOR MAY CONSIDER WATERING TO HELP ESTABLISH THE SEED. WATER APPLICATION RATES SHALL BE CONTROLLED TO HELP PREVENT RUNOFF AND EROSION.

   I. DURING CONSTRUCTION, AREAS THAT HAVE BEEN SEEDED AND MULCHED SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES ½ INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD. INSPECT AREAS DURING THE GROWING SEASON UNTIL VEGETATION IS DENSELY ESTABLISHED OR THE SOD IS LAID. REPAIR AND RESEED AREAS THAT HAVE EROSION DAMAGE AS NECESSARY.

   J. CONTRACTOR IS TO LIMIT VEHICLE TRAFFIC AND OTHER FORMS OF COMPACTION IN AREAS THAT ARE SEEDED AS MUCH AS POSSIBLE. RE-SEED DRIVEN OVER AREAS AS NEEDED.

   K. MULCH SHOULD BE PLACED WITHIN 24 HOURS OF SEEDING.

   L. MULCHING OPERATIONS SHALL NOT TAKE PLACE DURING PERIODS OF EXCESSIVELY HIGH WINDS THAT WOULD PRECLUDE THE PROPER PLACEMENT OF MULCH.

   M. MULCH THAT IS DISPLACED SHALL BE REAPPLIED AND PROPERLY ANCHORED. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS.

   N. WHEN CHANNEL EROSION MAT IS USED WITHIN CONSTRUCTION SITE DIVERSION AREAS, TECHNICAL STANDARDS 1053 AND 1066 SHALL BE FOLLOWED.

   O. WHEN NON-CHANNEL EROSION MAT IS USED TECHNICAL STANDARD 1052 SHALL BE FOLLOWED.

   P. DEPENDING ON DURATION OF CONSTRUCTION, THE CONTRACTOR MAY NEED TO RE-SEED AND RE-STABILIZE THE TOPSOIL STOCKPILE AS NECESSARY TO DISCOURAGE SEDIMENT AND EROSION.

6. A COPY OF EROSION CONTROL INSPECTION REPORTS AND THE APPROVED EROSION CONTROL PLANS SHALL BE KEPT ON SITE.

7. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL PRACTICES BY THE END OF EACH WORKDAY.

8. LOCAL ROADS SHALL BE CLEAN BY THE END OF EACH WORKDAY. CONTRACTOR SHALL HAVE LOCAL ROADS SWEPT WHERE SEDIMENT ACCUMULATES.

EROSION CONTROL OPERATION SEQUENCE + SCHEDULE

AFTER BIDS ARE RECEIVED AND A MASS GRADING CONTRACTOR IS SELECTED, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH ALL RELEVANT PARTIES IN ATTENDANCE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SILT FENCES, SEEDING, EROSION MATTING, AND OTHER EROSION CONTROL MEASURES. GENERAL CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING, OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF ½ INCH OR GREATER. IN ADDITION, THE ACTIVE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION, AND WEATHER CONDITIONS IN A DAILY LOG BOOK.

ALL REGULATORY PERMITS, PROJECT PLANS, AND INSPECTION LOGS SHALL BE KEPT ON SITE IN AN ACCESSIBLE LOCATION, SUCH AS A MAILBOX, AVAILABLE TO REGULATORY AGENCIES UPON REQUEST.

CONTRACTORS ARE TO MAINTAIN THE CONSTRUCTION SITE IN A NEAT AND TIDY MANNER FOR THE DURATION OF THE PROJECT.

THE TIMING AND SEQUENCE OF CONSTRUCTION IS SCHEDULED AS FOLLOWS:

1. OBTAIN PLAN APPROVAL FROM THE _____, AND ALL APPLICABLE PERMITS, INCLUDING EROSION CONTROL PERMIT.

2. CONSTRUCTION IS SCHEDULED TO BEGIN IN _____, DEPENDING ON WEATHER & GROUND CONDITIONS.

3. A GRAVEL TRACKING PAD UNDERLAIN WITH WISDOT TYPE R GEOTEXTILE FABRIC, ALONG WITH A TEMPORARY CULVERT IF NECESSARY, SHALL BE INSTALLED AS SHOWN ON THE PLANS. RE-GRADE EXISTING ROADWAY DITCH AS NECESSARY. IF INSTALLED, THE TEMPORARY CULVERT SHALL BE REMOVED AT END OF CONSTRUCTION ACTIVITIES. IF INDICATED ON PLANS, INSTALL CONSTRUCTION FENCE AND ANY TEMPORARY TRAFFIC CONTROLS.

4. SILT FENCE, INLET FILTER PROTECTION, AND TRIANGULAR SILT DIKES SHALL BE INSTALLED AS SHOWN ON THE PLANS, AND INSPECTED PRIOR TO COMMENCING OF ANY LAND DISTURBING ACTIVITIES PER PROJECT PLANS AND DETAILS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN THEY REACH A DEPTH OF 1/2 FENCE HEIGHT.

5. FOLLOWING INSTALLATION OF THE EROSION CONTROL MEASURES, CONSTRUCT THE STORM WATER POND TO FINISH GRADES WITH CLAY LINER PER PROJECT PLANS AND DETAILS. CONTRACTOR SHALL CONSTRUCT POND INLETS AND OUTLET STRUCTURE FOR USE DURING CONSTRUCTION (REFER TO DETAIL ---- ON SHEET ---- FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL IMMEDIATELY STABILIZE THE POND BANKS, INLETS, AND OUTLET STRUCTURE.

6. STORM WATER POND SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES ½ INCH OF RAIN OR MORE DURING A 24-HOUR PERIOD. SEDIMENT SHALL BE REMOVED TO MAINTAIN THE 3' FOOT DEPTH OF THE TREATMENT SURFACE AREA AS MEASURED FROM THE INVERT OF THE PRINCIPAL OUTLET. IF THE OUTLET BECOMES CLOGGED IT SHALL BE CLEANED TO RESTORE FLOW CAPACITY. SEDIMENT TO BE REMOVED AFTER CONSTRUCTION & SITE STABILIZATION IS COMPLETE.

7. SITE DEMOLITION OF PAVEMENT, ETC. WILL OCCUR AFTER ALL EROSION CONTROL MEASURES ARE IN PLACE.

8. CONSTRUCTION OF THE BUILDING, STARTING WITH THE FOUNDATION, WILL BEGIN IMMEDIATELY AFTER THE SITE DEMOLITION IS COMPLETE IN THE BUILDING PAD AREA.

9. TOPSOIL STRIPPING AND ROUGH GRADING WILL FOLLOW. TOPSOIL STOCKPILES WILL BE LOCATED AS SHOWN ON THE PLANS AND BE STABILIZED WITHIN 7 DAYS OF LAY UP. STOCKPILES WILL BE USED FOR FINAL LANDSCAPING. REMAINING STOCKPILES WILL BE REMOVED FROM THE SITE.

10. UTILITY INSTALLATION WILL OCCUR NEXT AND CONTINUE UNTIL ALL THE UTILITIES ARE INSTALLED.

11. AFTER ROUGH GRADING IS COMPLETE IN HARD SURFACE AREAS SUCH AS ROADWAYS, PARKING LOTS, AND BUILDINGS, THE REQUIRED THICKNESS OF DENSE GRADED BASE COURSE, PER THE PROJECT PLANS AND DETAILS WILL BE APPLIED FOR STABILIZATION. AFTER ROUGH GRADING IS COMPLETE OUTSIDE OF HARD SURFACE AREAS, THE TOPSOIL WILL BE REAPPLIED AND THE LANDSCAPE CONTRACTOR WILL COMPLETE SEEDING/SODDING/FERTILIZING/MULCHING AND INSTALL EROSION MATTING AS PER APPROVED PLANS AND SPECIFICATIONS.

12. FINAL SITE STABILIZATION IS ANTICIPATED FOLLOWING THE COMPLETION OF GRADING ACTIVITIES PER WDNR TECHNICAL STANDARD 1059. IF SITE STABILIZATION CANNOT BE COMPLETED BY OCTOBER 15, THEN THE USE OF ANIONIC POLYACRYLAMIDE CONFORMING TO WDNR TECHNICAL STANDARD 1050 SHALL BE USED. IN ADDITION, ALL SLOPES OF GREATER THAN 20% MUST ADHERE TO THE SCHEDULE IN TABLE 1 BELOW.

13. AFTER ALL TOPSOIL HAS BEEN REAPPLIED AND STABILIZATION IS UNDERWAY, ROADWAY, PARKING LOT, AND SIDEWALK BASE MATERIAL WILL BE APPLIED PER PROJECT SPECIFICATIONS.

14. THE GENERAL CONTRACTOR WILL REQUEST A FINAL INSPECTION BY THE CITY. UPON APPROVAL, ALL SILT FENCES, INLET FILTER PROTECTION, AND TRIANGULAR SILT DIKES SHALL BE REMOVED, AND ACCUMULATED SEDIMENT IN THE SEDIMENT BASIN/STORM WATER POND SHALL BE DREDGED AND PROPERLY DISPOSED OF. IN ADDITION, THE CONTRACTOR MUST ENSURE THAT THE STORM WATER POND IS RETURNED TO THE SLOPES AND GRADES SHOWN ON THE PROJECT PLANS AND DETAILS.

15. IF REQUIRED, FINAL 'AS-BUILT' SURVEYS ARE TO BE CONDUCTED BY THE OWNER AND FINAL DOCUMENTS FORWARDED TO THE CITY.

16. BARE SOIL LEFT UNDISTURBED FOR 14 CALENDAR DAYS MUST BE TEMPORARILY STABILIZED PER WDNR TECHNICAL STANDARD 1059. BY OCTOBER 15, THE SITE SHALL BE STABILIZED PER NOTE 12 ABOVE.

17. WE DO NOT ANTICIPATE THE NEED FOR WATERING WITH THIS CONSTRUCTION SCHEDULE, HOWEVER, IF ADEQUATE RAIN IS NOT EXPERIENCED WITHIN ONE WEEK AFTER INITIAL SEED GERMINATION AT ANY PONT DURING THE CONSTRUCTION PROCESS, WATER SHALL BE TRUCKED IN AND APPLIED ONCE PER WEEK.

IF CONSTRUCTION SCHEDULES SHOULD CHANGE SIGNIFICANTLY, THIS PLAN NARRATIVE WILL BE UPDATED AND RESUBMITTED BY THE GENERAL CONTRACTOR TO THE CITY AND WDNR.

DEWATERING PLAN

TO FACILITATE CONSTRUCTION AT THE PROJECT SITE, DEWATERING MAY TAKE PLACE BY THE SELECTED CONTRACTOR. CONTRACTOR TO FOLLOW THESE INSTRUCTIONS WHILE PERFORMING DEWATERING ACTIVITIES ON-SITE. IF DEWATERING IS TO TAKE PLACE AT THE SITE, IT WILL OCCUR BETWEEN STEPS 3 AND 14 OF THE EROSION CONTROL OPERATION SEQUENCE.

NOTE: THESE INSTRUCTIONS DO NOT APPLY TO WATER BEING DISCHARGED DIRECTLY TO GROUNDWATER OR KARST FEATURES OR WELL DEWATERING SYSTEMS. CONTRACTOR SHALL COORDINATE ACCORDINGLY FOR OTHER DEWATERING ACTIVITIES AS DEEMED NECESSARY WITH THE WDNR.

1. THE CONTRACTOR SHALL ENSURE THAT THE DEWATERING PRACTICES CARRIED OUT MEET OR EXCEED WNDR TECHNICAL STANDARD NUMBER 1061.

2. A PAN OR OTHER CONTAINMENT DEVICE SHALL BE PLACED UNDERNEATH THE PUMP TO CAPTURE ANY SPILLS, OILS, GASOLINE, ETC. SHALL NOT BE STORED WITHIN WETLANDS, NEAR THE STORMWATER POND, OR OTHER ON-SITE WATER AREAS.

3. A TYPE 2 GEOTEXTILE BAG THAT IS NO SMALLER THAN 100 SQUARE FEET; HAS A MAXIMUM APPARENT OPENING SIZE OF 0.212 mm; HAS A GRAB TENSILE STRENGTH OF 300 LBS; MULLEN BURST OF 580 PSI; PERMEABILITY OF 0.2 CM/SEC; FABRIC WEIGHT OF 12 OZ SHALL BE USED. THE GEOTEXTILE BAG AREA AND DOWNGRADE FLOW AREA SHALL CONSIST OF VEGETATED AND UNDISTURBED SOILS.

4. POLYMER APPROVED BY THE WDNR MEETING WDNR TECHNICAL STANDARD 1051 MAY BE USED IN COMBINATION WITH THE DEWATERING BAG IF THE DEWATERING BAG IS NOT DOING AN ADEQUATE JOB ALONE OF FILTERING SEDIMENTS. THE CONTRACTOR SHALL SUPPLY TOXICITY TESTING DATA TO THE WDNR BEFORE USE ON-SITE FOR WDNR APPROVAL. POLYMER SHALL NOT BE DIRECTLY APPLIED TO SURFACE WATER. CONTRACTOR SHALL OBTAIN THE MATERIAL SAFETY DATA SHEETS (MSDS) FOR THE SELECTED POLYMER, MANUFACTURER'S INFORMATION AND WDNR USE RESTRICTIONS (SEE TECHNICAL STANDARD 1051) AND KEEP ALL THIS INFORMATION ON-SITE. CONTRACTOR SHALL ADHERE TO MANUFACTURER AND WDNR'S APPLICATION RATES FOR THE POLYMER, WITH THE WDNR'S RATE TAKING PRECEDENCE. THE CONTRACTOR SHALL TAKE STEPS TO ENSURE THAT THE POLYMER IS NOT SPILLED. SPILL KITS SHALL BE KEPT ON SITE; THE MANUFACTURER'S RECOMMENDED CLEANUP PROCEDURES SHALL BE FOLLOWED IN THE EVENT OF A SPILL.

5. A TARP MAY BE UTILIZED UNDERNEATH THE TYPE 2 GEOTEXTILE BAG AND JUST DOWN SLOPE OF THE BAG TO DISCOURAGE EROSION AND SCOUR.

6. A FLOATING SUCTION HOSE OR OTHER FLOTATION METHOD SHALL BE UTILIZED WHEN PUMPING FROM AN AREA WITH STANDING WATER TO AVOID SUCKING SEDIMENT FROM GRADE.

7. IF TURBID WATER IS LEAVING THE GEOTEXTILE BAG, THE CONTRACTOR SHALL SHUT OFF THE PUMP TO ALLOW SEDIMENTS TO SETTLE INTO THE BAG. CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S SPECIFICATIONS FOR DETERMINING THE SEDIMENT CAPACITY OF THE GEOTEXTILE BAG USING GOOD COMMON SENSE. SEDIMENT LEVELS CONTAINED IN THE BAG SHALL BE MONITORED TO MEASURE THE LOSS OF STORAGE CAPACITY OVER TIME. THE CONTRACTOR SHALL PROPERLY DISPOSE OF THE GEOTEXTILE BAG IN A WASTE RECEPTACLE ONCE IT IS NO LONGER USED.

8. DURING DEWATERING ACTIVITIES THE CONTRACTOR SHALL MONITOR DEWATERING PRACTICES AND KEEP A LOG OF THE FOLLOWING:

   A. DISCHARGE DURATION AND SPECIFIED PUMPING RATE.

   B. OBSERVED WATER TABLE AT TIME OF DEWATERING.

   C. MAINTENANCE ACTIVITIES

   D. NAME AND QUANTITY OF POLYMER USED. PRODUCT TYPE. APPLICATION RATE OF POLYMER IN POUNDS/ACRE FEET OF WATER. DATE AND TIME APPLIED. WEATHER CONDITIONS DURING APPLICATION. METHOD OF APPLICATION.

THIS LOG NEEDS TO BE KEPT ON SITE FOR WDNR REGULATORY REVIEW. COPIES OF THIS DOCUMENTATION SHOULD BE KEPT IN THE CONTRACTOR'S MONITORING LOG AND MADE AVAILABLE UPON REQUEST.

REVIEW THE FOLLOWING FOR MORE INFORMATION:

WDNR TECHNICAL STANDARD 1061 FOR DEWATERING –
http://dnr.wi.gov/topic/stormWater/documents/Dewatering_1061.pdf

WDNR TECHNICAL STANDARD 1051 FOR POLYMER –
http://dnr.wi.gov/topic/stormWater/documents/dnr1051.pdf

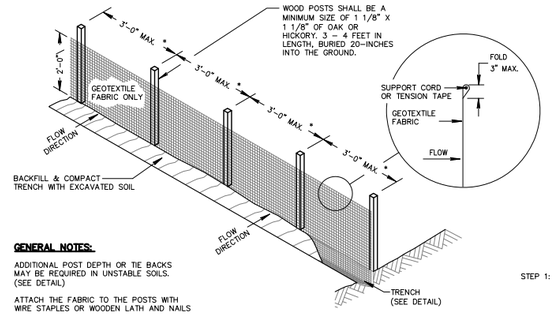
INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS WPDES PERMIT & CHAPTER 30 PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOODPLAINS UNLESS IDENTIFIED IN THE PLANS & APPROVED BY DNR/USACOE.

TABLE 1 - MAXIMUM PERIOD OF BARE SOIL FOR SLOPES GREATER THAN 20%

SLOPE AREA DRAINS TO SEDIMENT BASIN?	LAND DISTURBANCE BETWEEN SEPT. 16 AND MAY 1	LAND DISTURBANCE BETWEEN MAY 2 AND SEPT. 15
YES	90 DAYS	90 DAYS
NO	60 DAYS	30 DAYS

TABLE FROM WI DNR GUIDANCE DOC # 3800-2015-06



GENERAL NOTES:

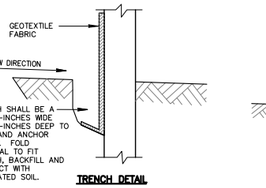
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS. (SEE DETAIL)

ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS

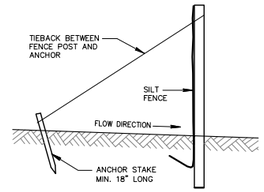
*8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

IF POSSIBLE, CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING METHODS:
(1)TWIST METHOD: OVERLAP END POSTS & TWIST AT LEAST 180 DEGREES.
(2)HOOK METHOD: HOOK THE END OF EACH SILT FENCE LENGTH.

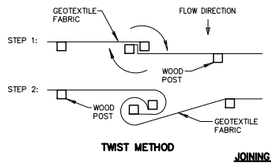
AXONIMETRIC VIEW



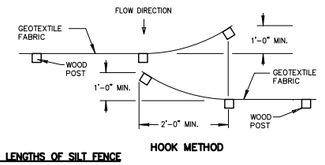
TRENCH DETAIL



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)



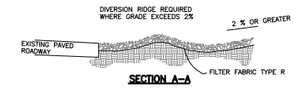
TWIST METHOD



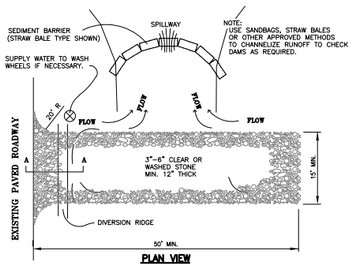
HOOK METHOD

JOINING TWO LENGTHS OF SILT FENCE

1 FILTER FABRIC SILT FENCE DETAIL
N.T.S.

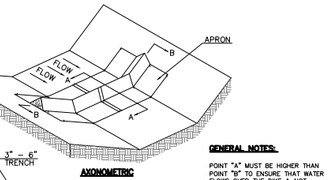


SECTION A–A

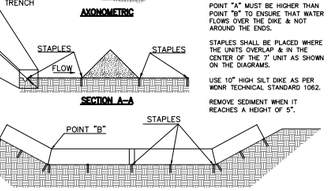


PLAN VIEW

2 STONE TRACKING CONSTRUCTION ENTRANCE
N.T.S.



AXONIMETRIC



SECTION A–A

SECTION B–B

GENERAL NOTES:

THE AGGREGATE SIZE FOR CONSTRUCTION OF THE PAD SHALL BE 3– TO 6–INCH STONE. PLACE THE GRAVEL TO THE SPECIFIC GRADE & DIMENSIONS SHOWN ON THE PLANS & GRADE TO CREATE A SMOOTH SURFACE.

THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES. USE GEOTEXTILE FABRICS, IF NECESSARY, TO IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS & IN ANY SPECIFIC GRADE BE LESS THAN 15 FEET WIDE.

THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.

LOCATE CONSTRUCTION ENTRANCES & EXITS TO LIMIT SEDIMENT LEAVING THE SITE & TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. AVOID ENTRANCES WHICH HAVE STEEP GRADES & ENTRANCES AT CURVES IN PUBLIC ROADS.

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACK

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\L101 – SITE LANDSCAPE PLAN.dwg

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'
0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

all in

SHEET:
SITE LANDSCAPE PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
L101

Plant Schedule

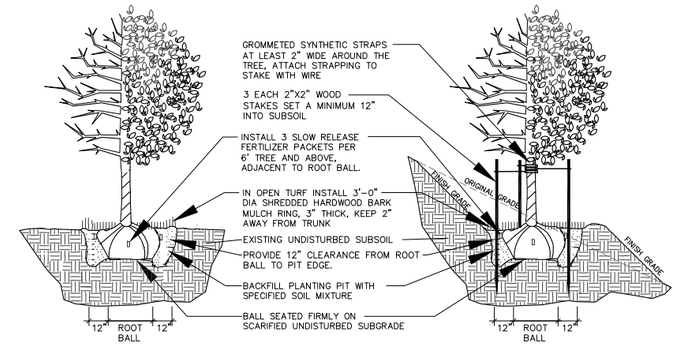
	Scientific Name	Common Name	Quantity	Spacing	Install Size
Deciduous Trees					
KCT	Gymnocladus dioicus	Kentucky Coffee Tree (MALE SPECIES	1	Per Plan	2.5" caliper B&B
Evergreen Trees:					
BHS	Picea glauca var. densata	Black Hills Spruce	1	Per Plan	5' tall B&B
Evergreen Shrubs					
KCJ	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay Compact Juniper	5	Per Plan	#5 cont.
Deciduous Shrubs					
CPL	Syringa vulgaris	Common Purple Lilac	19	Per Plan	3' B&B
NWR	Rosa rugosa 'Nearly Wild'	Nearly Wild Rose	10	Per Plan	#3 cont.
RTD	Cornus sericea	Red Twig Dogwood	20	Per Plan	3' B&B
Perennials					
BES	Rudbeckia hirta	Black Eyed Susan	23	Per Plan	#1 cont.
HMS	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	58	Per Plan	#1 cont.
KBL	Liatris spicata 'Kobold'	Kobold Liatris	23	Per Plan	#1 cont.
PDS	Sporobolus heterolepus	Prairie Dropseed	8	Per Plan	#1 cont.
PPC	Heuchera 'Palace Purple'	Palace Purple Coral bell	23	Per Plan	#1 cont.

NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

1 LANDSCAPE SCHEDULE
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

1. ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
2. CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK MULCHES FOR APPROVAL PRIOR TO INSTALLATION.
3. BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
4. ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH OVER TYPAR WEED FABRIC WITH SHOVEL CUT EDGE. NO WEED FABRIC IN PERENNIAL AREAS. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
5. INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
6. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
7. CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
8. REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
9. REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
10. PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
11. PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
12. PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
13. PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
14. WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
15. FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
16. INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
17. STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
18. NO MOW TO BE NO MOW FESCUE SEED MIX WITH ANNUAL RYE NURSE CROP FROM PRAIRIE NURSERY, INC. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. PRAIRIE NURSERY ADDRESS: PO BOX 306 WESTFIELD, WI 53964. TELEPHONE: 1-800-476-9453 FAX: 608-296-2741.
19. REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

2 LANDSCAPE NOTES
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE
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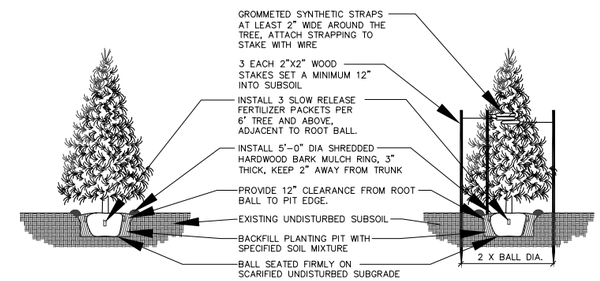

4 EVERGREEN TREE PLANTING & STAKING
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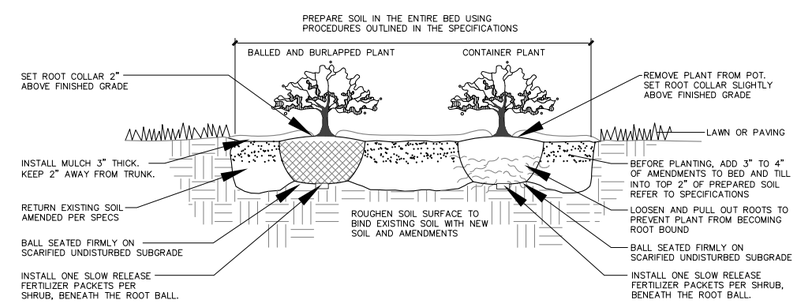
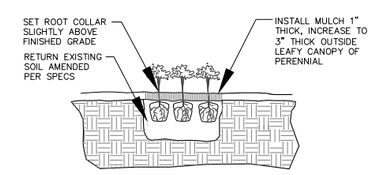


5 DECIDUOUS & EVERGREEN SHRUB PLANTING
N.T.S.



6 PERENNIAL PLANTING
N.T.S.

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurinc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

SEAL:

all in

SHEET:
SITE LANDSCAPE DETAILS

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
L201

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\L101 - SITE LANDSCAPE PLAN.dwg

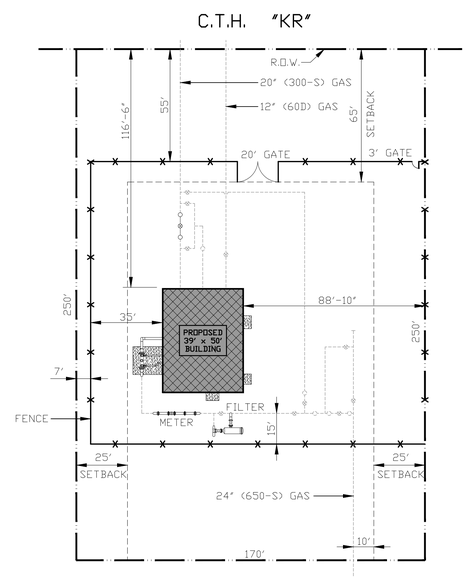
A PROPOSED REGULATION STATION FOR:

WE ENERGIES - LAKESHORE HP REG. STATION

C.T.H. "KR" & I-94 ■ KENOSHA, WI

DRAWING INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET SITE PLAN
2	GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS FOUNDATION DETAILS
3	FOUNDATION PLAN FLOOR PLAN ROOM & DOOR SCHEDULE
4	POWER / HVAC / LIGHTING PLAN, FRAMING PLAN STRUCTURAL NOTES GROUNDING NOTES
5	EXTERIOR ELEVATIONS DETAILS
6	CROSS SECTIONS
7	CROSS SECTIONS DETAILS
8	DETAILS
9	DETAILS



SITE PLAN

SCALE: 1" = 30'-0"

RUDIE | FRANK
ARCHITECTURE
920 GOOLD STREET ■ RACINE, WI 53402 ■ 262.634.5565
INFO@RUDIEFRANK.COM

PROJECT INFO

OCCUPANCY TYPE: UTILITY
GROUP: U
CONSTRUCTION CLASS: IIB
AREA OF PROJECT: 1,993 Sq. Ft.

REVISIONS

03-27-2020 - REVIEW SET TO OWNER
03-30-2020 - REVISED SET TO OWNER
03-30-2020 - ISSUED FINAL PLANS TO OWNER

DATE

MAR. 30, 2020

PROJECT NO.

6-20

SHEET NO.

1

WE ENERGIES - LAKESHORE HP REGULATION STATION

APPLICABLE CODES

ALL CONSTRUCTION SHALL BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:

BUILDING CODE:
- 2015 INTERNATIONAL BUILDING CODE (IBC) W/ WISCONSIN AMENDMENTS SPS 362
- 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) W/ WISCONSIN AMENDMENTS SPS 366

ACCESSIBILITY CODE:
- 2015 INTERNATIONAL BUILDING CODE (IBC) W/ WISCONSIN AMENDMENTS SPS 362
- 2009 ICC/ANSI A117.1 ACCESSIBLE and USABLE BUILDINGS and FACILITIES

ENERGY CODE:
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) W/ WISCONSIN AMENDMENTS SPS 364

- GOVERNING LOCAL AND MUNICIPAL CODES

GENERAL NOTES

1. THE FOLLOWING GENERAL AND SPECIFIC NOTES SHALL APPLY EQUALLY TO ALL CONTRACTORS AND SUPPLIERS ENGAGED IN EXECUTION OF THE WORK SHOWN ON THESE PLANS. THESE NOTES SUPPLEMENT AND ARE MADE A PART OF THE ENTIRE CONTRACT DOCUMENTS.
2. ALL CONSTRUCTION SHALL BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:
   - PLANS AND SPECIFICATIONS
   - STATE OF WISCONSIN DNR
   - OSHA AND EPA REQUIREMENTS

   CONCRETE CONSTRUCTION:
   - AMERICAN CONCRETE INSTITUTE STRUCTURAL AND MISCELLANEOUS STEEL WORK:
   - AMERICAN INSTITUTE OF STEEL CONSTRUCTION, CODE OF STANDARD PRACTICE

   STEEL JOISTS AND ACCESSORIES:
   - STEEL JOIST INSTITUTE

   CONTRACTOR SHALL INSURE FAMILIARITY OF THE ABOVE ITEMS... ARCHITECT INSPECTIONS SHALL BE IN CONFORMANCE WITH THE ABOVE.
3. CONTRACTOR TO CROSS CHECK DIMENSIONS AND ELEVATIONS BETWEEN ARCHITECTURAL, MECHANICAL, AND STRUCTURAL PLANS. ARCHITECT TO BE NOTIFIED OF ANY VARIANCE BEFORE CONTRACTOR BEGINS WORK... ALL EQUIPMENT SUPPORTS & ANCHORAGES TO BE CROSS CHECKED WITH MANUFACTURER'S DRAWINGS. CONTRACTOR SHALL VERIFY ALL PROFILES, HEIGHTS, AND DIMENSIONS AT PROJECT PRIOR TO FABRICATION OF ANY MATERIAL AND INFORM THE ENGINEER OF ANY DISCREPANCIES OR FRAMING INTERFERENCES...
4. REFER TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL PLANS FOR DETAILS OF CONSTRUCTION.
5. ALL OPENINGS FOR PLUMBING, ELECTRICAL, HVAC, OR FIRE PROTECTION CONDUIT, PIPING, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSOCIATED TRADE... ALL TRADES SHALL TAKE CARE TO MAKE HOLES ONLY AS LARGE AS NECESSARY... ALL OPENINGS SHALL BE NEATLY CUT. DO NOT PUNCH OR POUND HOLES IN WALL OR ROOF DECK...
6. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY ARCHITECT... MECHANICAL TRADES MUST SUBMIT LAYOUTS OF ALL SLEEVES PASSING THROUGH STRUCTURAL MEMBERS FOR ARCHITECT'S APPROVAL...
7. ASSOCIATED TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OPENINGS LEFT UNREPAIRED AND WILL BE BACK CHARGED ACCORDINGLY FOR SUCH REPAIRS.
8. ALL OPENINGS OR PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE APPROPRIATELY FIRE STOPPED, DAMPERED, OR SEALED AS REQ'D BY CODE.
9. ALL CONSTRUCTION MATERIALS TO BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.
10. SHOP DRAWINGS - SUBMIT MINIMUM OF FIVE (5) COPIES FOR APPROVAL ON ALL ITEMS OF EQUIPMENT FURNISHED AS A PART OF THIS PROJECT -OR- ONE (1) SET ELECTRONICALLY... ARCHITECT APPROVAL DOESN'T RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY FOR CORRECTNESS, FIT, OR STRENGTH OF DETAILS. SHOP DRAWINGS MUST CLEARLY SHOW DETAILS FOR ACCURATE PLACING OF REINFORCING STEEL, STRUCTURAL STEEL, ETC. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO ARCHITECT... CONTRACTOR SHALL ALLOW MINIMUM OF ONE WEEK FOR REVIEW OF SHOP DRAWINGS...
11. WHERE SECTIONS OR NOTES ARE CALLED FOR IN A CERTAIN PORTION OF THE BUILDING, IT SHALL BE DUPLICATED IN SIMILAR PORTIONS OF THE BUILDING, UNLESS NOTED OTHERWISE...
12. EACH CONTRACTOR IS TO OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC. AS MAY BE REQ'D FOR COMPLETION OF HIS PORTION OF THE PROJECT. EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS, AND ALL OTHERS AT THE SITE... EACH CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND REMOVAL OF ALL MATERIAL AS REQ'D TO PERFORM HIS WORK...
13. ANY HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION, REMODELING, OR EXCAVATION SHALL BE REMOVED AND/OR CONTAINED IN ACCORDANCE WITH ALL GOVERNING LOCAL, STATE, AND FEDERAL REGULATIONS. NOTIFY ARCHITECT, REMOVAL BY OWNER...
14. DO NOT SCALE DRAWINGS
15. ALL DIMENSIONS AND ELEVATIONS MUST BE VERIFIED BY CONTRACTOR TO CONFORM WITH THOSE SHOWN ON PLANS...
16. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY THE ARCHITECT...
17. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE IN ORDER TO INSURE THE SAFETY OF THE BUILDING, WORKMEN, AND OCCUPANTS DURING ERECTION... THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE-DOWNS AS NECESSARY... ALL CONSTRUCTION AND ERECTION MUST CONFORM TO OSHA REQ'D...
18. WHERE DETAILS ARE CALLED FOR IN ONE PORTION OF THE BUILDING, THEY SHALL BE DUPLICATED IN SIMILAR PORTIONS OF THE BUILDING.
19. DESIGN DRAWINGS SHALL NOT BE USED AS SHOP DRAWINGS.
20. REMOVE AND REPLACE ALL EXISTING CONSTRUCTION (ELECTRICAL, MECHANICAL, HVAC, AND ARCHITECTURAL) AS REQ'D IN ORDER TO PLACE NEW STRUCTURAL WORK SHOWN ON THESE DRAWINGS...
21. IN THE EVENT OF ANY CONFLICT BETWEEN PLANS, DETAILS, STRUCTURAL NOTES, AND SPECIFICATIONS, CONTRACTOR SHALL BRING THE CONFLICT TO THE ARCHITECT'S ATTENTION OR SHALL BID THE MOST EXPENSIVE ITEM...
22. NEW FIREWALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS SHOWN ON PLANS SHALL BE PERMANENTLY IDENTIFIED W/ STENCILING... SEE DETAIL ON SHEET #2 FOR SIZE AND SPACING...

STRUCTURAL NOTES

GENERAL:

IN THE FOLLOWING NOTES, THE TERM "CONTRACTOR" REFERS TO ALL CONTRACTORS, SUBCONTRACTORS, AND SUPPLIERS ENGAGED IN THE EXECUTION OF WORK SHOWN ON THESE PLANS.

ALL CONSTRUCTION SHALL BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:
PLANS AND SPECIFICATIONS
ALL LOCAL BUILDING AND SAFETY CODES
OSHA REGULATIONS
WISCONSIN ENROLLED COMMERCIAL BUILDING CODE – LATEST EDITION

CONTRACTOR SHALL CROSS CHECK WITH HVAC AND PLUMBING PLANS FOR ADDITIONAL DETAILS, DIMENSIONS, ELEVATIONS, OPENINGS, INSERTS, BRICK LEDGES, ETC. NOTIFY ARCHITECT OF ANY CONFLICTS BEFORE BEGINNING WORK.

IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY THE STRUCTURAL ENGINEER.

IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE IN ORDER TO INSURE THE SAFETY OF THE BUILDING, WORKMEN, AND OCCUPANTS DURING CONSTRUCTION (MEANS & METHODS OF CONSTRUCTION). THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF SHORING, UNDERPINNING, AND TEMPORARY BRACING, AS NECESSARY.

WHERE DETAILS ARE CALLED FOR IN ONE AREA OF THE BUILDING THEY SHALL BE DUPLICATED AT SIMILAR CONDITIONS, UNLESS SHOWN OTHERWISE.

DESIGN DRAWINGS SHALL NOT BE USED AS SHOP DRAWINGS.

SUBMIT FIVE SETS OF PRINTS OF ALL REBAR, AND LIGHTGAGE METAL SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION. SHOP DRAWINGS SHALL NOT UTILIZE A SHEET SIZE ANY LARGER THAN ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO ARCHITECT. CONTRACTOR SHALL ADDRESS ALL "VERIFY" ISSUES (DIMENSIONS, ETC.) BEFORE SUBMITTING DRAWINGS TO ARCHITECT. SUBMISSIONS NOT BEARING THE CONTRACTOR STAMP WILL BE RETURNED FOR HIS REVIEW PRIOR TO BEING REVIEWED BY KOMP ENGINEERING. CONTRACTOR SHALL ALLOW 10 DAYS IN HIS SCHEDULE FOR THE REVIEW OF SHOP DRAWINGS.

IN THE EVENT OF ANY CONFLICT BETWEEN PLANS, DETAILS, THESE STRUCTURAL NOTES, AND SPECIFICATIONS, CONTRACTOR SHALL BRING THE CONFLICT TO THE ARCHITECT'S ATTENTION OR SHALL BID THE MOST EXPENSIVE INSTALLATION CALLED OUT.

ARCHITECTURAL PLANS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS (COLUMN CENTERLINES, WALL FACES, TOP OF BEAMS, PITCHED BEAM ELEVATIONS AT COLUMN CENTERLINES). SHOP DRAWING DETAILERS AND SUPPLIERS ARE RESPONSIBLE FOR THE DETERMINATION OF ALL DIMENSIONS, PITCHES, ELEVATIONS, ETC., BEYOND THOSE NOTED ABOVE AS NECESSARY TO THOROUGHLY DETAIL/FABRICATE THEIR WORK. CONTACT ARCHITECT WITH ANY DISCREPANCIES FOUND OR IF ADDITIONAL WORKING POINT INFORMATION IS NEEDED.

IN NO CASE SHALL CHANGES BE MADE TO WORK SHOWN ON PLANS UNLESS FIRST APPROVED IN WRITING BY BOTH KOMP ENGINEERING, INC AND BY THE ARCHITECT. CONTRACTOR REQUESTING CHANGE WILL BE BILLED ON A TIME AND EXPENSE BASIS BY KOMP ENGINEERING, INC. FOR ALL REDESIGN WORK, FOR ALL NEW SKETCHES PREPARED, AND FOR ALL ADDITIONAL REVIEW TIME RELATED TO THE CHANGES.

BUILDING IS NOT DESIGNED FOR ANY FUTURE VERTICAL OR HORIZONTAL EXPANSION OR FOR ANY ADDITIONAL FUTURE LOADS (DRIFT, RTU'S, HIGH DENSITY FILE STORAGE, ETC.) UNLESS SPECIFICALLY SHOWN ON THESE STRUCTURAL DRAWINGS.

FOUNDATION:

MINIMUM BOTT OF FOOTING ELEVATION BELOW ADJACENT EXTERIOR GRADE SHALL BE 4'–0". NOTIFY ARCHITECT OF ANY FOOTING ELEVATION CHANGE REQUIRED IN ORDER TO PROVIDE 4'–0" FROST PROTECTION BEFORE PLACING FOOTINGS.

CONTRACTOR SHALL HIRE SOILS ENGINEER TO PERFORM THE FOLLOWING SERVICES:
– FIELD VERIFY 2000 PSF NET ALLOWABLE SOIL BEARING CAPACITY AT BASE OF ALL FOOTING EXCAVATIONS AND BELOW ALL SLABS ON GRADE.
– REVIEW REPRESENTATIVE 50 POUND SAMPLES OF PROPOSED FILL MATERIAL TO BE USED BELOW FOOTINGS AND/OR SLABS ON GRADE.
– MAKE FIELD DENSITY TESTS TO DETERMINE ADEQUACY OF COMPACTED FILL PLACED BELOW FOOTINGS AND SLABS ON GRADE:
  – MAKE AT LEAST ONE TEST PER ISOLATED FOOTING PER 24" OF FILL HEIGHT.
  – MAKE AT LEAST ONE TEST PER 100 LINEAR FEET OF STRIP FOOTING PER 24" OF FILL HEIGHT.
  – MAKE AT LEAST ONE TEST PER 2500 SQUARE FEET OF AREA PER LIFT, BUT IN NO CASE LESS THAN THREE TESTS PER LIFT FOR FILL BELOW SLABS ON GRADE.
  – ADVISE CONTRACTOR AND ARCHITECT THE SAME DAY ANY TEST IS MADE WHICH INDICATES FILL MATERIAL AND/OR COMPACTION DOES NOT COMPLY W/ PLANS AND SPECIFICATIONS.

REMOVE ANY EXISTING SOILS ENCOUNTERED BELOW SLABS AND FOOTINGS WHICH HAVE LESS THAN 2000 PSF NET ALLOWABLE SOIL BEARING CAPACITY. PLACE 3/4" CRUSHED STONE FILL COMPACTED TO 95% MODIFIED PROCTOR BELOW SLABS. USE 9" MAXIMUM LIFT. PLACE FILL PER DETAILS ON STRUCTURAL PLANS.

REMOVE ANY EXISTING CONCRETE ENCOUNTERED TO A POINT 2'–0" BELOW NEW SLABS AND FOOTINGS.

ALL BACKFILL WITHIN 3'–0" OF RETAINING WALLS SHALL BE FREE-DRAINING GRANULAR MATERIAL APPROVED BY SOILS ENGINEER AND COMPACTED TO 90% STANDARD PROCTOR.

CENTER PIER AND COLUMN FOOTINGS ON COLUMN CENTERLINES, AND CENTER WALL FOOTINGS ON WALL CENTERLINES, UNLESS SPECIFICALLY DIMENSIONED OTHERWISE.

PROVIDE 4'–0" x 4'–0" STOOP AT ALL EXTERIOR DOORS U.N.O. PROVIDE END WALL AND FOOTING BELOW STOOPS PER STRUCTURAL DETAILS.

MATERIAL STRENGTHS:

CONCRETE AT 28 DAYS:
– REFER TO SCHEDULE IN "REINFORCED CONCRETE" THIS SHEET.

REINFORCING STEEL:
– f_y = 60,000 PSI PER ASTM A615 GRADE 60

SOIL BEARING PRESSURE:
– 2000 PSF NET ALLOWABLE SOIL BEARING CAPACITY. CONTRACTOR TO HIRE SOILS ENGINEER TO FIELD VERIFY SOIL BEARING CAPACITY BEFORE FOOTINGS ARE PLACED. PROVIDE WRITTEN VERIFICATION TO ARCHITECT UPON REQUEST.

REINFORCED CONCRETE:

ALL CONCRETE WORK SHALL CONFORM TO ACI 318 AND ACI 301. REINFORCING, DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO ACI 315, MANUAL OF STANDARD PRACTICE (LATEST EDITIONS). SHOP DRAWINGS SHALL BE STATED IN TERMS OF ENGLISH UNITS (FEET AND INCHES); NOT METRIC UNITS.

CONTRACTOR SHALL PROVIDE AND COORDINATE WITH ALL OTHER TRADES FOR SIZE AND LOCATIONS OF ALL OPENINGS, SLEEVES, CURBS, EMBEDS, REVEALS, BLOCK OUT, DRIPS, FINISHES, DEPRESSIONS ETC. OCCURRING IN CONCRETE WORK. NO PIPE OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED OR APPROVED BY STRUCTURAL ENGINEER.

PROVIDE ADDITIONAL BENT BARS, OF SAME SIZE AND SPACING AS HORIZONTAL BARS, AT ALL WALL AND FOOTING CORNERS AND INTERSECTIONS.

SLABS ON GRADE SHALL HAVE 6x6–W1.4xW1.4 WELDED WIRE REINFORCING MESH UNLESS OTHERWISE NOTED. USE FLAT SHEET STOCK. ALL MESH SHALL BE LAPPED A MINIMUM OF 12". LOCATE MESH 1 1/2" FROM TOP OF SLAB. REINFORCE WITH TWO (2)–#5 3'–0" LONG, AT RE-ENTRANT (INSIDE) CORNERS.

PROVIDE 1/2" APPROVED EXPANSION JOINT MATERIAL WHERE SLABS ABUT WALLS, COLUMNS AND OTHER VERTICAL SURFACES UNLESS OTHERWISE SHOWN ON PLANS.

PROVIDE POUR STOPS AS REQUIRED.

A MINIMUM OF 60 DAYS AFTER PLACEMENT OF SLABS ON GRADE, BUT BEFORE PLACEMENT OF ANY FLOOR FINISHES, CONTRACTOR SHALL REPAIR ALL DEFECTS IN SLABS. DEFECTS INCLUDE CRACKS, BUMPS, AND CURLING. REPAIR SHALL CONSIST OF EPOXY INJECTION OF CRACKS, GRINDING OF HIGH SPOTS, AND INSTALLATION OF LEVELING MATERIAL AT LOW POINTS IN SLAB SURFACE.

MAXIMUM LENGTH OF CONCRETE WALL POUR IS 60 FEET. PROVIDE KEYED CONSTRUCTION JOINT WITH HORIZONTAL WALL REINFORCEMENT CONTINUOUS THRU JOINT. WATER STOPS SHALL BE PROVIDED FOR RETAINING WALLS AND BASEMENT WALLS. PROVIDE MASONRY CJ'S IN LINE WITH CONCRETE WALL CJ'S.

SPLICES IN CONTINUOUS REINFORCING: ALL BARS SHALL BE CLASS "B" LAP SPLICED UNLESS OTHERWISE NOTED; DIMENSION LENGTHS OF ALL LAP SPLICES ON SHOP DRAWINGS; COLUMN TIES SHALL BE SUCCESSIVELY STAGGERED 90 DEGREES OR 180 DEGREES.

TEST CYLINDERS: CONTRACTOR SHALL RETAIN A MATERIALS TESTING LABORATORY TO CAST AND TO TEST CONCRETE CYLINDERS. ALL TESTING SHALL BE IN ACCORDANCE WITH ACI 318.83 SECTION 4.7. RESULTS OF CYLINDER TESTS SHALL BE SUBMITTED TO ENGINEER AND TO CONCRETE SUPPLIER. IN NO CASE SHALL ANY BACKFILL BE PLACED AGAINST WALLS UNTIL TESTS REVEAL WALLS AND FOOTINGS HAVE REACHED A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.

AT A MINIMUM, CONCRETE TEST REPORTS SHALL STATE: 7 DAY COMPRESSIVE STRENGTH, 28 DAY COMPRESSIVE STRENGTH, AIR CONTENT, SLUMP, AMOUNT OF WATER ADDED ON JOBSITE, MIX USED, AND LOCATION OF THE CONCRETE TESTED.

ALL CONCRETE TEST REPORTS SHALL EXPLICITLY STATE WHETHER OR NOT THE TEST RESULTS COMPLY w/ PLANS AND SPECIFICATIONS. ANY TEST NOT COMPLYING SHALL BE REPORTED TO THE ENGINEER AND TO THE CONCRETE SUPPLIER BY PHONE OR FAX THE SAME DAY THE FAILING RESULTS ARE DETERMINED.

MIX PROPORTIONING: FURNISH READY-MIXED CONCRETE IN ACCORDANCE WITH THE FOLLOWING:

TYP OF CONSTRUCTION	MIN COMP STRENGTH AT 28 DAYS (PSI)	MIN COMP STRENGTH AT 7 DAYS (PSI)	MAX SLUMP (INCHES)	MAX AGG. (INCHES)	MIN CEMENT BAGS (C.Y.)	AIR ENTRAINED
FOOTINGS, FOUNDATION WALLS	3000	2100	4"	1.5	5.0	NO
INTERIOR SLABS ON GRADE	4000	2800	4"	1.5	5.75	NO
EXTERIOR SLABS	4000	2800	4"	0.75	6.0	YES 6.5%
ALL OTHER CONCRETE	3000	2100	4"	0.75	5.0	NO

CLASS C FLY ASH OR SLAG MAY BE USED AS A POUND FOR POUND REPLACEMENT OF CEMENT UP TO 10% OF THE TOTAL CEMENTITIOUS CONTENT.

WATER/CEMENT RATIO OF CONCRETE USED ON INTERIOR SLABS, INCLUDING PRECAST TOPPING, SHALL NOT EXCEED 0.47. WATER/CEMENT RATIO OF CONCRETE USED IN EXTERIOR SLABS SHALL NOT EXCEED 0.42.

ALL SLABS SHALL BE WET-CURED PER ACI RECOMMENDATIONS FOR NO LESS THAN SEVEN DAYS.

CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN ANY CONCRETE MIX

ALL OPENINGS THROUGH CONCRETE WALLS AND SLABS SHALL HAVE 2–#5 BARS PLACED ALONG EACH FACE AND EXTENDING 2'–0" BEYOND CORNERS UNLESS OTHERWISE NOTED. PROVIDE (2)–#5 x 4'–0" DIAGONAL BAR AT EACH CORNER PLACED IN EACH FACE OF WALL OR SLAB.

PIPE OR ELECTRICAL CONDUIT EMBEDDED IN CONCRETE SHALL NOT BE LARGER IN OUTSIDE DIAMETER AT ITS WIDEST POINT, (OR FITTING) THAN 2 INCHES OR 1/3 THE THICKNESS OF THE SLAB OR WALL, WHICHEVER IS SMALLER.

SLEEVES, CONDUITS, AND PIPES EMBEDDED IN OR PASSING THROUGH SLABS AND WALLS SHALL BE LOCATED AND PLACED SO THAT:
1. THEY ARE NOT CLOSER THAN THREE DIAMETERS OR WIDTHS ON CENTER.
2. THE CONCRETE COVER IS NOT LESS THAN 1–1/2 INCHES.
3. THEY RUN BETWEEN REINFORCING AND DO NOT DISPLACE IT IN ANY MANNER.

CONCRETE COVER FOR REINFORCEMENT SHALL CONFORM TO SECTION 7.7 OF ACI 318.83. UNLESS NOTED OTHERWISE:

WALLS:	OUTSIDE FACE	1 1/2"
	INSIDE FACE	3/4"
PIERS (OVER TIES AND STIRRUPS)		1 1/2"
FOOTINGS:	TOP	2"
	SIDES	2"
	BOTTOM	3"

VIBRATION: CONCRETE SHALL BE PLACED WITH THE AID OF MECHANICAL VIBRATING EQUIPMENT, AND SHALL BE APPLIED DIRECTLY TO THE CONCRETE. THE INTENSITY OF VIBRATION SHALL BE SUFFICIENT TO CAUSE FLOW OR SETTLEMENT OF THE CONCRETE IN PLACE. VIBRATION SHALL BE APPLIED AT THE POINT OF DEPOSIT & IN THE AREA OF FRESHLY PLACED CONCRETE. IT SHALL BE OF SUFFICIENT DURATION TO ACCOMPLISH THOROUGH COMPACTION OR COMPLETE EMBEDDMENT OF THE MIX. IT SHALL SECURE EVEN AND DENSE SURFACES FREE FROM AGGREGATE POCKETS OR HONEYCOMB.

CONCRETE SURFACE REPAIRS: REPAIR AND PATCH DEFECTIVE AREAS WITH PROPRIETARY PATCHING COMPOUND IMMEDIATELY AFTER REMOVAL OF FORMS, BUT ONLY WHEN AND AS ACCEPTABLE TO ENGINEER. RESURFACE HONEYCOMBS, ROCK POCKETS AND VOIDS OVER 1/4" IN ANY DIMENSION THOROUGHLY CLEAN AND DAMPEN THE AREA TO BE RESURFACED WITH WATER THEN APPLY PROPRIETARY PATCHING COMPOUND APPROVED BY ARCHITECT.

FLOOR FLATNESS/LEVELNESS TOLERANCES:
CONCRETE FLOOR SLAB SURFACES SHALL CONFORM TO THE FOLLOWING SPECIFIED VALUES:

CONSTRUCTION ON GRADE
CARPETED AREAS F_F = 26 F_L = 20
ALL OTHER AREAS F_F = 35 F_L = 25

F_F AND F_L – VALUES SHALL BE OBTAINED IN ACCORDANCE w/ ACI PROCEDURES.

CLADDING BACKUP SYSTEM AND LIGHTGAGE STEEL FRAMING:

ALL STUD AND JOIST FRAMING MEMBERS, RUNNERS, END TRACKS, BRIDGING AND DIAGONAL BRACING SHALL BE OF THE TYPE, SIZE AND GAUGE SHOWN ON THE PLANS WITH MINIMUM STEEL STRENGTH AND SECTION PROPERTIES AS MANUFACTURED BY THE CLARK STEEL FRAMING COMPANY. ANY ALTERNATIVE SHALL BE EQUAL OR BETTER AND SHALL BE APPROVED BY ENGINEER.

ALL LIGHT GAUGE STEEL FRAMING SHALL CONFORM TO THE AISI SPECIFICATION (LATEST EDITION) AND BE WELDED IN ACCORDANCE WITH AWS D1.3

SUBMIT STRUCTURAL DESIGN WITH SUPPORTING STAMPED CALCULATIONS, DETAILS, CONNECTIONS AND LAYOUT PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN WISCONSIN. MEMBER SIZES SHOWN ARE MINIMUM AND SHALL BE INCREASED AS REQUIRED BY DESIGN. NO EXTRAS WILL BE PAID FOR PROVIDING SIZES GREATER THAN MINIMUMS SHOWN ON PLANS. ALL CONNECTIONS SHALL CONFORM TO MANUFACTURER'S REQUIREMENTS. CONNECTIONS, INCLUDING STEEL ANGLE TO STUD, BOTTOM TRACK TO STUD, WIND DIAGONAL BRACE TO STUD AND STRUCTURE, ETC. SHALL BE WELDED. USE OF SCREWS IS NOT ALLOWED, UNLESS APPROVED IN WRITING BY ARCHITECT/ENGINEER.

SHOP DRAWINGS SHALL BEAR THE NAME, ADDRESS, PHONE NUMBER, AND FAX NUMBER OF THE BACK-UP SYSTEM DESIGNER. SHOP DRAWINGS MUST CONTAIN ALL BUILDING ELEVATIONS. SHOP DRAWINGS MUST ALSO CONTAIN SECTIONS AT ALL FLOOR AND ROOF CONDITIONS. ALL SECTIONS MUST BE CUT ON SHOP DRAWING ELEVATIONS. USE A NUMBERING SYSTEM DIFFERENT FROM THAT USED ON THE ARCHITECTURAL/STRUCTURAL PLANS.

ALL EXTERIOR MEMBERS SHALL BE 16 GA, OR HEAVIER AND MEET THE MINIMUM REQUIREMENTS OF ASTM C955, GRADE D WITH A MINIMUM YIELD OF 50,000 PSI.

ALL TRACKS, BRIDGING AND ACCESSORIES SHALL MEET THE REQUIREMENTS OF ASTM C955, GRADE A WITH A MINIMUM YIELD OF 33,000 PSI.

ALL MATERIAL SHALL HAVE A MINIMUM G90 GALVANIZED COATING MEETING THE REQUIREMENTS OF ASTM A525.

WALL STUDS SHALL BE DESIGNED FOR L/720 DEFLECTION BASED ON STUD ACTING ALONE AT BRICK VENEER AND L/360 DEFLECTION FOR OTHER CLADDING MATERIALS.

COLD FORMED STEEL DESIGNER SHALL MAKE PERIODIC ON-SITE INSPECTIONS TO INSURE CONSTRUCTION CONFORMS TO DESIGN AND SUBMIT WRITTEN VERIFICATION TO THE ARCHITECT/ENGINEER UPON REQUEST.

PROVIDE BRIDGING NOT TO EXCEED 5' o/c. FOR NON-BEARING WALLS AND 3'–4" o/c FOR BEARING WALLS.

DIAGONAL X-BRACING ASSEMBLIES SHALL BE INSTALLED WHERE SHOWN ON THE PLANS. CONTINUOUS BRIDGING SHALL BE INSTALLED OVER ENTIRE LENGTH OF BUILDING INCLUDING THRU DOORWAYS UNTIL DRYWALL IS INSTALLED ON THESE WALLS. REMOVE BRIDGING AT DOORWAYS AFTER DRYWALL IS INSTALLED.

CONTINUOUS HORIZONTAL BRIDGING, STEEL STUD TRACKS, LOAD DISTRIBUTION MEMBERS AND DIAGONAL BRACING ARE PERMANENT, SHALL BE INSTALLED BEFORE STEEL JOISTS AND WOOD ROOF TRUSSES AND SHALL BE NOT DAMAGED OR REMOVED.

AT STEEL STUD BEARING WALLS, ALL STEEL TRUSSES SHALL BEAR DIRECTLY OVER A STEEL STUD EXCEPT AT LINTELS OVER OPENINGS OR ON LOAD DISTRIBUTION MEMBERS OVER STEEL STUDS.

PROVIDE SLIDE CLIPS OR SLIP TRACKS WHERE STUDS ARE SUPPORTED AT THEIR BASE AT ONE LEVEL AND AT THE TOP BY A DIFFERENT LEVEL.

DESIGN, SUPPLY, AND INSTALL ANY HOT ROLLED OR COLD ROLLED SECTION NEEDED TO PROVIDE A COMPLETE CLADDING BACK-UP SYSTEM.

DESIGN OF THE BUILDING SUPERSTRUCTURE IS ENTIRELY THE RESPONSIBILITY OF THE SUPPLIER. THIS INCLUDES THE DESIGN OF ALL ANCHOR BOLTS, EXTERIOR METAL PANELS, METAL PANEL WIND GIRTS, CONNECTION ANGLES AND HARDWARE FOR METAL PANELS, ETC. METAL BUILDING DRAWINGS SHALL SPECIFICALLY DETAIL ANCHOR BOLT TYPE, QUANTITY, LOCATIONS, EMBEDMENT, HOOKS/STUDS, PROJECTIONS, ETC.

CONTRACTOR SHALL COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL LOADS WITH METAL BUILDING DESIGNER.

BUILDING DESIGN SHALL BE FOR LOADS STATED ON THE STRUCTURAL PLANS, AS WELL AS FOR CODE MINIMUMS. DETERMINED BY THE METAL BUILDING SUPPLIER.

CONTRACTOR SHALL DETERMINE SUPPLIER OF ALL MATERIALS.

ALL SHOP DRAWING PLANS SHALL BE TO SCALE AND SHALL UTILIZE THE SCALE USED ON THE STRUCTURAL DRAWINGS. ALL PLANS SHALL SHOW A NORTH ARROW. PLANS SHALL INCLUDE A COLUMN GRID (IN TWO DIRECTIONS) AND SHALL STATE WHAT THE GRID LINE IS TO (E.G., COLUMN CENTERLINE, FACE OF COLUMN, ETC.). COLUMN WIDTH AND DEPTH AT SLAB ON GRADE LEVEL MUST BE SPECIFICALLY SHOWN ON PLANS.

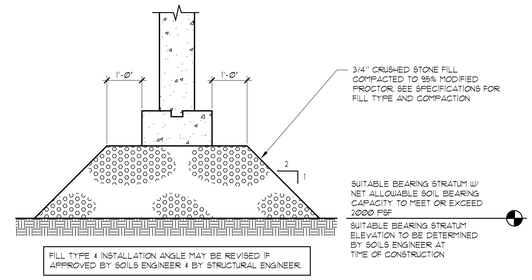
ANCHOR BOLTS SHALL BE THREADED AT THE BOTTOM AND SHALL HAVE A NUT AND WASHER TACK WELDED AT THE EMBEDDED END.

SHOP DRAWINGS SHALL INCLUDE DETAILS OF ALL COLUMN SETTINGS AND SHALL STATE: BASE PLATE SIZE AND LOCATION, ANCHOR BOLT SIZE, LENGTH, AND LOCATION.

PROVIDE LIGHT GAGE SHOP DRAWINGS SHOWING:
– ALL MEMBER SIZES, LOCATIONS, AND ELEVATIONS.
– ANCHOR BOLT SIZES, LENGTHS, HOOKS, STEEL TYPE, AND LOCATIONS.
– BLOWUP DETAILS OF MEMBER CONNECTIONS
– SHOP DRAWINGS SHALL BE DRAWN TO THE SAME SCALE AS THE STRUCTURAL PLANS. SHOP DRAWINGS SHALL CONTAIN A NORTH ARROW.
– LIGHT GAGE DESIGN SHALL ACCOUNT FOR ALL LIVE LOADS SPECIFIED BY CODE BUT SHALL IN NO CASE BE LESS THAN 30 PSF LIVE LOAD.

ALTERNATE FOUNDATION DETAILS

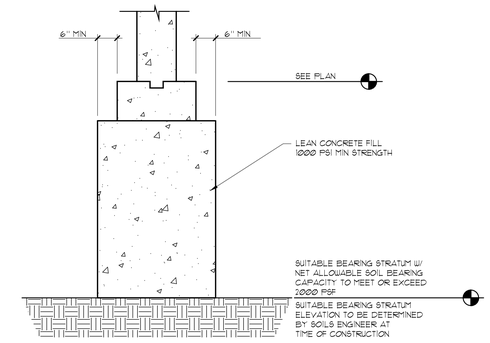
USE "A" (OR, AT CONTRACTOR'S OPTION, "B") ONLY IF SOILS W/ LESS THAN 2000 PSF BEARING CAPACITY ARE ENCOUNTERED BELOW B/FTG ELEVATION...

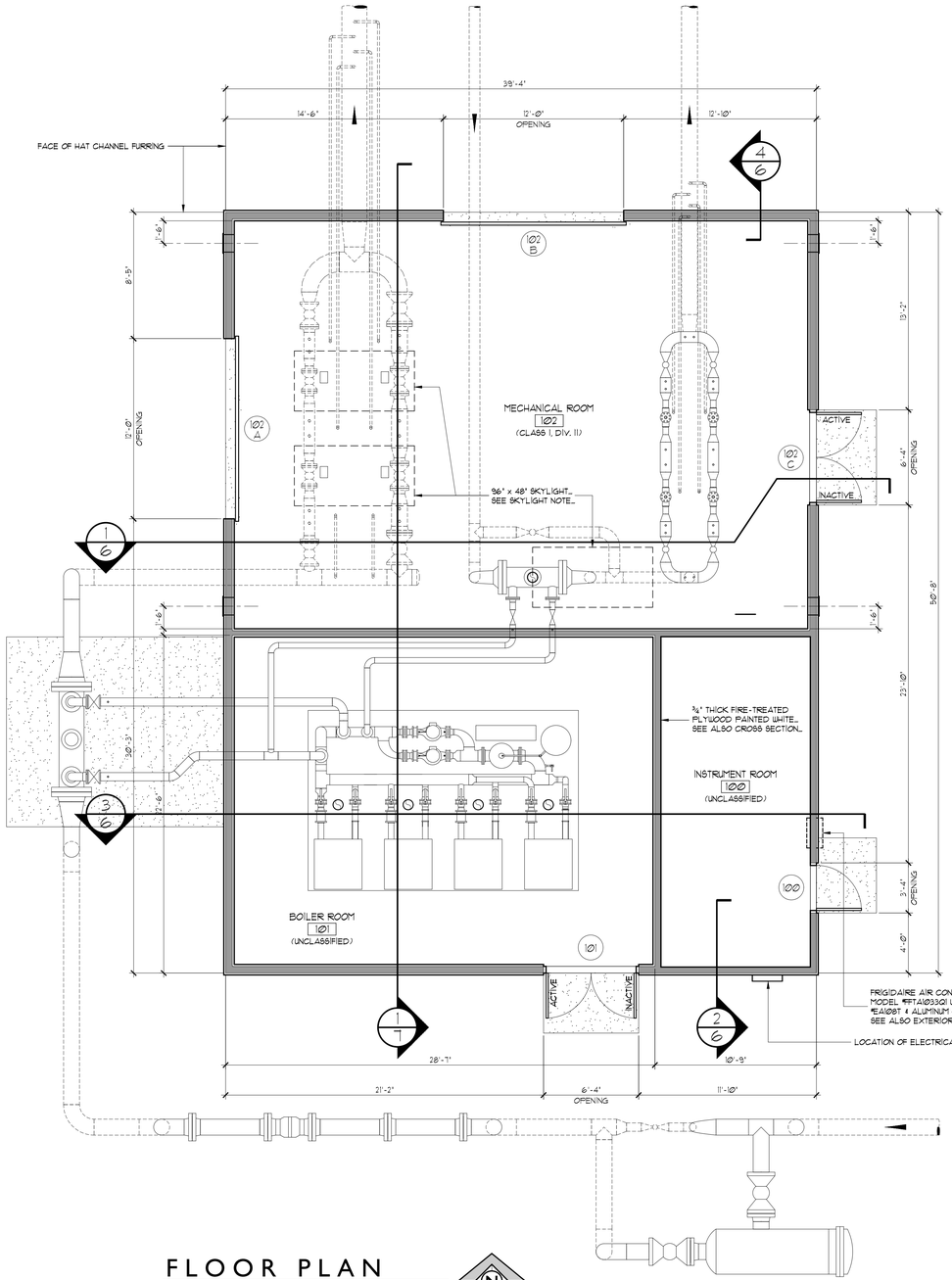


GRANULAR SOIL FILL BELOW FOOTING (A)

NO SCALE

CONTRACTOR SHALL HIRE SOILS ENGINEER TO INSPECT FOOTING EXCAVATIONS AND TO FIELD VERIFY REQUIRED ALLOWABLE SOIL BRG CAPACITY. IF SUITABLE BRG STRATUM DOES NOT EXIST AT FOOTING ELEVATIONS STATED ON THE STRUCTURAL PLANS, EXCAVATIONS SHALL BE EXTENDED UNTIL SOIL W/ ASSUMED BRG CAPACITY IS REACHED. PLACE COMPACTED FILL OR LEAN CONCRETE BELOW FOOTINGS OR EXTEND FOOTINGS DOWN TO SUITABLE BRG STRATUM. NO ADDITIONAL FOUNDATION WORK SHALL BE UNDERTAKEN BEFORE BEING APPROVED BY THE ARCHITECT AND THE OWNER.


6" MIN
6" MIN
SEE PLAN
LEAN CONCRETE FILL 1000 PSI MIN STRENGTH
SUITABLE BEARING STRATUM W/ NET ALLOWABLE SOIL BEARING CAPACITY TO MEET OR EXCEED 2000 PSF
SUITABLE BEARING STRATUM ELEVATION TO BE DETERMINED BY SOILS ENGINEER AT TIME OF CONSTRUCTION
THIS DETAIL MAY BE USED AS CONTRACTOR'S OPTION, SUBJECT TO APPROVAL OF SOILS ENGINEER.



FLOOR PLAN

SCALE: ¼" = 1'-0"

NOTE:
LIGHTGAGE METAL SUPPLIER IS RESPONSIBLE FOR THE DESIGN OF ALL WORK ABOVE FOUNDATION.

SKYLIGHT

UNITS SHALL BE FIXED THERMOFORMED ACRYLIC DOUBLE DOMED W/ EXTRUDED INSULATED CURB SIMILAR TO Wasco Products, Inc. "MODEL CS"..

SIZE OF SKYLIGHT AS INDICATED ON FLOOR PLAN..

COLOR TO BE AS SELECTED BY OWNER..

SKYLIGHT SHALL BE FACTORY TESTED TO SUPPORT, WITHOUT FAILURE, A 40 PSF POSITIVE AND 20 PSF NEGATIVE TEST PRESSURE..

SKYLIGHT SHALL HAVE INTEGRAL CONDENSATION GUTTER AND WEEP HOLES FOR DRAINING ANY MOISTURE OUTSIDE..

FURNISH AND INSTALL FLASHING AROUND SKYLIGHT UNIT IN ORDER TO PROVIDE WATERTIGHT CONSTRUCTION..

FOUNDATION NOTES

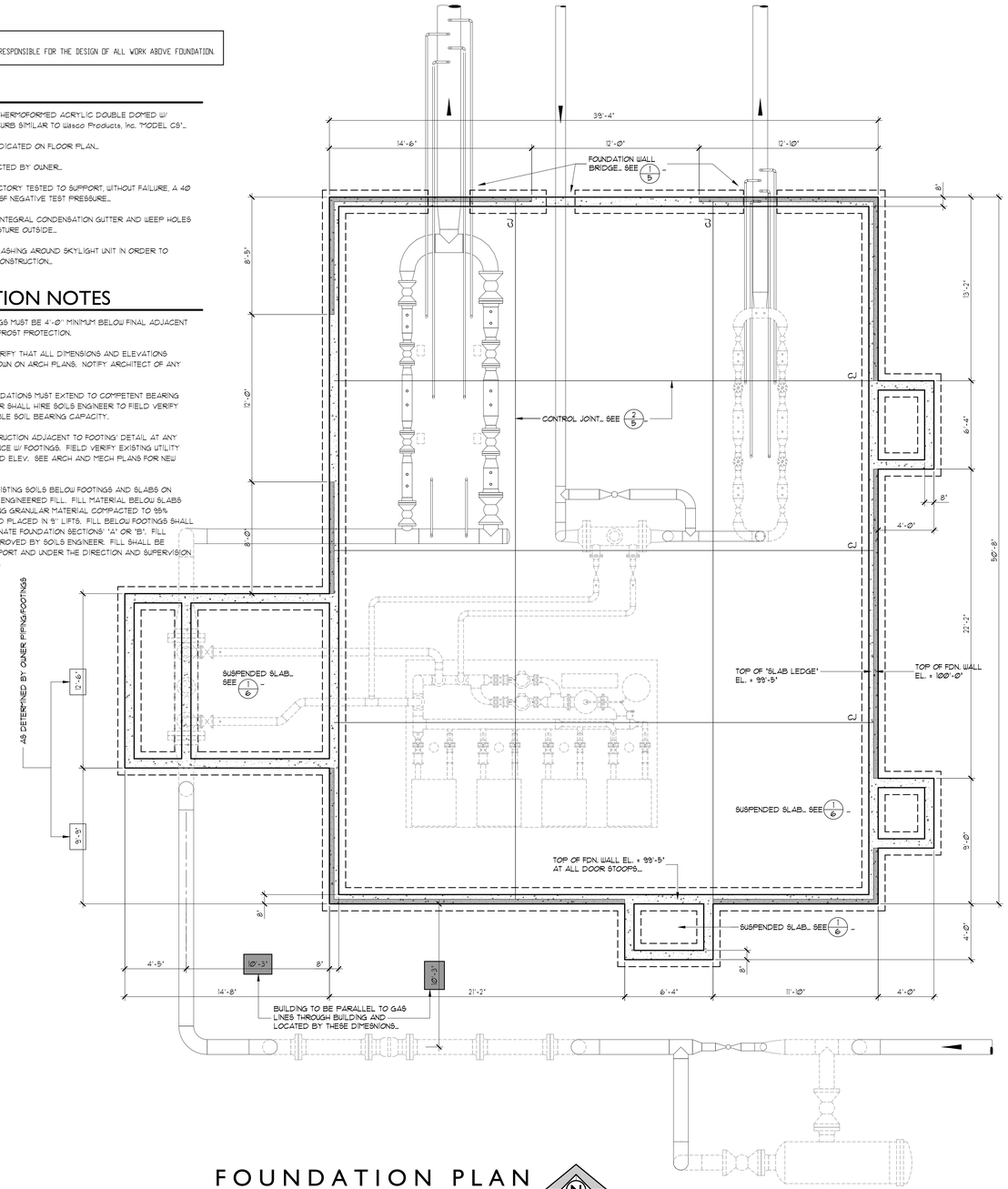
BOTTOM OF ALL FOOTINGS MUST BE 4'-0" MINIMUM BELOW FINAL ADJACENT EXTERIOR GRADE FOR FROST PROTECTION.

CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS AND ELEVATIONS CONFORM TO THOSE SHOWN ON ARCH PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES

EXCAVATIONS FOR FOUNDATIONS MUST EXTEND TO COMPETENT BEARING MATERIAL. CONTRACTOR SHALL HIRE SOILS ENGINEER TO FIELD VERIFY 2000 PSF NET ALLOWABLE SOIL BEARING CAPACITY.

FOLLOW 'BURIED CONSTRUCTION ADJACENT TO FOOTING' DETAIL AT ANY UTILITY LINE INTERFERENCE W/ FOOTINGS. FIELD VERIFY EXISTING UTILITY LINE SIZE, LOCATION, AND ELEV. SEE ARCH AND MECH PLANS FOR NEW UTILITY LINES.

REMOVE UNSUITABLE EXISTING SOILS BELOW FOOTINGS AND SLABS ON GRADE. REPLACE WITH ENGINEERED FILL. FILL MATERIAL BELOW SLABS SHALL BE FREE DRAINING GRANULAR MATERIAL COMPACTED TO 95% MODIFIED PROCTOR AND PLACED IN 9" LIFTS. FILL BELOW FOOTINGS SHALL BE AS SHOWN IN 'ALTERNATE FOUNDATION SECTIONS' 'A' OR 'B'. FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER. FILL SHALL BE PLACED PER SOILS REPORT AND UNDER THE DIRECTION AND SUPERVISION OF THE SOILS ENGINEER.



FOUNDATION PLAN

SCALE: ¼" = 1'-0"

Room Finish Schedule

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	SOUTH	EAST	WEST		
100	INSTRUMENT ROOM	SEALED CONCRETE	NONE	PAINTED GYPSUM BD.	PAINTED GYPSUM BD.	PAINTED GYP. BD. W/ PLYWOOD	PAINTED GYPSUM BD.	PAINTED GYPSUM BD.	
102	MECHANICAL ROOM	SEALED CONCRETE	NONE	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	EXPOSED STRUCTURE ABOVE	
103	BOILER ROOM	SEALED CONCRETE	NONE	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	PAINTED GYPSUM BD.	

Door Schedule

NO.	DOOR SIZE	DOOR					FRAME				DETAILS	HARDWARE
		TYPE	MATERIAL	FINISH	GLASS	LOUVER	TYPE	MATERIAL	FINISH	GLASS		NOTE: ALL LOCKS TO BE KEYED TO WE-ENERGIES "ALE GC-1" KEY.. CONTRACTOR TO INSURE PROPER LOCKSET HARDWARE BY WORKING W/ AAA LOCK COMPANY 12th ST. MILWAUKEE, WI 414-342-1280
100	3'-0" WIDE x 7'-0" HIGH	FLUSH	18 GAUGE INSULATED HOLLOW MTL.	PAINT	—	—	2" WIDE JAMB & HEAD	16 GAUGE HOLLOW MTL.	PAINT	—	1/8 4/8 5/8 4/7	1½ PAIR BUTTS, PANIC EXIT HARDWARE W/ MORTISE LOCK DEVICE & LEVER TRIM, CLOSER W/ HOLD-OPEN, FULL WEATHERSTRIPPING, ALUMINUM THRESHOLD
101	PAIR OF 3'-0" WIDE x 7'-0" HIGH	FLUSH	18 GAUGE INSULATED HOLLOW MTL.	PAINT	—	24" WIDE x 24" HIGH	2" WIDE JAMB & HEAD	16 GAUGE HOLLOW MTL.	PAINT	—	2/8 3/8 5/8 5/7	EACH DOOR: 1½ PAIR BUTTS, PANIC EXIT HARDWARE W/ SURFACE MOUNTED VERT. ROD DEVICE, CLOSER W/ HOLD-OPEN, FULL WEATHERSTRIPPING, ALUMINUM THRESHOLD ACTIVE DOOR: NIGHT LATCH INACTIVE DOOR: DUMMY LEVER TRIM, ASTRGAL
102A	12'-0" WIDE x 8'-0" HIGH COILING DOOR	—	22 GAUGE INSULATED HOLLOW MTL.	PER MANUFACTURER	—	—	2" WIDE JAMB & HEAD	16 GAUGE HOLLOW MTL.	PAINT	—	1/9 2/9 3/9 6/7	
102B	12'-0" WIDE x 8'-0" HIGH COILING DOOR	—	22 GAUGE INSULATED HOLLOW MTL.	PER MANUFACTURER	—	—	2" WIDE JAMB & HEAD	16 GAUGE HOLLOW MTL.	PAINT	—	1/9 2/9 3/9 6/7	
102C	PAIR OF 3'-0" WIDE x 7'-0" HIGH	FLUSH	18 GAUGE INSULATED HOLLOW MTL.	PAINT	—	—	2" WIDE JAMB & HEAD	16 GAUGE HOLLOW MTL.	PAINT	—	2/8 3/8 5/8 5/7	EACH DOOR: 1½ PAIR BUTTS, PANIC EXIT HARDWARE W/ SURFACE MOUNTED VERT. ROD DEVICE, CLOSER W/ HOLD-OPEN, FULL WEATHERSTRIPPING, ALUMINUM THRESHOLD ACTIVE DOOR: NIGHT LATCH INACTIVE DOOR: DUMMY LEVER TRIM, ASTRGAL

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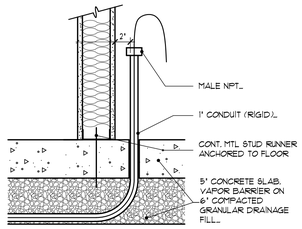
ELECTRICAL LEGEND

- $ — LIGHT SWITCH
- $3 — THREE-WAY LIGHT SWITCH
- EXP $3 — EXPLOSION PROOF THREE-WAY LIGHT SWITCH
- EXP $4 — EXPLOSION PROOF FOUR-WAY LIGHT SWITCH
- EXP — EXPLOSION PROOF DUPLEX OUTLET (12" AFF) AND EXTENSION CORD PLUG (PIGTAIL)
- DUPLEX OUTLET 12" AFF
- T — THERMOSTAT
- EXP — KILLARK LIGHTING "EML4530XGX" 45W LED EXPLOSION-PROOF LIGHT W/ GUARD (OR EQUAL)
- EXP — "KILLARK "KFL06030" DOWNWARD CASTING FLOOD LIGHT W/ WALL MOUNT IN COLOR AS SELECTED BY OWNER. (OR EQUAL)
- SURFACE MOUNTED 48" X 14" FLUORESCENT WRAPAROUND FIXTURE W/ 3T8 LAMPS, & ENERGY SAVING BALLAST. METALUX OR EQUAL.
- "E-CONOLIGHT E-HL6FIICS2" LIGHT FIXTURE W/ WALL MOUNT ("E-ACUM4DB") AND PHOTOCELL ("E-ACP1) (OR EQUAL) ON 2"Ø POLE. HEIGHT AS DETERMINED BY OWNER. SET IN 8" DIAMETER CONCRETE FOOTING.

ELECTRICAL NOTES

1. ALL CONDUIT FOR LIGHTING, POWER, ETC. TO BE SURFACE MOUNTED IN FINISHED AREA "ØØ".
2. UNDER FLOOR CONDUITS SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR FOR OWNER'S USE - NOT TO BE USED FOR ELECTRICAL LINES. ALL CONDUITS TO BE 1" UNLESS NOTED OTHERWISE.
3. ALL OUTLETS, SWITCHES & LIGHT FIXTURES IN MECHANICAL ROOM SHALL BE EXPLOSION PROOF.
4. SPACE ALL CONDUIT 4" O.C. & 4" AWAY FROM EXT. WALL.

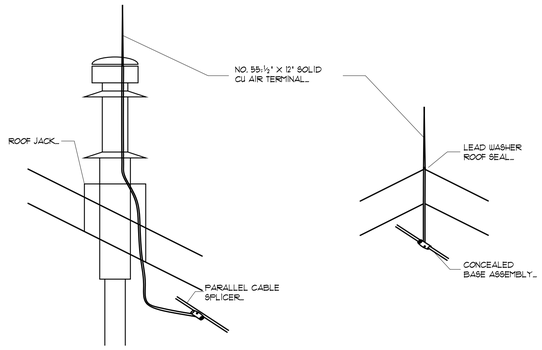


UNDER FLOOR INSTRUMENTATION CONDUIT 1'-Ø" ABOVE FLOOR SPACED 4" O.C. & 2" AWAY FROM WALL.

LOCATION OF UNDERGROUND CONDUIT TO BE PROVIDED BY OWNER.

CONDUIT PLAN (1)

SCALE: ¼" = 1'-Ø"

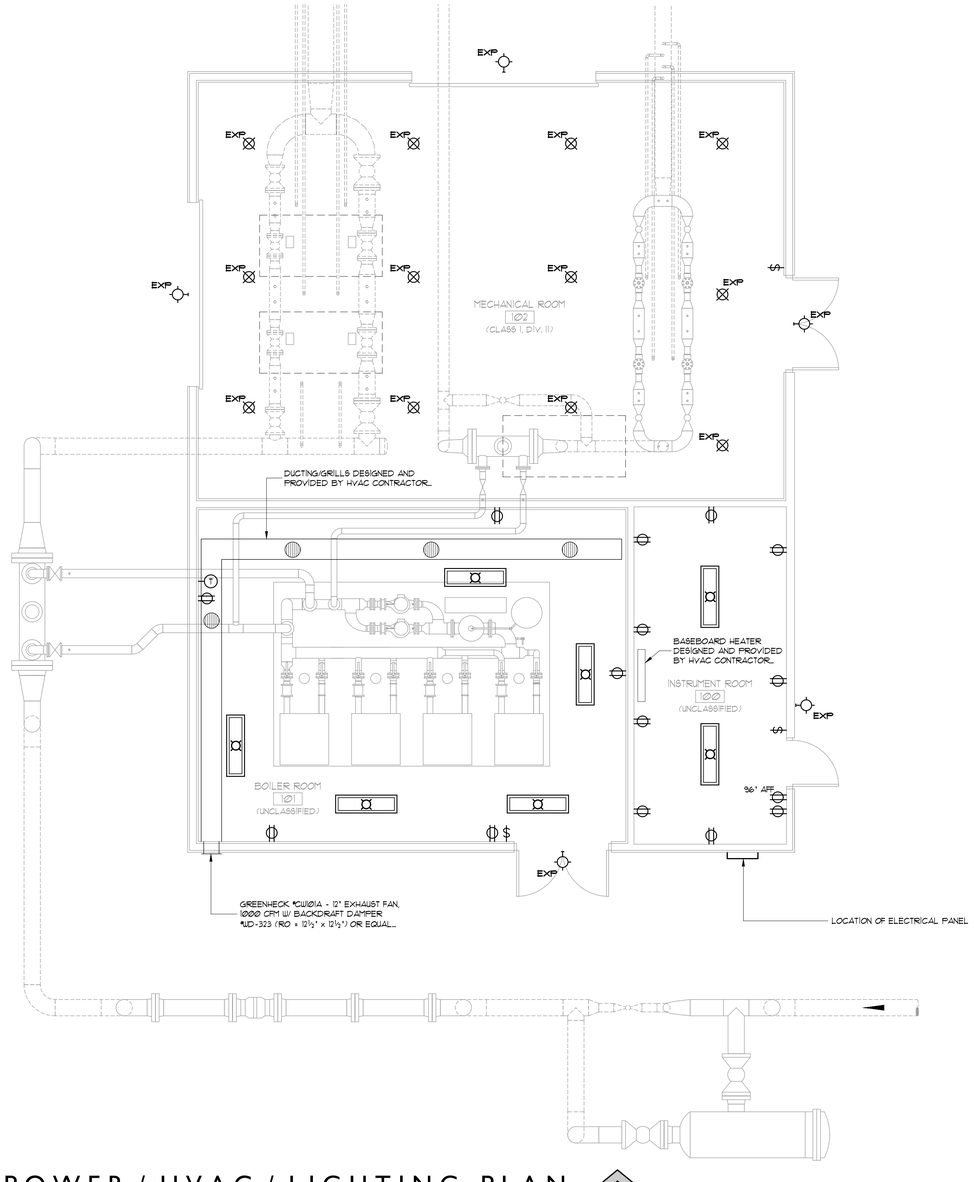


TYPICAL GROUNDING DETAILS (2)

SCALE: ¼" = 1'-Ø"

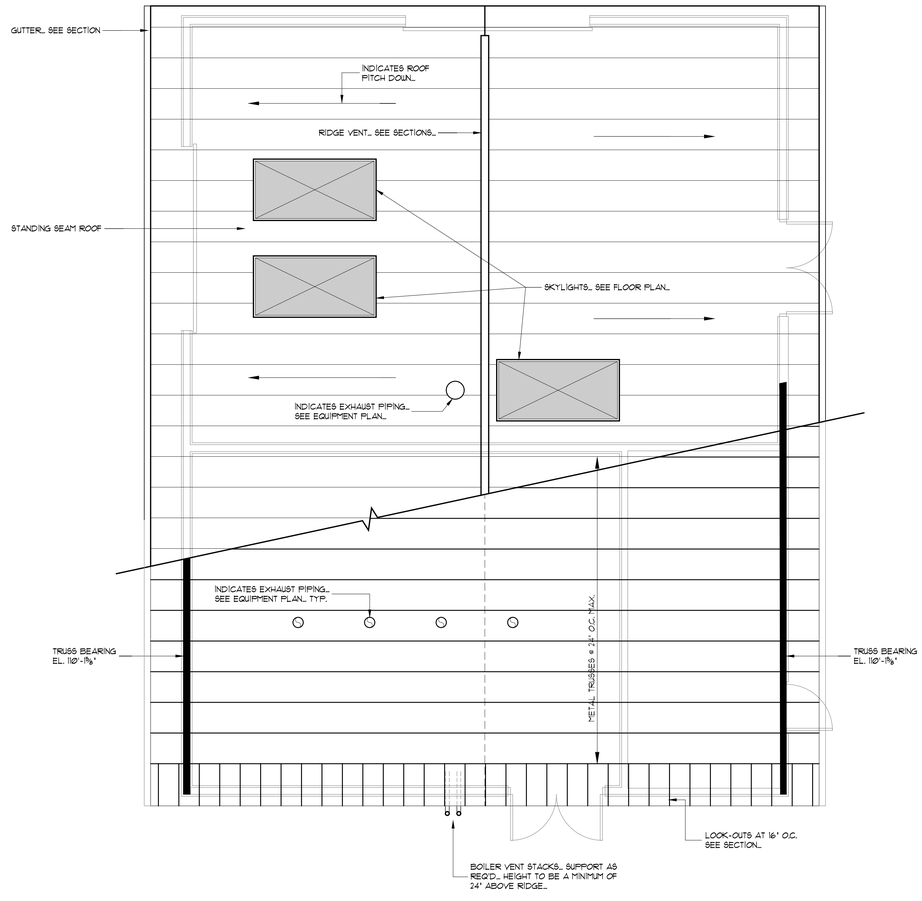
BUILDING GROUND SYSTEM

1) GENERAL/ELECTRICAL CONTRACTOR SHALL FURNISH, DESIGN, AND INSTALL A COMPLETE BUILDING GROUNDING SYSTEM BASED ON STATE AND LOCAL CODES AND THE FOLLOWING GUIDELINES.
2) PROVIDE 4# BARE COPPER WIRE LOOP 18" BELOW GRADE AND SPACED 48" AWAY FROM BUILDING.
3) INTERCONNECT TO ELECTRIC, TELEPHONE AND OTHER BUILDING GROUNDING SYSTEMS.
4) PROVIDE AIR TERMINAL PER EITHER OF THE DETAILS, SEE DETAIL #2 ON THIS SHEET. TAKE CARE TO INSURE THAT ALL POINTS ARE WITHIN 2'-Ø" OF OUTSIDE BUILDING EDGE, OUTSIDE CORNERS AND RIDGE ENDS, AND THAT MAXIMUM SPACING DOES NOT EXCEED 20'-Ø" AND THAT MINIMUM PROJECTION ABOVE OBJECT PROJECTED IS 10". (POINTS PROJECTING 24" MAY BE SPACED @ 25' MAX.)
5) MAINTAIN HORIZONTAL OR DOWNWARD COURSING OF MAIN CONDUCTOR AND INSURE THAT ALL BENDS HAVE AT LEAST AN 8" RADIUS AND DO NOT EXCEED 90 DEGREES.
6) ATTACH ALL EXPOSED ROOF, DOWN LEAD AND BONDING CABLES AT 3'-Ø" ON CENTER MAXIMUM, VERIFY COMPATIBILITY OF ADHESIVE ON MEMBRANE ROOF APPLICATIONS PRIOR TO INSTALLATION.
7) "AS-BUILT" DRAWING SHALL BE SUBMITTED IN ACCORDANCE WITH CERTIFICATION PROCEDURES.
8) ALL MATERIALS TO BE UNDERWRITER'S LABORATORIES APPROVED WITH LABELS ON CONNECTORS @ 1Ø'-Ø" INTERVALS AND LABELS ON ALL AIR TERMINALS.
9) PROVIDE A TAIL FOR CONNECTION TO EXISTING PLANT GROUNDING GRID. OWNER WILL EXTEND EXISTING GRID TO TAIL PROVIDED BY CONTRACTOR.
10) GROUND WIRES INSIDE OF THE BUILDING SHALL BE RUN IN 1" CONDUIT DOWN THE FACE OF THE WALL.



POWER / HVAC / LIGHTING PLAN

SCALE: ¼" = 1'-Ø"



ROOF FRAMING / ROOF PLAN

SCALE: ¼" = 1'-Ø"

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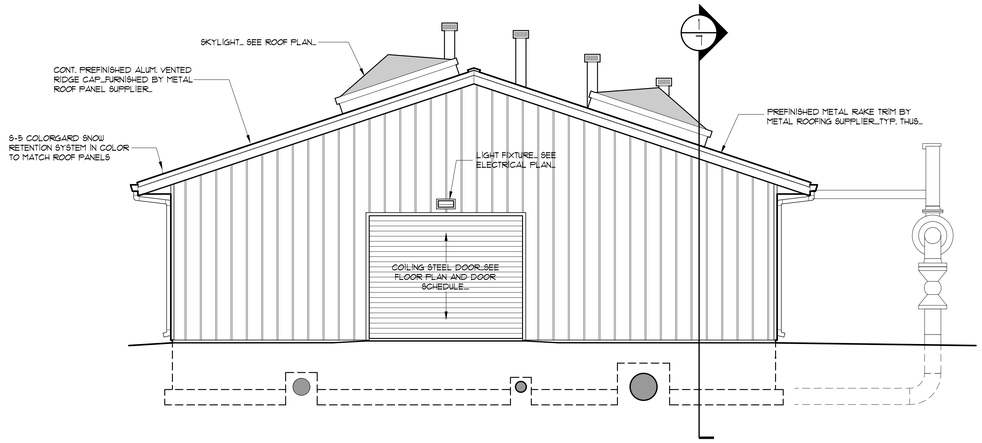
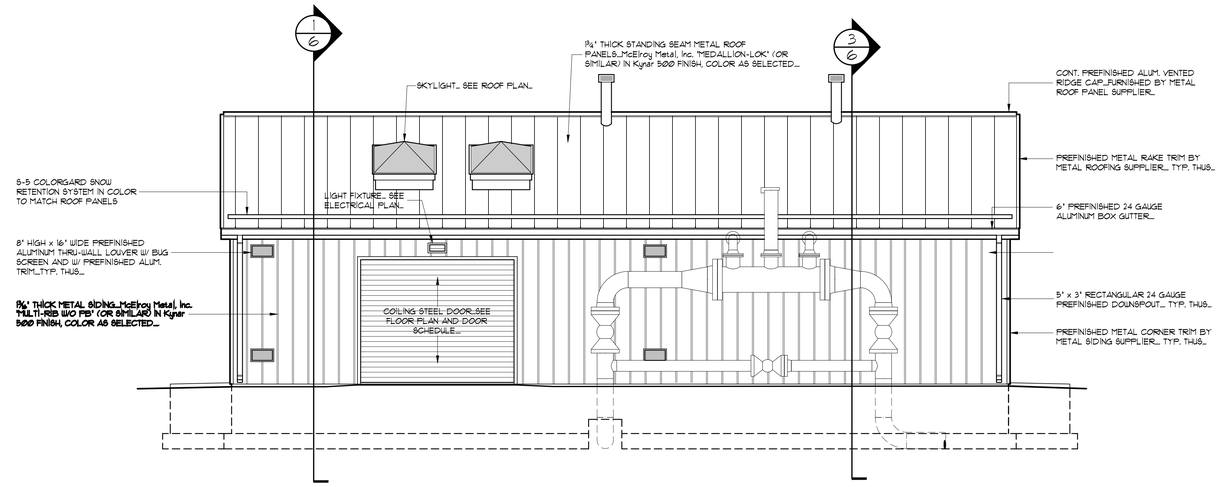


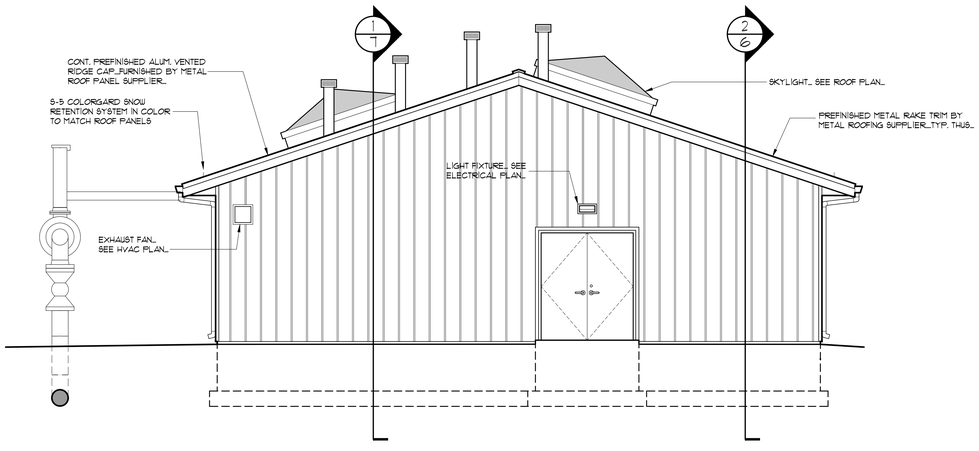
NORTH ELEVATION

SCALE: ¼" = 1'-0"



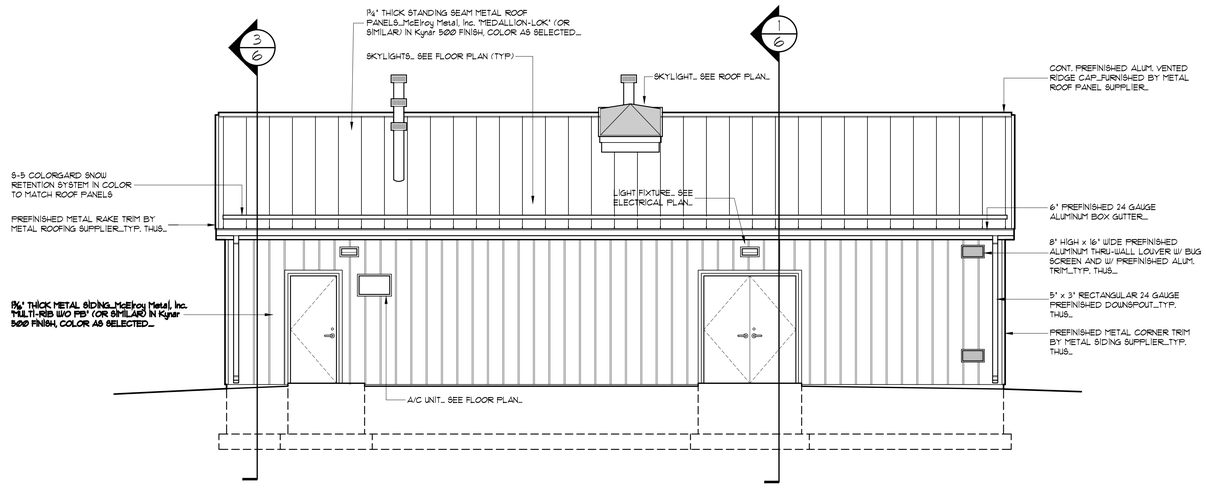
WEST ELEVATION

SCALE: ¼" = 1'-0"



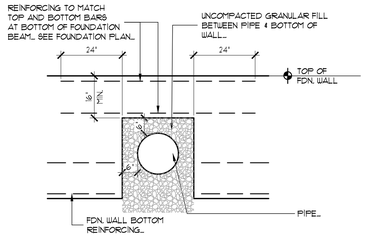
SOUTH ELEVATION

SCALE: ¼" = 1'-0"



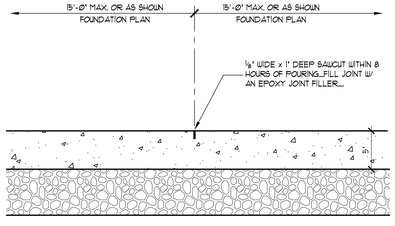
EAST ELEVATION

SCALE: ¼" = 1'-0"



FOUNDATION WALL BRIDGE (1)

SCALE: ½" = 1'-0"



SLAB CONTROL JOINT DTL. (2)

SCALE: 1½" = 1'-0"

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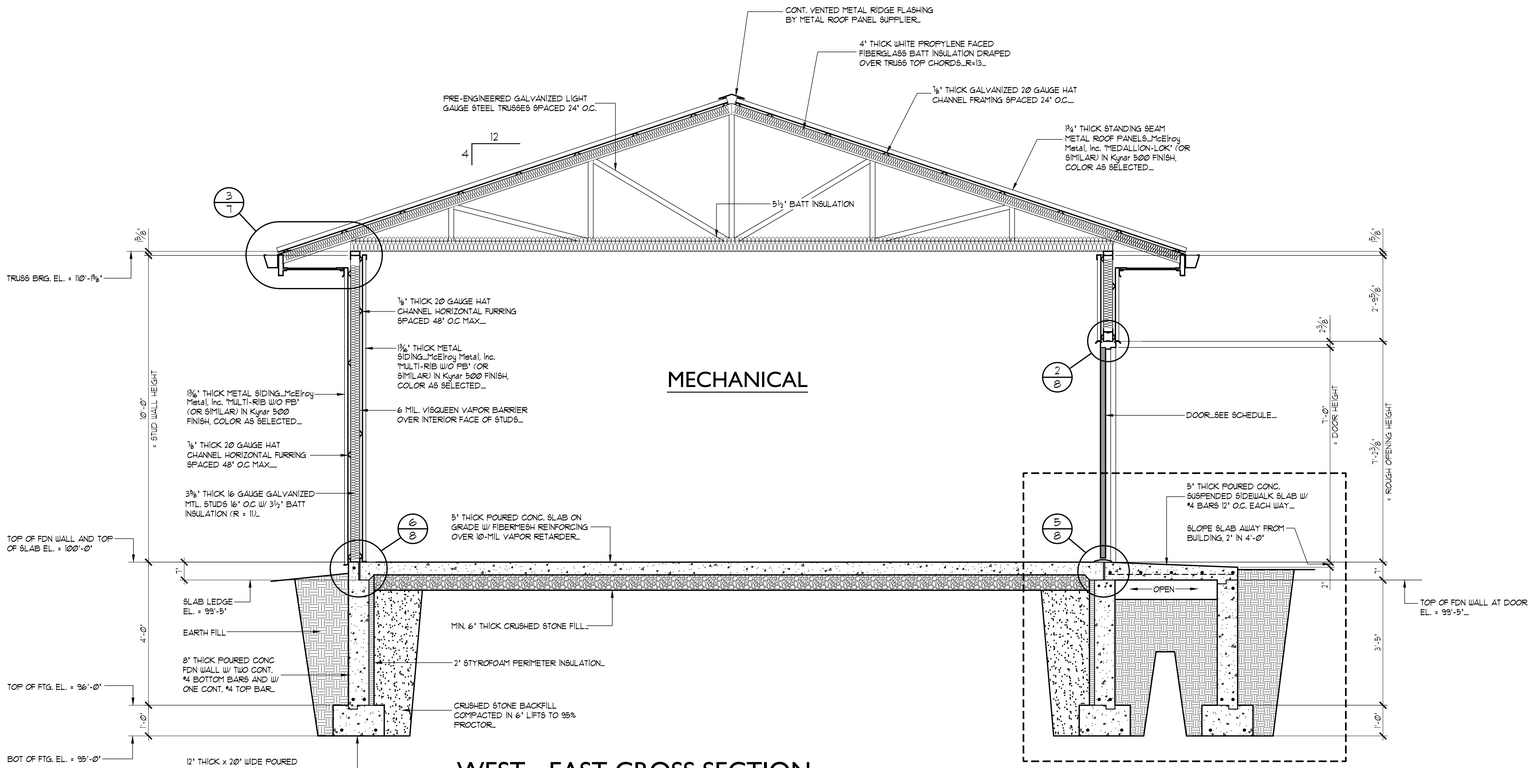
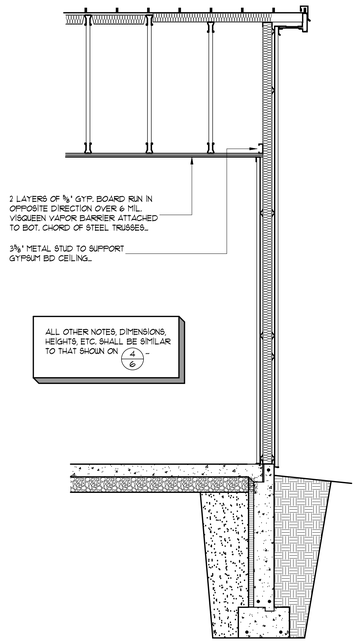


WEST - EAST CROSS SECTION THROUGH MECHANICAL ROOM (1)

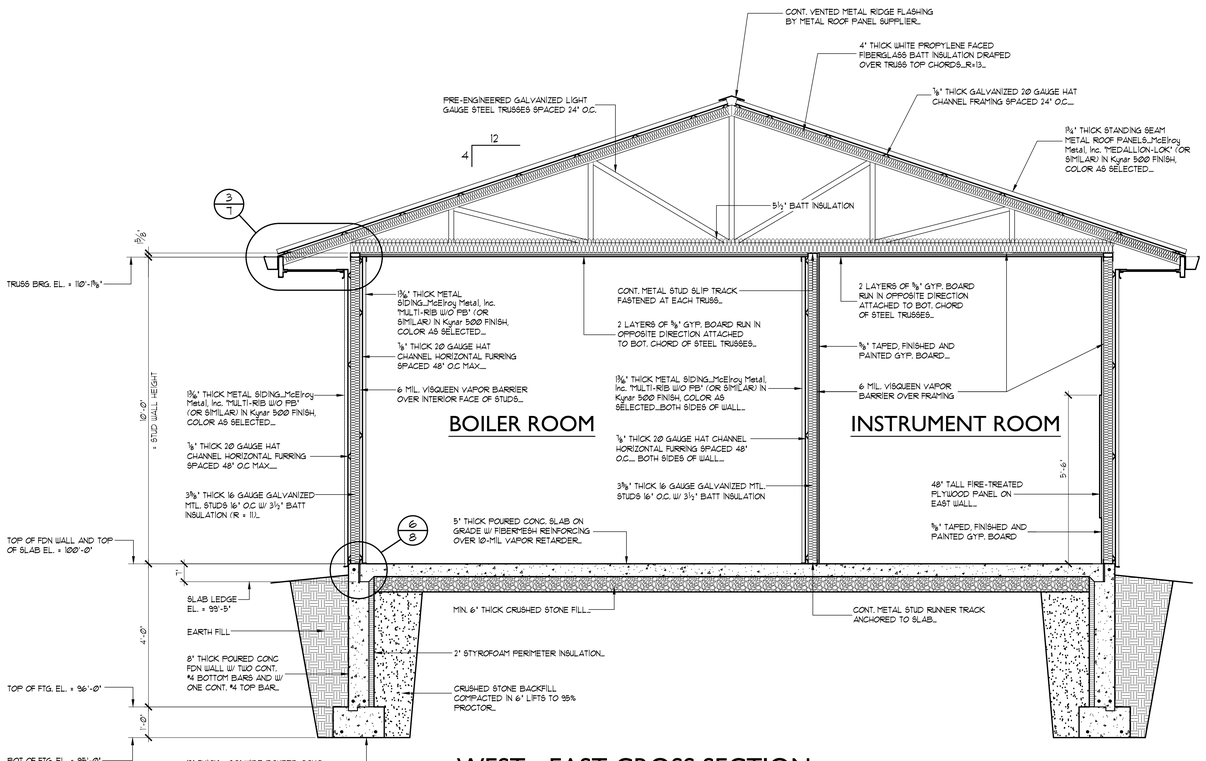
SCALE: ½" = 1'-0"

TYP. SUSPENDED SLAB DETAIL



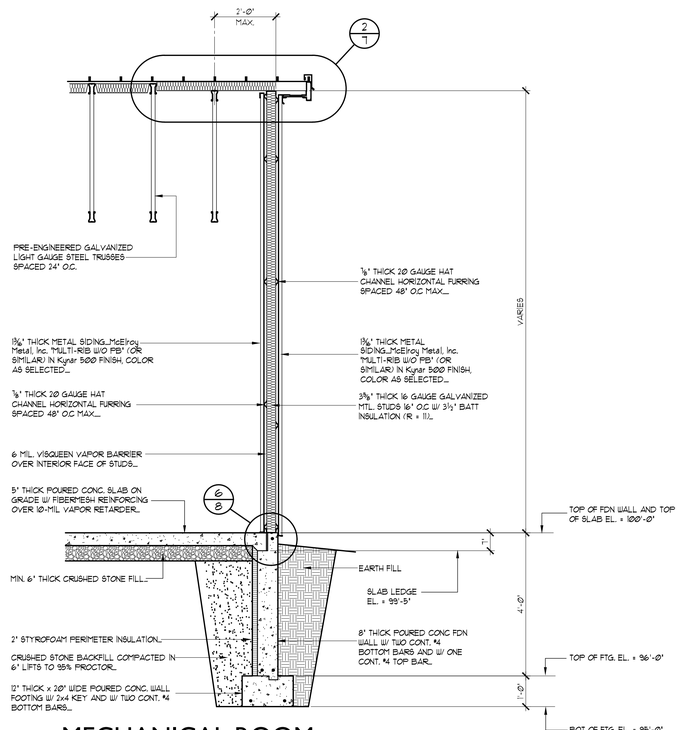
INSTRUMENT ROOM ENDWALL SECTION (2)

SCALE: ½" = 1'-0"



WEST - EAST CROSS SECTION THROUGH BOILER & INSTRUMENT ROOM (3)

SCALE: ½" = 1'-0"



MECHANICAL ROOM ENDWALL SECTION (4)

SCALE: ½" = 1'-0"

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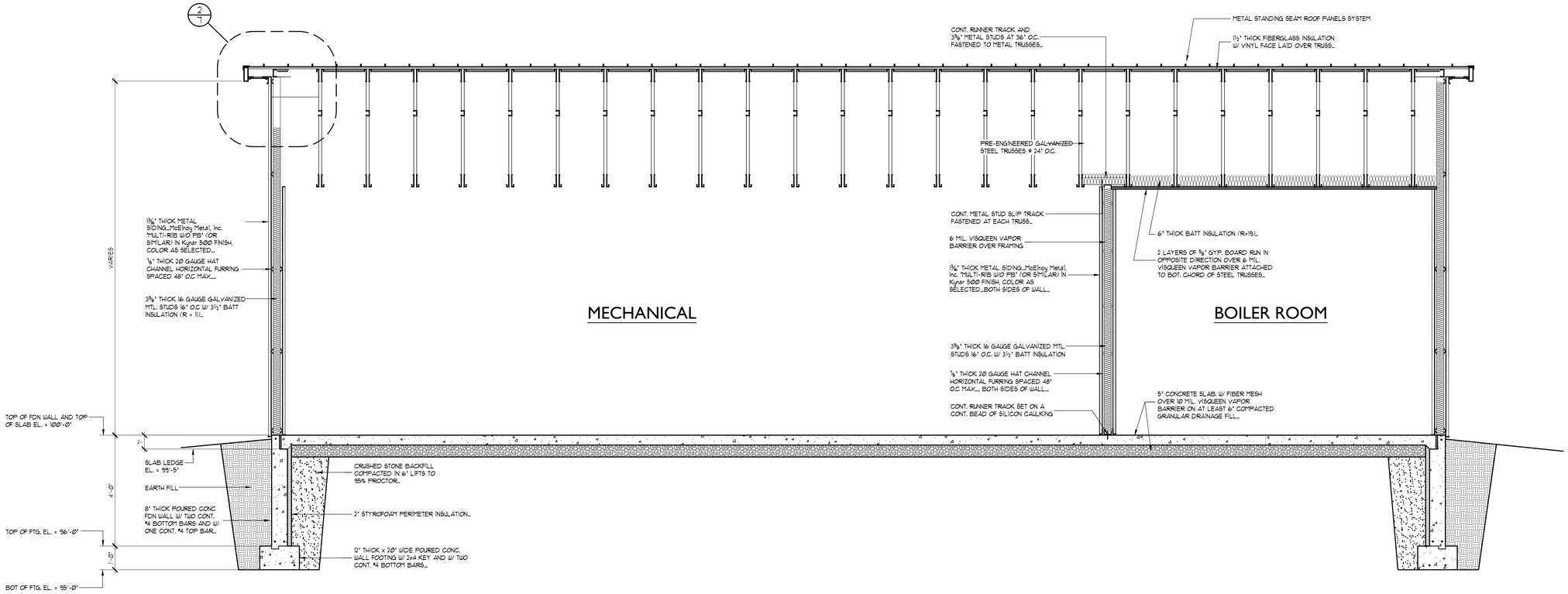
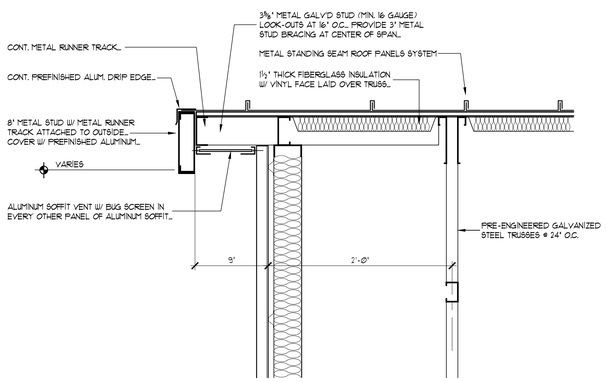


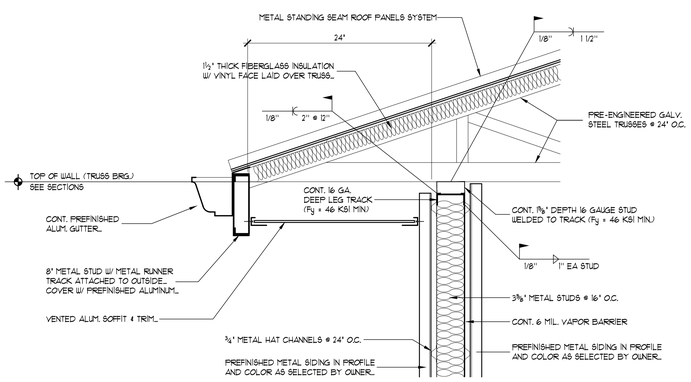
NORTH - SOUTH CROSS SECTION THROUGH MECHANICAL & BOILER ROOM (1)

SCALE: ½" = 1'-0"



GABLE DETAIL (2)

SCALE : ½" = 1'-0"



OVERHANG DETAIL (3)

SCALE : ½" = 1'-0"

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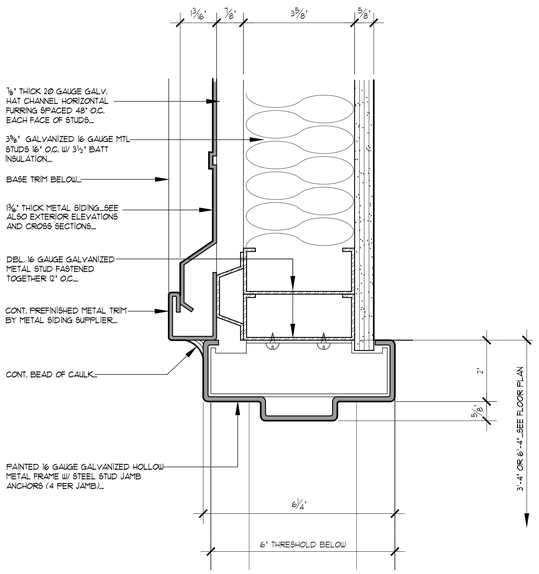
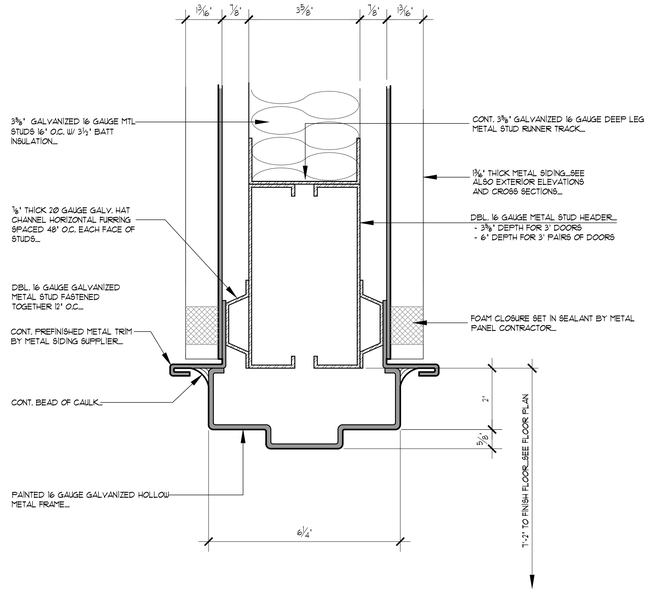


DOOR JAMB DETAIL

SCALE : 6" = 1'-0"

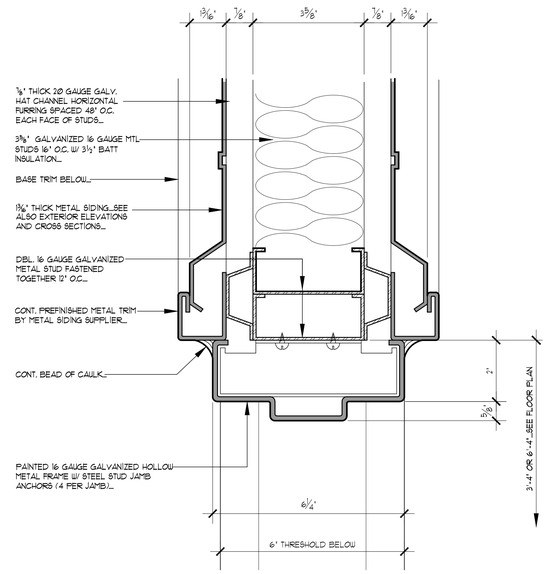
1



DOOR HEAD DETAIL

SCALE : 6" = 1'-0"

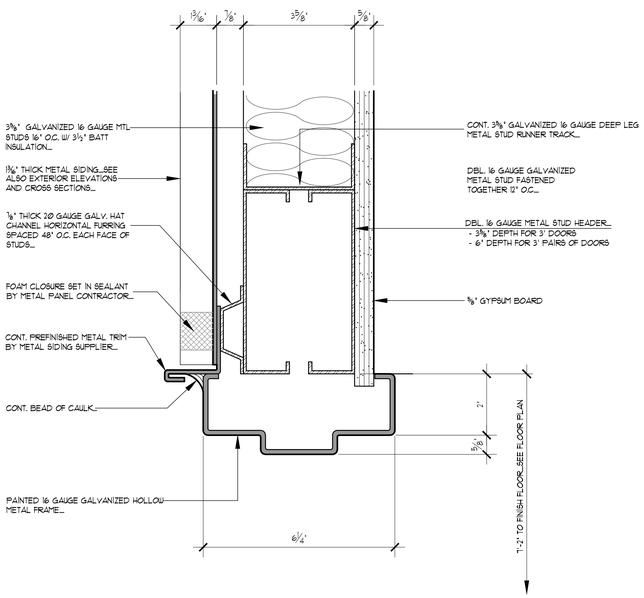
2



DOOR JAMB DETAIL

SCALE : 6" = 1'-0"

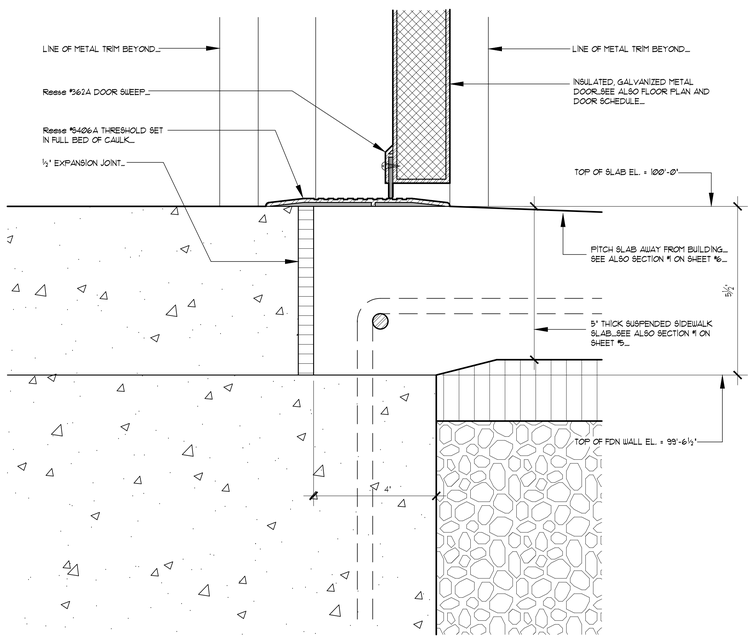
3



DOOR HEAD DETAIL

SCALE : 6" = 1'-0"

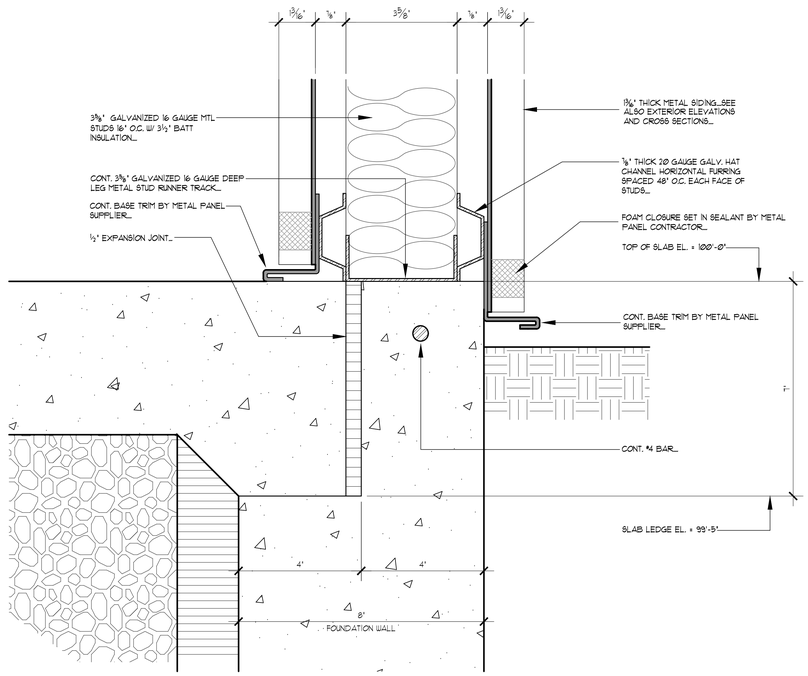
4



DOOR SILL DETAIL

SCALE : 6" = 1'-0"

5



WALL BASE DETAIL

SCALE : 6" = 1'-0"

6

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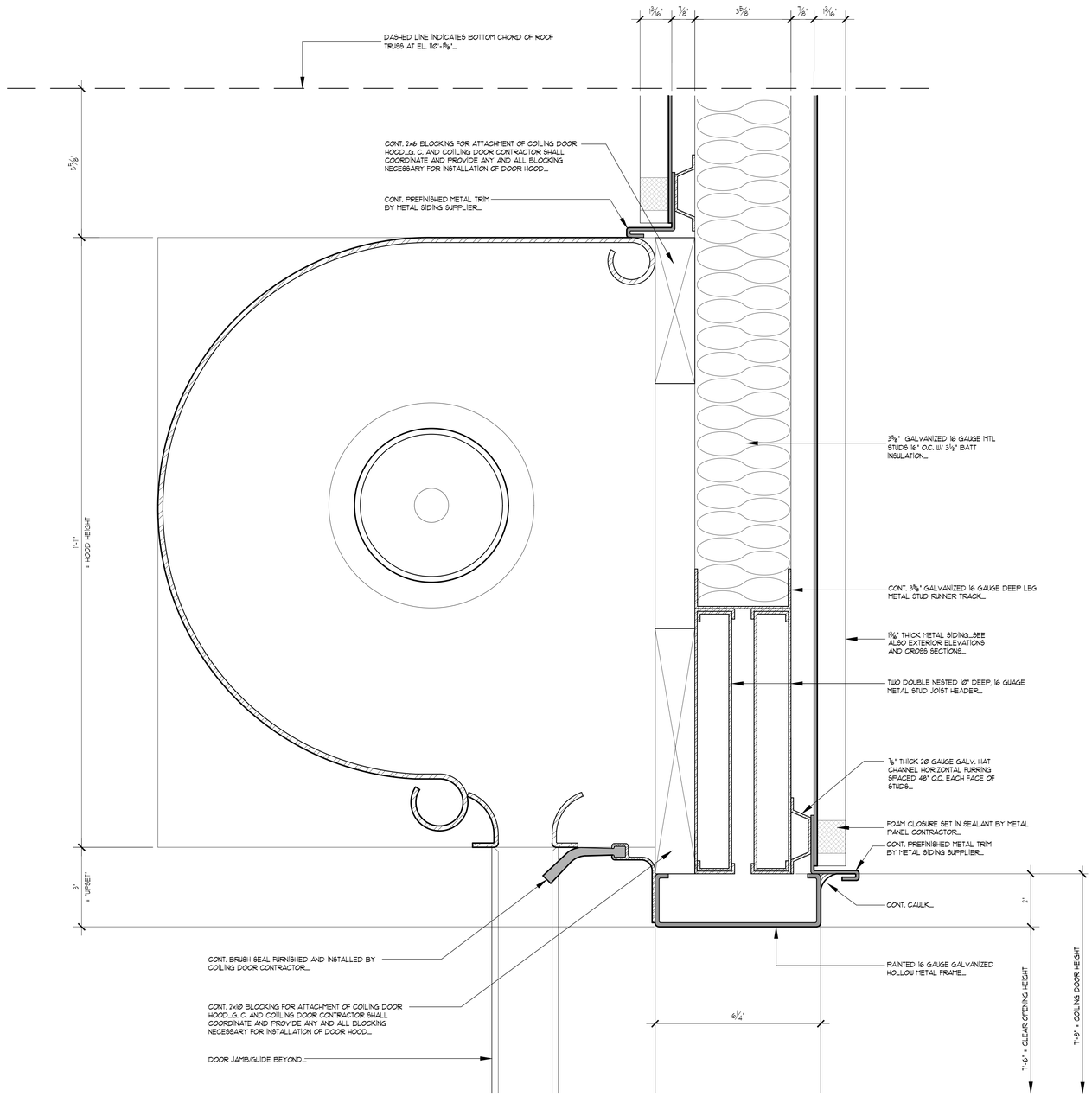
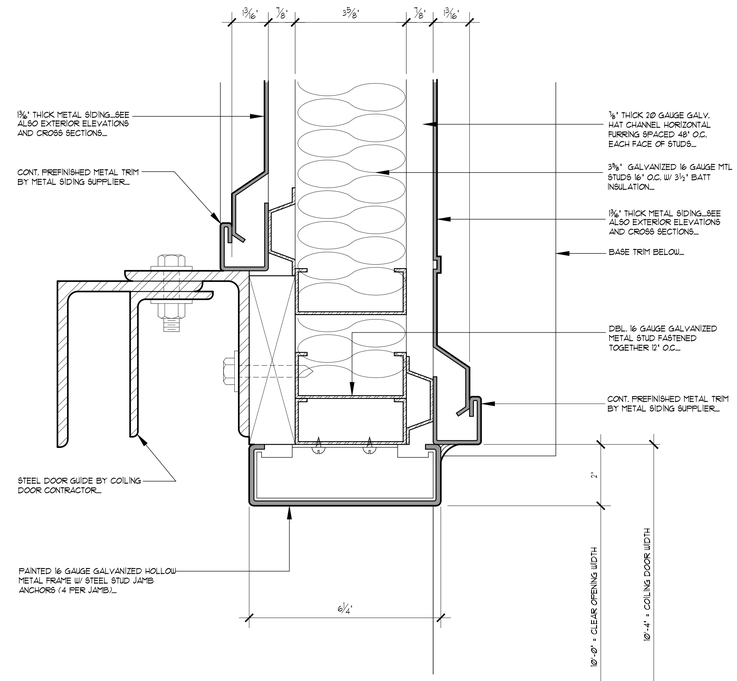


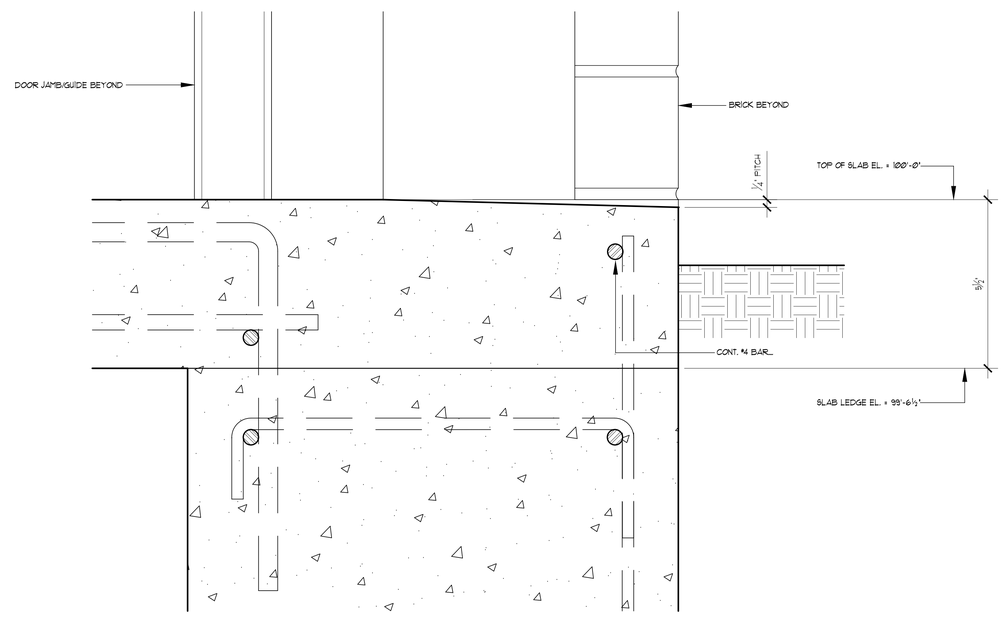
COILING DOOR HEAD DETAIL (1)

SCALE : 6" = 1'-0"



COILING DOOR JAMB DETAIL (2)

SCALE : 6" = 1'-0"



COILING DOOR SILL DETAIL (3)

SCALE : 6" = 1'-0"

RUDIE | FRANK ARCHITECTURE
920 GOOLD STREET
RACINE, WI 53402
262.634.5565

A PROPOSED REGULATION STATION FOR:

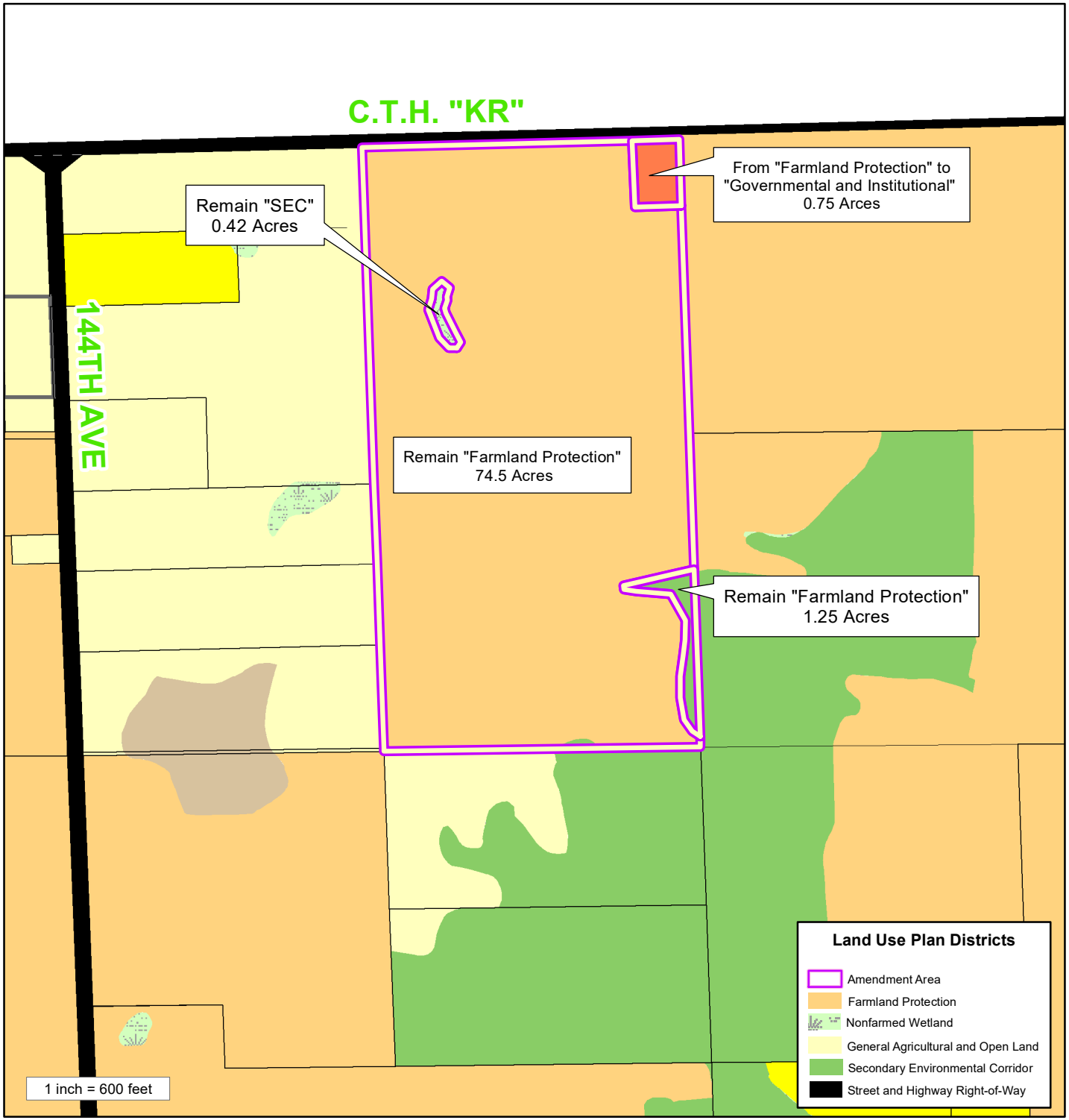
WE ENERGIES - LAKESHORE HP REG. STATION

C.T.H. "KR" & I-94 ■ KENOSHA, WI

PROJECT NO.
6-20
MAR. 30, 2020

REVISIONS

SHEET NO.
9



Walas Comp Plan.mxd

COMPREHENSIVE PLAN AMENDMENT SITE MAP

PETITIONER(S):

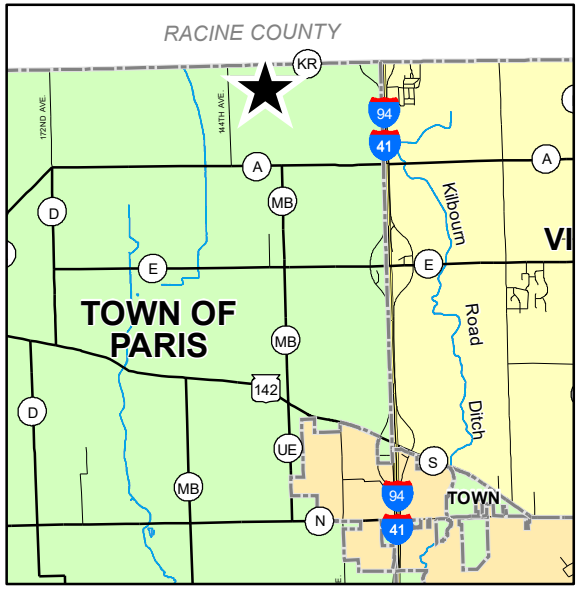
Thomas C. Walas (Owner)
Maria Koerner (Agent)

LOCATION: NE 1/4 of Section 2
Town of Paris

TAX PARCEL(S): #45-4-221-021-0100

REQUEST:

Requests an amendment to the Adopted Land Use Plan map for Kenosha County: 2035 (map 65 of the comprehensive plan) from “”Farmland Protection” & “SEC” to “Farmland Protection”, “Governmental and Institutional” & “SEC”.



KENOSHA COUNTY
CONSERVATION · PLANNING · DEVELOPMENT

COUNTY OF KENOSHA
Department of Planning & Development

KENOSHA COUNTY REZONING PROCEDURES

☐ **1.** Contact the Department of Public Works & Development Services and check with staff to determine if your proposed zoning change meets the requirements fo the Kenosha County General Zoning and Shorelnad/Floodplain Zoning Ordinance and the Kenosha County Subdivision Control Ordinance. Note: If the proposed rezoning is part of a proposed land division see the Certified Survey Map Information and Procedures.

☐ **2.** Contact the Department of Public Works & Development Services and schedule a pre-conference meeting, which is required for all rezoning requests.

Meeting Date: 03-10-2020

☐ **3.** Contact your local Town to determine if your rezoning petition requires preliminary approval.

☐ **4.** Complete and submit the Kenosha County Rezoning Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

☐ **6.** Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

☐ **7.** Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.

Town Planning Commission meeting date (tentative): _____

Town Board meeting date (tentative): _____

☐ **8.** Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.

Kenosha County Planning, Development & Extension Education Committee meeting date: _____
(tentative)

☐ **9.** Planning, Development & Extension Education Committee recommends either approval and adopts a resolution or denial and transmits recommendation to the Kenosha County Board of Supervisors. No action is required from the applicant at this time.

If approved, County Board of Supervisors either approves or denies the amendment.

If denied by the Kenosha County Board of Supervisors you have thirty (30) days to file an appeal with circuit court if you so choose.

☐ **10.** After the County Executive has signed the official ordinance document amending the Kenosha County Zoning Map, you will be notified of your approval in writing. Upon notification of approval, you may proceed with recording any necessary deeds.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
Department of Public Works & Development Services
19600 - 75th Street, Suite 185-3
Bristol, Wisconsin 53104-9772

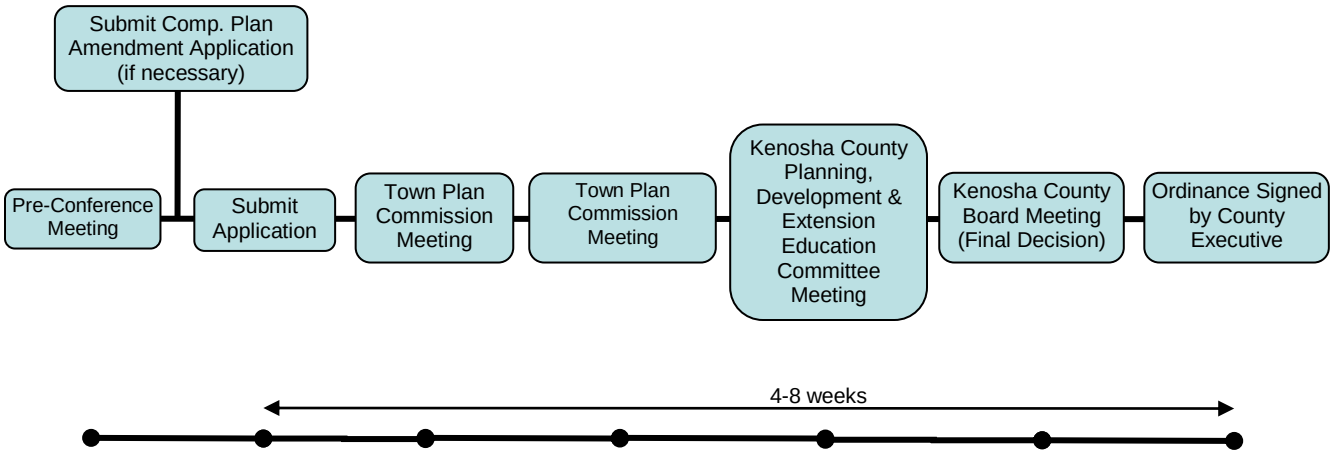
Division of Planning & Development (including Sanitation & Land Conservation) **857-1895**
Facsimile # 857-1920

Public Works Division of Highways 857-1870

Administration Building
Division of Land Information 653-2622

Brighton, Town of 878-2218
Paris, Town of 859-3006
Randall, Town of 877-2165
Salem, Town of 843-2313
Utility District 862-2371
Somers Town of 859-2822
Wheatland, Town of 537-4340
Wisconsin Department of Natural Resources - Sturtevant Office 884-2300
Wisconsin Department of Transportation - Waukesha Office 548-8722

Rezoning Procedure Timeline



For Reference Purposes

COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED MAY - 6 2020 Kenosha County Deputy County Clerk

RECEIVED MAY - 6 2020 Kenosha County Planning and Development

REZONING APPLICATION

(a) Property Owner's Name: Thomas C. Walas

Print Name: Thomas C. Walas Signature:

Mailing Address: 5901 Lockhurst Dr.

City: Woodland Hills State: CA Zip: 91367

Phone Number: 310-498-3443 E-mail (optional): tomwalas@prodigy.net

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Maria Koerner, Agent Signature: Maria Koerner

Business Name: Wisconsin Electric Power Company d/b/a We Energies

Mailing Address: 231 W. Michigan Street - P129

City: Milwaukee State: WI Zip: 53203

Phone Number: 414-221-2727 E-mail (optional): maria.koerner@we-energies.com

(c) Tax key number(s) of property to be rezoned:

45-4-221-021-0100

Property Address of property to be rezoned:

County Highway KR (1st Street)

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):

Wisconsin Electric Power Company d/b/a We Energies proposes to construct, install and maintain a gas regulator station approximately 5400 feet west of I-94 on the south side of County Highway KR a/k/a 1st Street, in the Town of Paris, Kenosha County, WI. The parcel, the proposed gas regulator station would be located on, consists of approximately 77.43 acres zoned A-1 Agricultural Preservation District, and C-1 Lowland Resource Conservancy District. The actual footprint of the proposed gas regulator station is approximately 32.692 square feet or 0.75 acres currently zoned A-1 Agricultural Preservation District and intended to be rezoned I-1 Institutional District.

(e) Check the box next to any and all of the **existing** zoning district classifications present on the subject property:

☑ A-1 Agricultural Preservation District	☐ TCO Town Center Overlay District
☐ A-2 General Agricultural District	☐ B-1 Neighborhood Business District
☐ A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	☐ B-2 Community Business District
☐ A-4 Agricultural Land Holding District	☐ B-3 Highway Business District
☐ AE-1 Agricultural Equestrian Cluster Single-Family District	☐ B-4 Planned Business District
☐ R-1 Rural Residential District	☐ B-5 Wholesale Trade and Warehousing District
☐ R-2 Suburban Single-Family Residential District	☐ BP-1 Business Park District
☐ R-3 Urban Single-Family Residential District	☐ B-94 Interstate Highway 94 Special Use Business District
☐ R-4 Urban Single-Family Residential District	☐ M-1 Limited Manufacturing District
☐ R-5 Urban Single-Family Residential District	☐ M-2 Heavy Manufacturing District
☐ R-6 Urban Single-Family Residential District	☐ M-3 Mineral Extraction District
☐ R-7 Suburban Two-Family and Three-Family Residential District	☐ M-4 Sanitary Landfill and Hazardous Waste Disposal District
☐ R-8 Urban Two-Family Residential District	☐ I-1 Institutional District
☐ R-9 Multiple-Family Residential District	☐ PR-1 Park-Recreational District
☐ R-10 Multiple-Family Residential District	☑ C-1 Lowland Resource Conservancy District
☐ R-11 Multiple-Family Residential District	☐ C-2 Upland Resource Conservancy District
☐ R-12 Mobile Home/Manufactured Home Park-Subdivision District	☐ FPO Floodplain Overlay District
☐ HO Historical Overlay District	☐ FWO Camp Lake/Center Lake Floodway Overlay District
☐ PUD Planned Unit Development Overlay District	☐ FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
☐ AO Airport Overlay District	
☐ RC Rural Cluster Development Overlay District	

(f) Check the box next to any and all of the **proposed** zoning district classifications proposed for the subject property:

☑ A-1 Agricultural Preservation District	☐ TCO Town Center Overlay District
☐ A-2 General Agricultural District	☐ B-1 Neighborhood Business District
☐ A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	☐ B-2 Community Business District
☐ A-4 Agricultural Land Holding District	☐ B-3 Highway Business District
☐ AE-1 Agricultural Equestrian Cluster Single-Family District	☐ B-4 Planned Business District
☐ R-1 Rural Residential District	☐ B-5 Wholesale Trade and Warehousing District
☐ R-2 Suburban Single-Family Residential District	☐ BP-1 Business Park District
☐ R-3 Urban Single-Family Residential District	☐ B-94 Interstate Highway 94 Special Use Business District
☐ R-4 Urban Single-Family Residential District	☐ M-1 Limited Manufacturing District
☐ R-5 Urban Single-Family Residential District	☐ M-2 Heavy Manufacturing District
☐ R-6 Urban Single-Family Residential District	☐ M-3 Mineral Extraction District
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☐ R-8 Urban Two-Family Residential District	☑ I-1 Institutional District
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☐ R-10 Multiple-Family Residential District	☑ C-1 Lowland Resource Conservancy District
☐ R-11 Multiple-Family Residential District	☐ C-2 Upland Resource Conservancy District
☐ R-12 Mobile Home/Manufactured Home Park-Subdivision District	☐ FPO Floodplain Overlay District
☐ HO Historical Overlay District	☐ FWO Camp Lake/Center Lake Floodway Overlay District
☐ PUD Planned Unit Development Overlay District	☐ FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
☐ AO Airport Overlay District	
☐ RC Rural Cluster Development Overlay District	

(g) Your request must be consistent with the existing planned land use category as shown on Map 65 of the adopted "Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035".

* A COMP. PLAN AMENDMENT IS SIMUTANEOUSLY PENDING *

The existing planned land use category for the subject property is:

☑ Farmland Protection	☐ Governmental and Institutional
☐ General Agricultural and Open Land	☐ Park and Recreational
☐ Rural-Density Residential	☐ Street and Highway Right-of-Way
☐ Agricultural and Rural Density Residential	☑ Other Transportation, Communication, and Utility
☐ Suburban-Density Residential	☐ Extractive
☐ Medium-Density Residential	☐ Landfill
☐ High-Density Residential	☐ Primary Environmental Corridor
☐ Mixed Use	☑ Secondary Environmental Corridor
☐ Commercial	☐ Isolated Natural Resource Area
☐ Office/Professional Services	☐ Other Conservancy Land to be Preserved
☐ Industrial	☑ Nonfarmed Wetland
☐ Business/Industrial Park	☐ Surface Water

(h) Attach a plot plan or survey plat of property to be rezoned (showing location, dimensions, zoning of adjacent properties, existing uses and buildings of adjacent properties, floodways and floodplains)—drawn to scale.

(i) The Kenosha County Department of Planning and Development may ask for additional information.

(1) Is this property located within the shoreland area?

Shoreland area is defined as the following: All land, water and air located within the following distances from the ordinary high water mark of navigable waters as defined in section 144.26(2)(d) of the Wisconsin Statutes: 1,000 feet from a lake, pond or flowage; 300 feet from a river or stream or to the landward side of the floodplain, whichever distance is greater. If the navigable water is a glacial pothole lake, the distance shall be measured from the high water mark thereof.

☐ Yes ☐ No

(2) Is this property located within the City of Kenosha Airport affected area as defined in s. 62.23 (6) (am) 1. b.?

☐ Yes ☑ No

(j) The name of the County Supervisor of the district wherein the property is located (District Map):

Supervisory District Number: 19 County Board Supervisor: Michael J. Skalitzky

(k) The fee specified in Section 12.05-8 of this ordinance.

Request for Rezoning Petition $750.00

(For other fees see the Fee Schedule)

Note: Agricultural Use Conversion Charge

The use value assessment system values agricultural land based on the income that would be generated from its rental for agricultural use rather than its fair market value. When a person converts agricultural land to a non-agricultural use (e.g. residential or commercial development), that person may owe a conversion charge. To obtain more information about the use value law or conversion charge, contact the Wisconsin Department of Revenue's Equalization Section at 608-266-2149 or visit http://www.revenue.wi.gov/faqs/slf/useassmt.html.

Note that the act of rezoning property from an agricultural zoning district to a non-agricultural zoning district does not necessarily trigger the agricultural use conversion charge. It is when the use of the property changes from agricultural that the conversion charge is assessed.

Kenosha County

WI DNR WETLAND INVENTORY LAYER

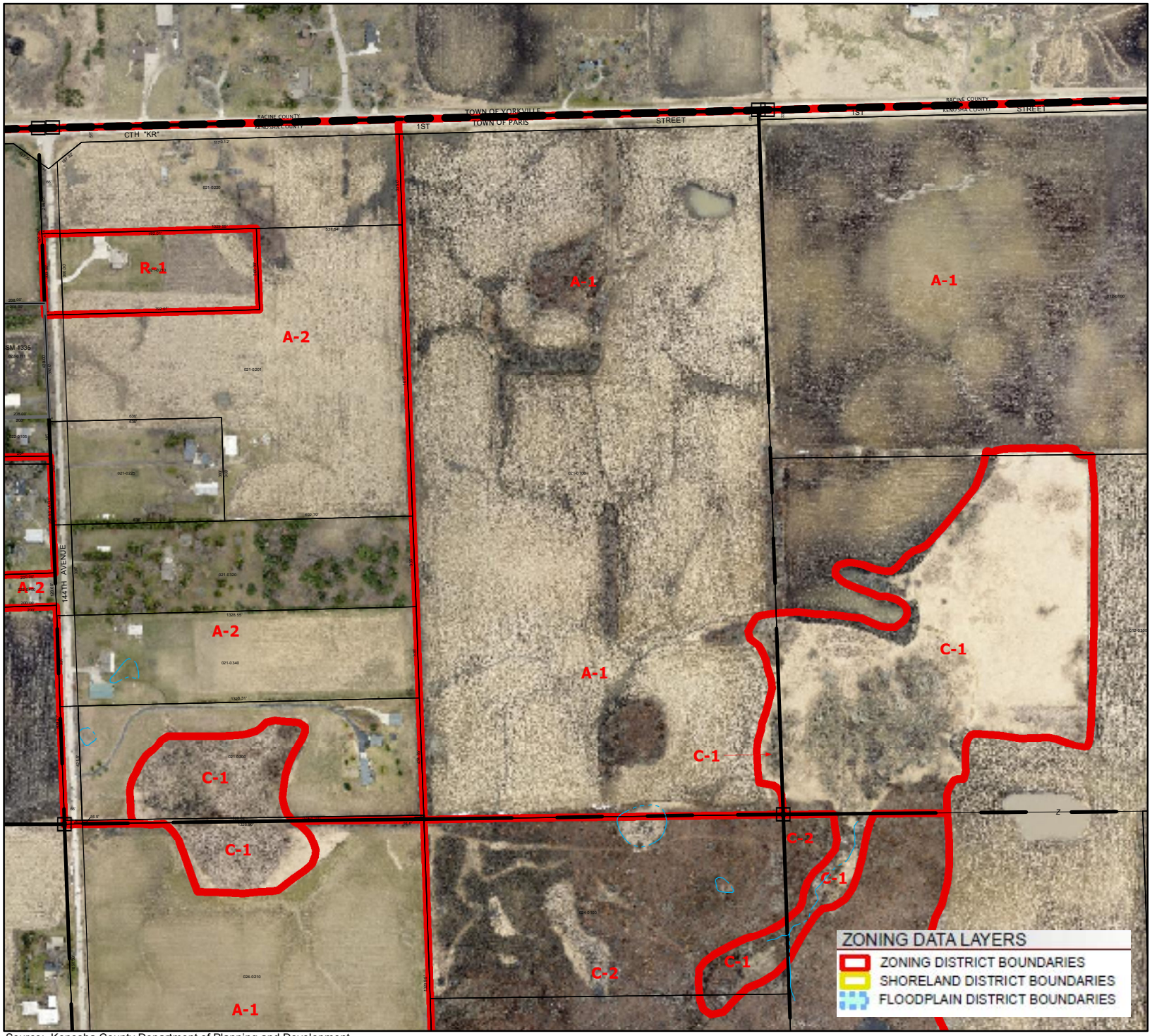
N
W E
S

1 inch = 714 feet

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INNACURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT KENOSHA COUNTY.

Source: Kenosha County Department of Planning and Development

Kenosha County



Source: Kenosha County Department of Planning and Development

CURRENT ZONING MAP CLASSIFICATIONS

N
W E
S

1 inch = 500 feet

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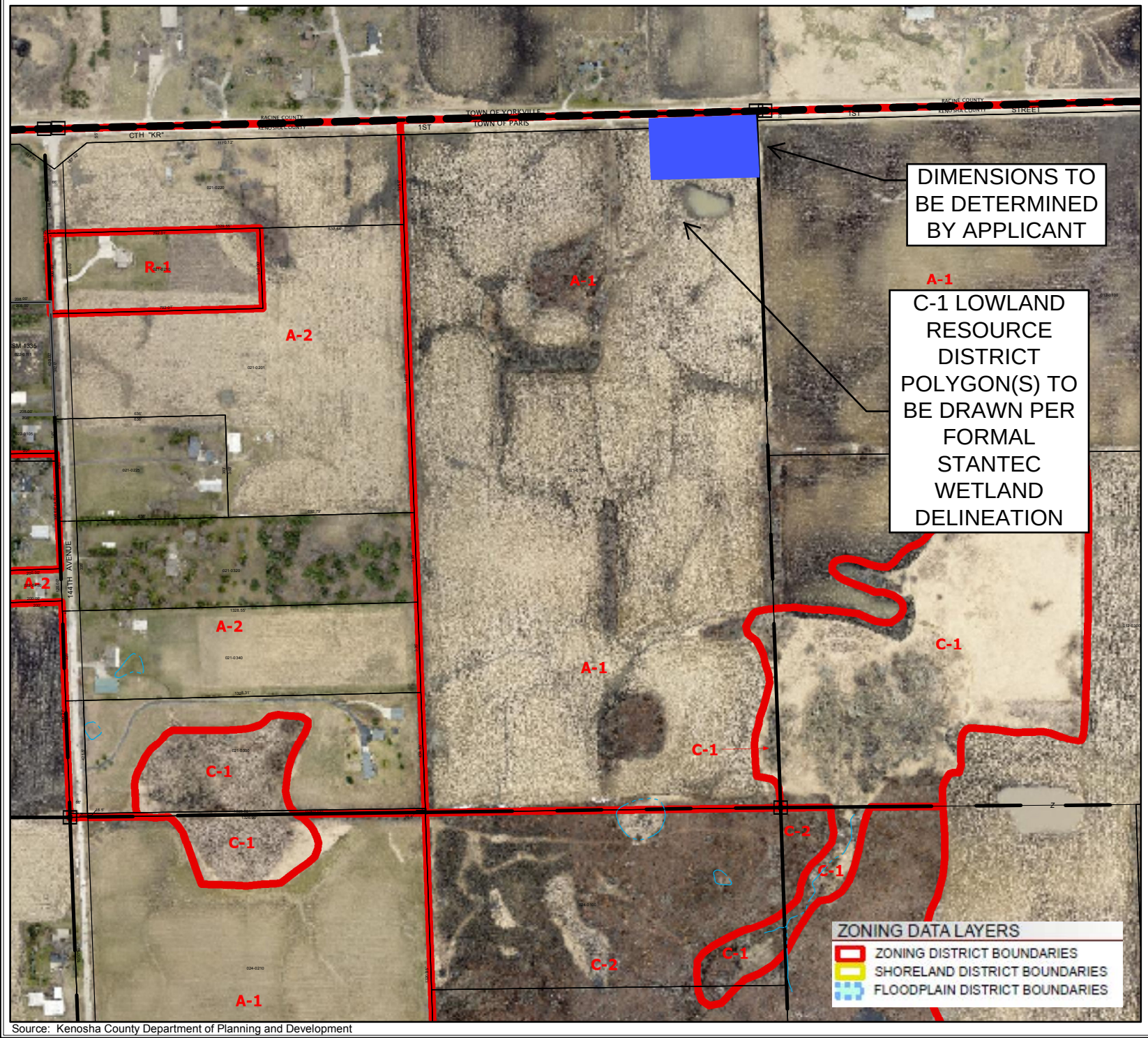

Source: Kenosha County Department of Planning and Development

Kenosha County

KENOSHA COUNTY WISCONSIN
Established 1850

PROPOSED ZONING MAP CLASSIFICATIONS

N
W E
S

1 inch = 500 feet

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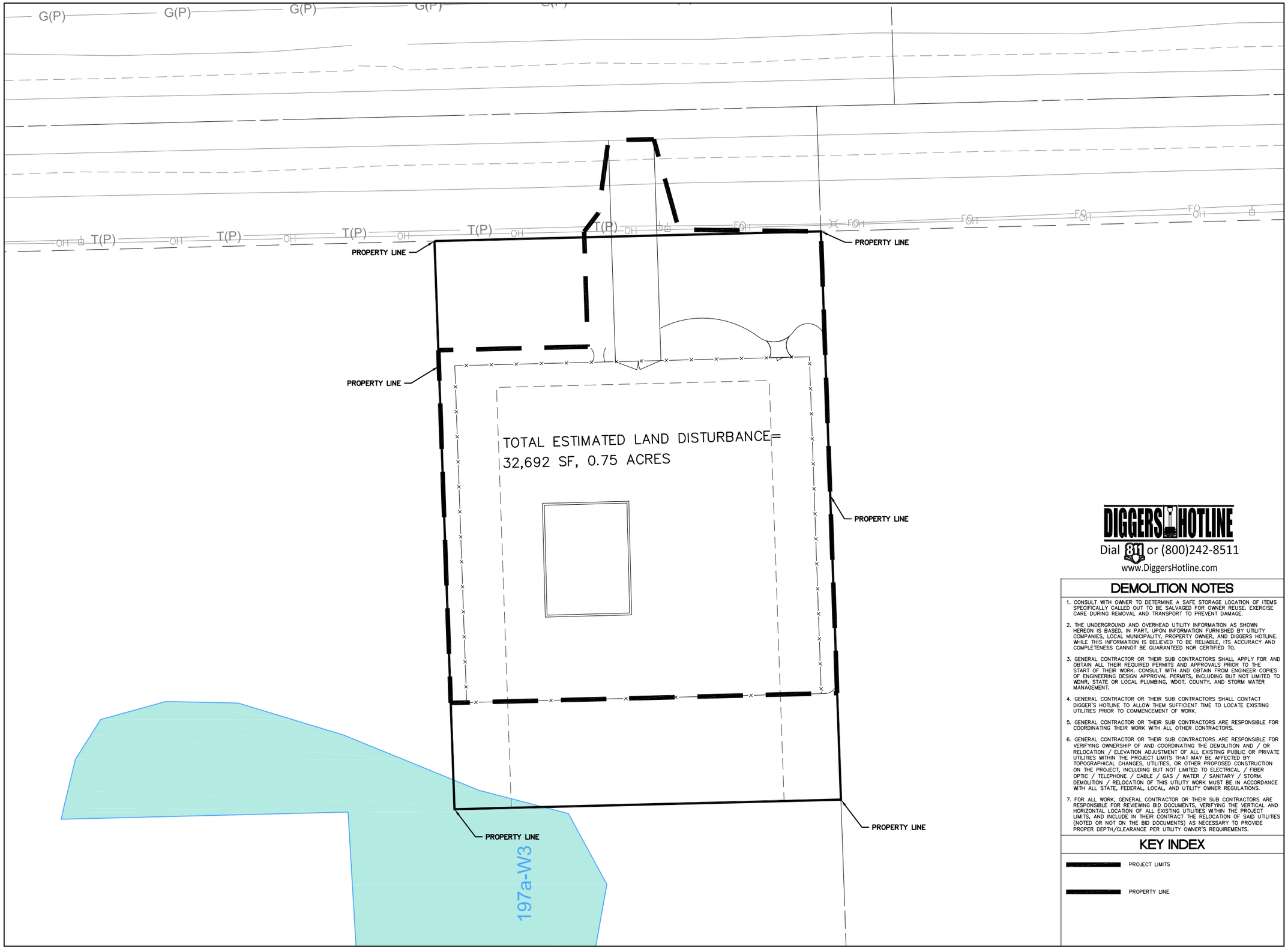

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

DEMOLITION NOTES

1. CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION OF ITEMS SPECIFICALLY CALLED OUT TO BE SALVAGED FOR OWNER REUSE. EXERCISE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
3. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDNR, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.
4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
5. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.
7. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.

KEY INDEX

PROJECT LIMITS

PROPERTY LINE

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurinc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'
0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER
all in

SHEET:
SITE DEMOLITION PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C101

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C101 – SITE DEMOLITION PLAN.dwg

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KEY INDEX

- PROJECT LIMITS
- AREAS DISTURBED BY CONSTRUCTION (RESTORATION SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS)
- NEW CONCRETE SLAB
- NEW CRUSHED AGGREGATE
- NEW FENCE

6
C2.11

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES
LAKESHORE H.P.
REGULATION
STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'

0 20 40

SEAL:
WISCONSIN
LANCE M. NEWMAN
E-40453
OAK CREEK, WISCONSIN
PROFESSIONAL ENGINEER

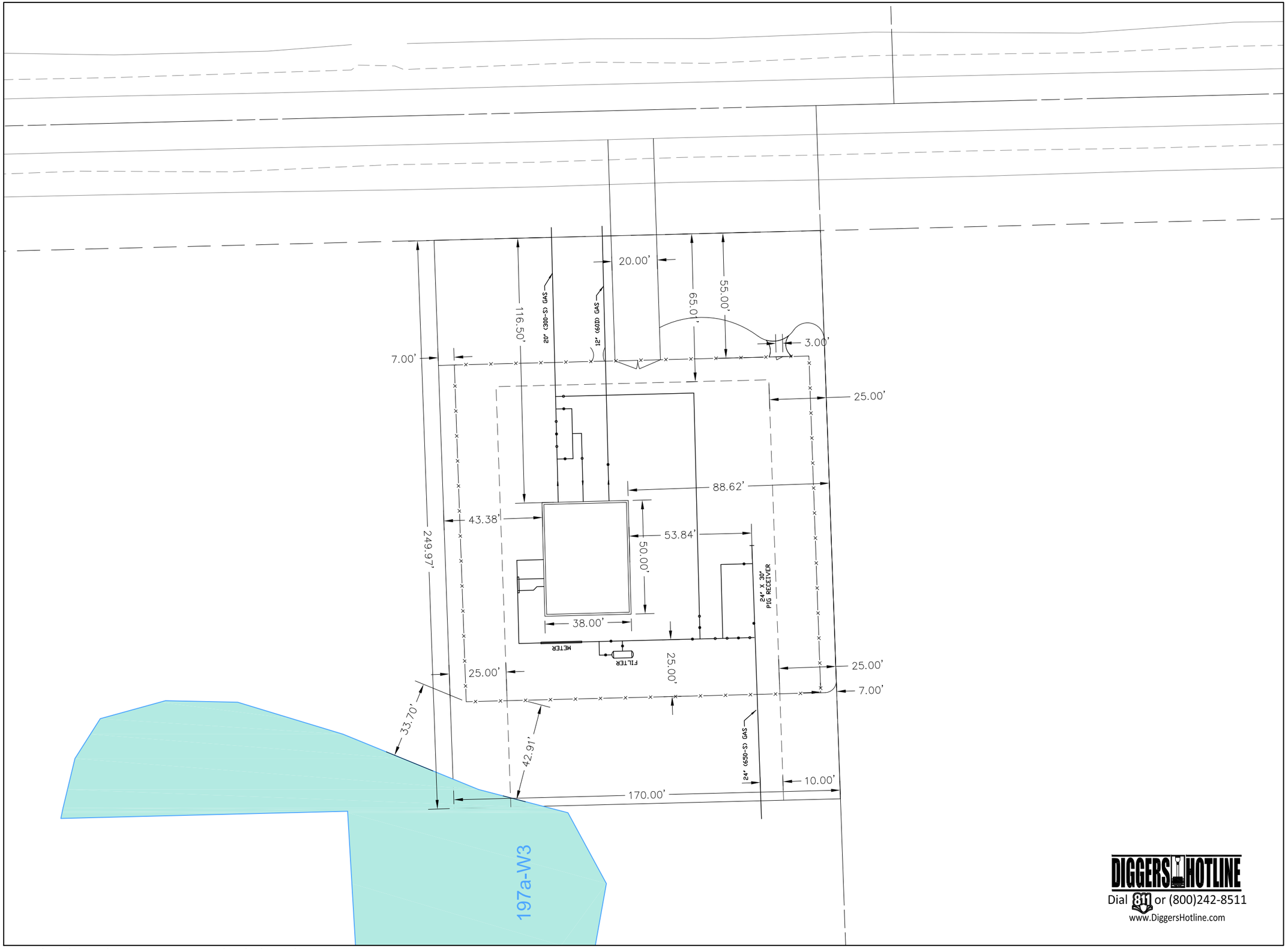
all in

SHEET:
SITE LAYOUT PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C102

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C102 – SITE LAYOUT PLAN.dwg



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kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'

0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

all in

SHEET:
SITE GEOMETRIC PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C103

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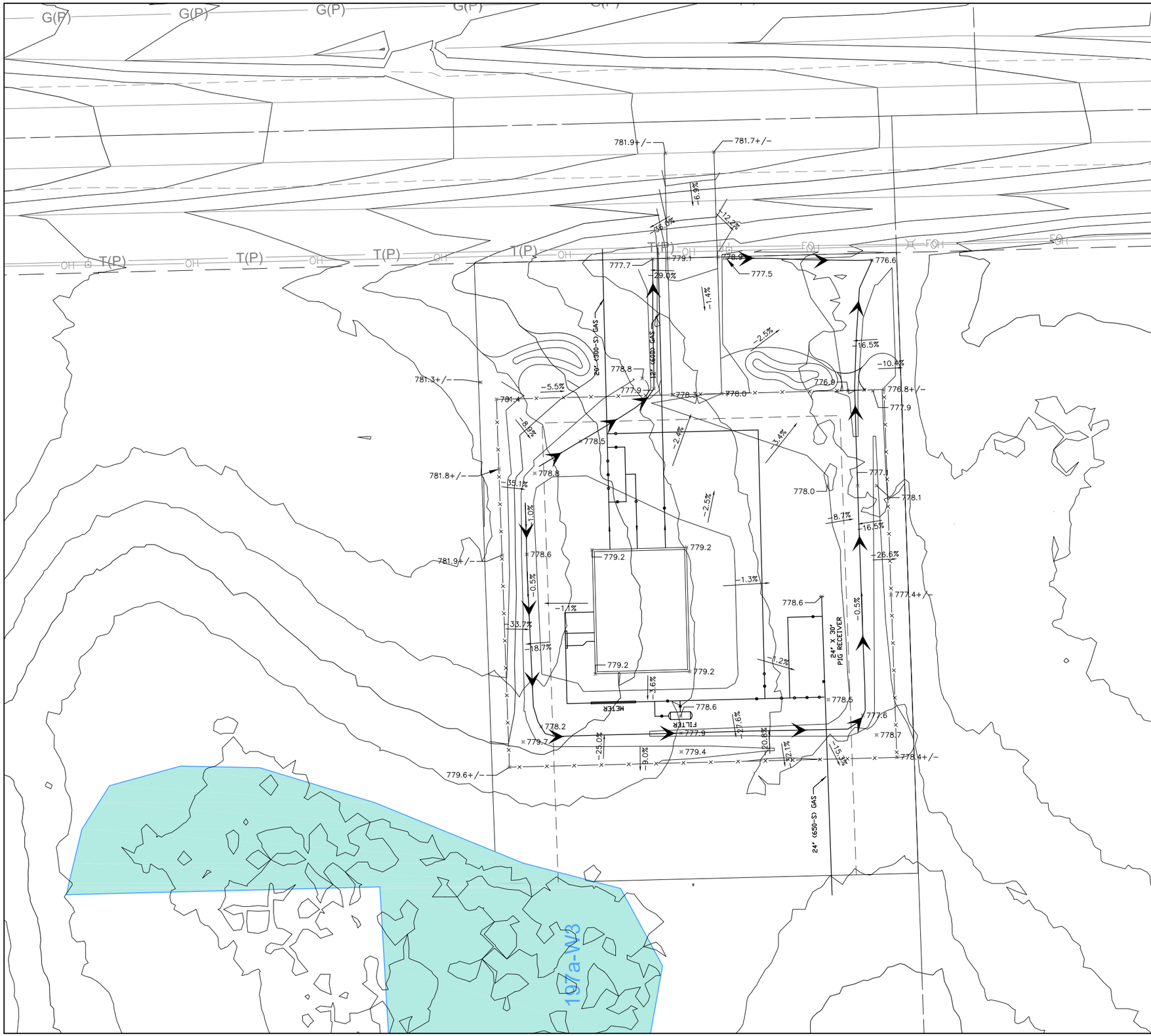

kapur

7711 N. Port Washington Road
Milwaukee, Wisconsin 53217

kapurinc.com

PROJECT:

WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:

WALAS SITE

CLIENT:

we energies

RELEASE:

PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'

0 20 40

SEAL:

WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

all in

DIGGERS HOTLINE

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GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

KEY INDEX

PROJECT LIMITS	
999	EXISTING CONTOUR MINOR
999	EXISTING CONTOUR MAJOR
999	PROPOSED CONTOUR MINOR
999	PROPOSED CONTOUR MAJOR
970.0	PROPOSED SPOT GRADE
970.0±	MATCH EXISTING GRADE
	DRAINAGE SWALE

SHEET:

SITE GRADING PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:

C104

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C104 – SITE GRADING PLAN.dwg

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UTILITY NOTES

PROJECT LIMITS

CAUTION

KNOWN UTILITY AND POTENTIAL CONFLICT EXIST WITH EXISTING UNDERGROUND UTILITIES. PRIOR TO UTILITY INSTALLATION, CONTRACTOR TO EXCAVATE AND EXPOSE EXISTING UTILITIES, VERIFY LOCATIONS AND ELEVATIONS, AND CONTACT ENGINEER IF CONFLICTS EXIST WITH PROPOSED CONSTRUCTION AND EXISTING UNDERGROUND UTILITIES..

1. PER PROJECT SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, THE POINT OF COMMENCEMENT FOR THE LAYING OF SEWER PIPE SHALL BE AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. THE PIPE SHALL BE LAID WITH THE BELL END OF THE BELL AND SPIGOT PIPE, OR WITH THE RECEIVING GROOVE END OF THE TONGUE AND GROOVE PIPE, POINTING UPGRADE. WHEN A NEW SEWER IS TO BE CONNECTED TO AN EXISTING SEWER NOT TERMINATING IN A MANHOLE, THE CONTRACTOR SHALL UNCOVER THE EXISTING SEWER TO ALLOW ANY ADJUSTMENTS IN LINE AND GRADE TO BE MADE BEFORE PIPE IS LAID.

2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

3. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDNR, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.

4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

5. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.

6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

7. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.

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PROJECT:
WE ENERGIES
LAKESHORE H.P.
REGULATION
STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'
0 20 40

SEAL:
WISCONSIN
LANCE M. NEWMAN
E-40453
OAK CREEK, WISCONSIN
PROFESSIONAL ENGINEER

all in

SHEET:
SITE UTILITY PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C105

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C105 – SITE UTILITY PLAN.dwg

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

EROSION NOTES

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND WPDES PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

POINTS OF CONTACT

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MILWAUKEE, WI 53203
PHONE: (262) 424-9849

PROJECT ENGINEER:

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PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

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#	DATE	DESCRIPTION

NORTH ARROW:

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0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

all in

SHEET:
SITE EROSION CONTROL PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C106

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C106 – SITE EROSION CONTROL PLAN.dwg

EROSION CONTROL MEASURES

1. CONTRACTOR TO INSTALL AND MAINTAIN EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN AND PER THE LATEST WDNR TECHNICAL STANDARDS. TECHNICAL STANDARDS MAY BE VIEWED ONLINE AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html

2. INLETS AND CATCH BASINS SHALL BE PROTECTED WITH INLET FILTERS THAT ARE PHASED IN WITH CONSTRUCTION TO REDUCE SEDIMENT FROM ENTERING THESE AREAS PER WDNR TECHNICAL STANDARD 1060 AS FOLLOWS:

   ALL FABRIC BARRIERS SELECTED FOR INLET/CATCH BASIN PROTECTION DEVICES SHALL BE SELECTED FROM THE LIST OF APPROVED FABRICS CERTIFIED FOR INLET PROTECTION, GEOTEXTILE FABRIC, TYPE FF IN THE CURRENT EDITION OF THE WisDOT PRODUCT ACCEPTABILITY LIST, TO OBTAIN THE PAL, PLEASE REFER TO THIS WEBSITE:
   http://wisconsindot.gov/Documents/doing-bus/eng-consultants/cnslt-rsrces/tools/pal/pal-7-14.pdf

   A. INLET PROTECTION SHALL BE AT A MINIMUM INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT OF ½ INCH OR GREATER DURING A 24-HOUR PERIOD.

   B. PLACEMENT OF SPOIL MATERIAL, DEBRIS, SOILS, ETC. ON TOP OF INLETS/CATCH BASINS, EVEN IF TEMPORARY, IS STRICTLY DISCOURAGED AND PROHIBITED.

   C. SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO ½ THE DESIGN DEPTH OF THE DEVICE FOR TYPES A–C, WHEN SEDIMENT IS WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLE FOR TYPE D, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING PER MANUFACTURER'S SPECIFICATIONS. ALL SEDIMENT COLLECTED SHALL BE PROPERLY DISPOSED OF TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.

   D. DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLETS/CATCH BASINS AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET/CATCH BASIN SHALL BE REMOVED AND PROPERLY DISPOSED OF PER NOTE C ABOVE.

   E. INLET FILTERS MAY BE REMOVED AND PROPERLY DISPOSED OF UPON COMPLETION OF CONSTRUCTION, HAULING OR MOVEMENT OF CONSTRUCTION EQUIPMENT THROUGHOUT THE SITE, AND ONCE THE SITE IS ADEQUATELY STABILIZED, UNLESS AS OTHERWISE NOTIFIED BY THE WDNR.

3. A TRACKING PAD SHALL BE INSTALLED AS SHOWN ON THE PLAN SHEET PRIOR TO THE START OF CONSTRUCTION TO REDUCE OFF-SITE SEDIMENTATION BY ELIMINATING THE TRACKING OF SEDIMENT FROM THE SITE PER WDNR TECHNICAL STANDARD 1057 AS FOLLOWS:

   A. AGGREGATE USED FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED BY 3 INCH SIEVE.

   B. THE AGGREGATE SHALL BE PLACED IN A LAYER OF AT LEAST 12 INCHES THICK ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED, TRACKING PADS WILL BE UNDERLAIN WITH WisDOT TYPE R GEOTEXTILE FABRIC.

   C. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (MIN. 15 FEET WIDE) AND BE AT LEAST 50 FEET LONG.

   D. VEHICLES TRAVELING ACROSS THE TRACKING PAD SHALL MAINTAIN A SLOW CONSTANT SPEED.

   E. ANY SEDIMENT OR ROCK ACCUMULATION ONTO LOCAL ROADWAYS SHALL BE REMOVED BY STREET CLEANING, NOT FLUSHING BEFORE THE END OF EACH WORKING DAY.

   F. THE TRACKING PAD SHALL, AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT OF ½ INCH OF RAIN OR MORE DURING A 24-HOUR PERIOD.

   G. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED AT A MINIMUM OF 12" BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

4. THE CONSTRUCTION SITE PERIMETER AND TOPSOIL STOCKPILE AREA SHALL BE PROTECTED WITH SILT FENCE AS SHOWN ON THE PLAN SHEET PRIOR TO THE START OF CONSTRUCTION TO INTERCEPT AND REDUCE THE FLOW OF SEDIMENT-LADEN SHEET FLOW RUNOFF FROM THE CONSTRUCTION SITE PER WDNR TECHNICAL STANDARD 1056 AS FOLLOWS:

   A. SILT FENCE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE AS SHOWN ON THE PLAN SHEET.

   B. INSTALLED SILT FENCE SHALL BE A MINIMUM 14 INCHES HIGH AND SHALL NOT EXCEED 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.

   C. SILT FENCE SHALL BE SUPPORTED BY EITHER STEEL OR WOOD SUPPORT POSTS.

   D. THE MAXIMUM SPACING OF POSTS FOR NONWOVEN SILT FENCE SHALL BE 3 FEET OR FOR WOVEN FABRIC 8 FEET.

   E. SILT FENCE SHALL HAVE A SUPPORT CORD AT THE TOP OF THE FENCE.

   F. WHERE JOINTS ARE NEEDED, EACH END OF THE FABRIC SHALL BE SECURELY FASTENED TO A POST. THE POSTS SHALL BE WRAPPED AROUND EACH OTHER TO PRODUCE A STABLE AND SECURE JOINT OR SHALL BE OVERLAPPED THE DISTANCE BETWEEN TWO POSTS.

   G. A MINIMUM OF 20 INCHES OF THE POSTS SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.

   H. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4 INCH WIDE BY 6 INCH DEEP TRENCH, OR 6 INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. THE TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED ANY WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.

   I. ON THE TERMINAL ENDS OF THE SILT FENCE THE FABRIC SHALL BE WRAPPED AROUND THE POST SUCH THAT THE STAPLES ARE NOT VISIBLE.

   J. GEOTEXTILE FABRIC SPECIFICATIONS SHALL MEET VALUES ESTABLISHED IN TECHNICAL STANDARD 1056.

   K. SILT FENCE SHALL BE REMOVED ONCE THE SITE IS ADEQUATELY STABILIZED.

   L. WHEN PLACING SILT FENCE NEAR TREES, CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO THE ROOT SYSTEM BY AVOIDING COMPACTION AND ROOT CUTTING WITHIN A RADIUS OF 1.5 FEET MULTIPLIED BY THE INCH DIAMETER OF THE TREE.

   M. THE CONTRACTOR MAY FURTHER STRENGTHEN THE SILT FENCE BY USING HAY BALES ON THE DOWN SLOPE SIDE AS NEEDED.

   N. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES ½ INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD.

   O. DAMAGED OR DECOMPOSED SILT FENCE, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.

   P. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ½ THE HEIGHT OF THE FENCE TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.

5. SEEDING AND MULCHING TECHNIQUES SHALL BE USED ON AREAS OF EXPOSED SOIL WHERE THE ESTABLISHMENT OF VEGETATION IS DESIRED. TEMPORARY SEEDING APPLIES TO DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND-DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 CALENDAR DAYS, REQUIRING VEGETATIVE COVER FOR LESS THAN ONE YEAR. SEED AND MULCH SHALL BE UTILIZED THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH TEMPORARY VEGETATION TO HELP REDUCE EROSION PER WDNR TECHNICAL STANDARDS 1059 AND 1058 RESPECTIVELY AS FOLLOWS:

   A. TEMPORARY SEEDING REQUIRES A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2 INCHES.

   B. FERTILIZER APPLICATION IS NOT GENERALLY REQUIRED FOR TEMPORARY SEEDING. HOWEVER, ANY APPLICATION OF FERTILIZER OR LIME SHALL BE BASED ON SOIL TESTING.

   C. THE SOIL SHALL HAVE A PH RANGE OF 5.5 TO 8.0.

   D. ALL SEED SHALL CONFORM TO THE REQUIREMENTS OF THE WISCONSIN STATE STATUTES AND OF THE ADMINISTRATIVE CODE CHAPTER ATCP 20.01 REGARDING NOXIOUS WEED SEED CONTENT AND LABELING.

   E. SEED SHALL NOT BE USED LATER THAN ONE YEAR AFTER THE TEST DATE ON THE LABEL.

   F. IN THE SUMMER-SPRING, CONTRACTOR SHALL USE OATS APPLIED AT 131 LBS/ACRE FOR TEMPORARY SEEDING PURPOSES. IN THE FALL THE CONTRACTOR SHALL USE ANNUAL RYEGRASS APPLIED AT 80 LBS/ACRE OR WINTER WHEAT OR CEREAL RYE APPLIED AT 131 LBS/ACRE. THE CONTRACTOR SHALL USE STRAW MULCH APPLIED AT 1.5 TONS/ACRE. DORMANT SEED SHALL BE USED WHEN SOIL TEMPERATURE IS CONSISTENTLY BELOW 53 DEGREES FAHRENHEIT (TYPICALLY NOV. 1 UNTIL SNOW COVER ANNUALLY). NEVER PLACE SEED ON TOP OF SNOW. IF COVER IS NEEDED AFTER SNOW FALL, CONTRACTOR MAY CHOOSE TO USE A DORMANT, NONTOXIC TYPE B SOIL STABILIZER PER MANUFACTURER'S SPECIFICATIONS AS REQUIRED BY THE WDNR.

   G. SEEDING SHALL NOT TAKE PLACE WHEN THE SOIL IS TOO WET.

   H. CONTRACTOR MAY CONSIDER WATERING TO HELP ESTABLISH THE SEED. WATER APPLICATION RATES SHALL BE CONTROLLED TO HELP PREVENT RUNOFF AND EROSION.

   I. DURING CONSTRUCTION, AREAS THAT HAVE BEEN SEEDED AND MULCHED SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES ½ INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD. INSPECT AREAS DURING THE GROWING SEASON UNTIL VEGETATION IS DENSELY ESTABLISHED OR THE SOD IS LAID. REPAIR AND RESEED AREAS THAT HAVE EROSION DAMAGE AS NECESSARY.

   J. CONTRACTOR IS TO LIMIT VEHICLE TRAFFIC AND OTHER FORMS OF COMPACTION IN AREAS THAT ARE SEEDED AS MUCH AS POSSIBLE. RE-SEED DRIVEN OVER AREAS AS NEEDED.

   K. MULCH SHOULD BE PLACED WITHIN 24 HOURS OF SEEDING.

   L. MULCHING OPERATIONS SHALL NOT TAKE PLACE DURING PERIODS OF EXCESSIVELY HIGH WINDS THAT WOULD PRECLUDE THE PROPER PLACEMENT OF MULCH.

   M. MULCH THAT IS DISPLACED SHALL BE REAPPLIED AND PROPERLY ANCHORED. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS.

   N. WHEN CHANNEL EROSION MAT IS USED WITHIN CONSTRUCTION SITE DIVERSION AREAS, TECHNICAL STANDARDS 1053 AND 1066 SHALL BE FOLLOWED.

   O. WHEN NON-CHANNEL EROSION MAT IS USED TECHNICAL STANDARD 1052 SHALL BE FOLLOWED.

   P. DEPENDING ON DURATION OF CONSTRUCTION, THE CONTRACTOR MAY NEED TO RE-SEED AND RE-STABILIZE THE TOPSOIL STOCKPILE AS NECESSARY TO DISCOURAGE SEDIMENT AND EROSION.

6. A COPY OF EROSION CONTROL INSPECTION REPORTS AND THE APPROVED EROSION CONTROL PLANS SHALL BE KEPT ON SITE.

7. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL PRACTICES BY THE END OF EACH WORKDAY.

8. LOCAL ROADS SHALL BE CLEAN BY THE END OF EACH WORKDAY. CONTRACTOR SHALL HAVE LOCAL ROADS SWEPT WHERE SEDIMENT ACCUMULATES.

EROSION CONTROL OPERATION SEQUENCE + SCHEDULE

AFTER BIDS ARE RECEIVED AND A MASS GRADING CONTRACTOR IS SELECTED, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH ALL RELEVANT PARTIES IN ATTENDANCE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SILT FENCES, SEEDING, EROSION MATTING, AND OTHER EROSION CONTROL MEASURES. GENERAL CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING, OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF ½ INCH OR GREATER. IN ADDITION, THE ACTIVE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION, AND WEATHER CONDITIONS IN A DAILY LOG BOOK.

ALL REGULATORY PERMITS, PROJECT PLANS, AND INSPECTION LOGS SHALL BE KEPT ON SITE IN AN ACCESSIBLE LOCATION, SUCH AS A MAILBOX, AVAILABLE TO REGULATORY AGENCIES UPON REQUEST.

CONTRACTORS ARE TO MAINTAIN THE CONSTRUCTION SITE IN A NEAT AND TIDY MANNER FOR THE DURATION OF THE PROJECT.

THE TIMING AND SEQUENCE OF CONSTRUCTION IS SCHEDULED AS FOLLOWS:

1. OBTAIN PLAN APPROVAL FROM THE _____, AND ALL APPLICABLE PERMITS, INCLUDING EROSION CONTROL PERMIT.

2. CONSTRUCTION IS SCHEDULED TO BEGIN IN _____, DEPENDING ON WEATHER & GROUND CONDITIONS.

3. A GRAVEL TRACKING PAD UNDERLAIN WITH WISDOT TYPE R GEOTEXTILE FABRIC, ALONG WITH A TEMPORARY CULVERT IF NECESSARY, SHALL BE INSTALLED AS SHOWN ON THE PLANS. RE-GRADE EXISTING ROADWAY DITCH AS NECESSARY. IF INSTALLED, THE TEMPORARY CULVERT SHALL BE REMOVED AT END OF CONSTRUCTION ACTIVITIES. IF INDICATED ON PLANS, INSTALL CONSTRUCTION FENCE AND ANY TEMPORARY TRAFFIC CONTROLS.

4. SILT FENCE, INLET FILTER PROTECTION, AND TRIANGULAR SILT DIKES SHALL BE INSTALLED AS SHOWN ON THE PLANS, AND INSPECTED PRIOR TO COMMENCING OF ANY LAND DISTURBING ACTIVITIES PER PROJECT PLANS AND DETAILS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN THEY REACH A DEPTH OF 1/2 FENCE HEIGHT.

5. FOLLOWING INSTALLATION OF THE EROSION CONTROL MEASURES, CONSTRUCT THE STORM WATER POND TO FINISH GRADES WITH CLAY LINER PER PROJECT PLANS AND DETAILS. CONTRACTOR SHALL CONSTRUCT POND INLETS AND OUTLET STRUCTURE FOR USE DURING CONSTRUCTION (REFER TO DETAIL ---- ON SHEET ---- FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL IMMEDIATELY STABILIZE THE POND BANKS, INLETS, AND OUTLET STRUCTURE.

6. STORM WATER POND SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES ½ INCH OF RAIN OR MORE DURING A 24-HOUR PERIOD. SEDIMENT SHALL BE REMOVED TO MAINTAIN THE 3' FOOT DEPTH OF THE TREATMENT SURFACE AREA AS MEASURED FROM THE INVERT OF THE PRINCIPAL OUTLET. IF THE OUTLET BECOMES CLOGGED IT SHALL BE CLEANED TO RESTORE FLOW CAPACITY. SEDIMENT TO BE REMOVED AFTER CONSTRUCTION & SITE STABILIZATION IS COMPLETE.

7. SITE DEMOLITION OF PAVEMENT, ETC. WILL OCCUR AFTER ALL EROSION CONTROL MEASURES ARE IN PLACE.

8. CONSTRUCTION OF THE BUILDING, STARTING WITH THE FOUNDATION, WILL BEGIN IMMEDIATELY AFTER THE SITE DEMOLITION IS COMPLETE IN THE BUILDING PAD AREA.

9. TOPSOIL STRIPPING AND ROUGH GRADING WILL FOLLOW. TOPSOIL STOCKPILES WILL BE LOCATED AS SHOWN ON THE PLANS AND BE STABILIZED WITHIN 7 DAYS OF LAY UP. STOCKPILES WILL BE USED FOR FINAL LANDSCAPING. REMAINING STOCKPILES WILL BE REMOVED FROM THE SITE.

10. UTILITY INSTALLATION WILL OCCUR NEXT AND CONTINUE UNTIL ALL THE UTILITIES ARE INSTALLED.

11. AFTER ROUGH GRADING IS COMPLETE IN HARD SURFACE AREAS SUCH AS ROADWAYS, PARKING LOTS, AND BUILDINGS, THE REQUIRED THICKNESS OF DENSE GRADED BASE COURSE, PER THE PROJECT PLANS AND DETAILS WILL BE APPLIED FOR STABILIZATION. AFTER ROUGH GRADING IS COMPLETE OUTSIDE OF HARD SURFACE AREAS, THE TOPSOIL WILL BE REAPPLIED AND THE LANDSCAPE CONTRACTOR WILL COMPLETE SEEDING/SODDING/FERTILIZING/MULCHING AND INSTALL EROSION MATTING AS PER APPROVED PLANS AND SPECIFICATIONS.

12. FINAL SITE STABILIZATION IS ANTICIPATED FOLLOWING THE COMPLETION OF GRADING ACTIVITIES PER WDNR TECHNICAL STANDARD 1059. IF SITE STABILIZATION CANNOT BE COMPLETED BY OCTOBER 15, THEN THE USE OF ANIONIC POLYACRYLAMIDE CONFORMING TO WDNR TECHNICAL STANDARD 1050 SHALL BE USED. IN ADDITION, ALL SLOPES OF GREATER THAN 20% MUST ADHERE TO THE SCHEDULE IN TABLE 1 BELOW.

13. AFTER ALL TOPSOIL HAS BEEN REAPPLIED AND STABILIZATION IS UNDERWAY, ROADWAY, PARKING LOT, AND SIDEWALK BASE MATERIAL WILL BE APPLIED PER PROJECT SPECIFICATIONS.

14. THE GENERAL CONTRACTOR WILL REQUEST A FINAL INSPECTION BY THE CITY. UPON APPROVAL, ALL SILT FENCES, INLET FILTER PROTECTION, AND TRIANGULAR SILT DIKES SHALL BE REMOVED, AND ACCUMULATED SEDIMENT IN THE SEDIMENT BASIN/STORM WATER POND SHALL BE DREDGED AND PROPERLY DISPOSED OF. IN ADDITION, THE CONTRACTOR MUST ENSURE THAT THE STORM WATER POND IS RETURNED TO THE SLOPES AND GRADES SHOWN ON THE PROJECT PLANS AND DETAILS.

15. IF REQUIRED, FINAL 'AS-BUILT' SURVEYS ARE TO BE CONDUCTED BY THE OWNER AND FINAL DOCUMENTS FORWARDED TO THE CITY.

16. BARE SOIL LEFT UNDISTURBED FOR 14 CALENDAR DAYS MUST BE TEMPORARILY STABILIZED PER WDNR TECHNICAL STANDARD 1059. BY OCTOBER 15, THE SITE SHALL BE STABILIZED PER NOTE 12 ABOVE.

17. WE DO NOT ANTICIPATE THE NEED FOR WATERING WITH THIS CONSTRUCTION SCHEDULE, HOWEVER, IF ADEQUATE RAIN IS NOT EXPERIENCED WITHIN ONE WEEK AFTER INITIAL SEED GERMINATION AT ANY PONT DURING THE CONSTRUCTION PROCESS, WATER SHALL BE TRUCKED IN AND APPLIED ONCE PER WEEK.

IF CONSTRUCTION SCHEDULES SHOULD CHANGE SIGNIFICANTLY, THIS PLAN NARRATIVE WILL BE UPDATED AND RESUBMITTED BY THE GENERAL CONTRACTOR TO THE CITY AND WDNR.

DEWATERING PLAN

TO FACILITATE CONSTRUCTION AT THE PROJECT SITE, DEWATERING MAY TAKE PLACE BY THE SELECTED CONTRACTOR. CONTRACTOR TO FOLLOW THESE INSTRUCTIONS WHILE PERFORMING DEWATERING ACTIVITIES ON-SITE. IF DEWATERING IS TO TAKE PLACE AT THE SITE, IT WILL OCCUR BETWEEN STEPS 3 AND 14 OF THE EROSION CONTROL OPERATION SEQUENCE.

NOTE: THESE INSTRUCTIONS DO NOT APPLY TO WATER BEING DISCHARGED DIRECTLY TO GROUNDWATER OR KARST FEATURES OR WELL DEWATERING SYSTEMS. CONTRACTOR SHALL COORDINATE ACCORDINGLY FOR OTHER DEWATERING ACTIVITIES AS DEEMED NECESSARY WITH THE WDNR.

1. THE CONTRACTOR SHALL ENSURE THAT THE DEWATERING PRACTICES CARRIED OUT MEET OR EXCEED WNDR TECHNICAL STANDARD NUMBER 1061.

2. A PAN OR OTHER CONTAINMENT DEVICE SHALL BE PLACED UNDERNEATH THE PUMP TO CAPTURE ANY SPILLS, OILS, GASOLINE, ETC. SHALL NOT BE STORED WITHIN WETLANDS, NEAR THE STORMWATER POND, OR OTHER ON-SITE WATER AREAS.

3. A TYPE 2 GEOTEXTILE BAG THAT IS NO SMALLER THAN 100 SQUARE FEET; HAS A MAXIMUM APPARENT OPENING SIZE OF 0.212 mm; HAS A GRAB TENSILE STRENGTH OF 300 LBS; MULLEN BURST OF 580 PSI; PERMEABILITY OF 0.2 CM/SEC; FABRIC WEIGHT OF 12 OZ SHALL BE USED. THE GEOTEXTILE BAG AREA AND DOWNGRADE FLOW AREA SHALL CONSIST OF VEGETATED AND UNDISTURBED SOILS.

4. POLYMER APPROVED BY THE WDNR MEETING WDNR TECHNICAL STANDARD 1051 MAY BE USED IN COMBINATION WITH THE DEWATERING BAG IF THE DEWATERING BAG IS NOT DOING AN ADEQUATE JOB ALONE OF FILTERING SEDIMENTS. THE CONTRACTOR SHALL SUPPLY TOXICITY TESTING DATA TO THE WDNR BEFORE USE ON-SITE FOR WDNR APPROVAL. POLYMER SHALL NOT BE DIRECTLY APPLIED TO SURFACE WATER. CONTRACTOR SHALL OBTAIN THE MATERIAL SAFETY DATA SHEETS (MSDS) FOR THE SELECTED POLYMER, MANUFACTURER'S INFORMATION AND WDNR USE RESTRICTIONS (SEE TECHNICAL STANDARD 1051) AND KEEP ALL THIS INFORMATION ON-SITE. CONTRACTOR SHALL ADHERE TO MANUFACTURER AND WDNR'S APPLICATION RATES FOR THE POLYMER, WITH THE WDNR'S RATE TAKING PRECEDENCE. THE CONTRACTOR SHALL TAKE STEPS TO ENSURE THAT THE POLYMER IS NOT SPILLED. SPILL KITS SHALL BE KEPT ON SITE; THE MANUFACTURER'S RECOMMENDED CLEANUP PROCEDURES SHALL BE FOLLOWED IN THE EVENT OF A SPILL.

5. A TARP MAY BE UTILIZED UNDERNEATH THE TYPE 2 GEOTEXTILE BAG AND JUST DOWN SLOPE OF THE BAG TO DISCOURAGE EROSION AND SCOUR.

6. A FLOATING SUCTION HOSE OR OTHER FLOTATION METHOD SHALL BE UTILIZED WHEN PUMPING FROM AN AREA WITH STANDING WATER TO AVOID SUCKING SEDIMENT FROM GRADE.

7. IF TURBID WATER IS LEAVING THE GEOTEXTILE BAG, THE CONTRACTOR SHALL SHUT OFF THE PUMP TO ALLOW SEDIMENTS TO SETTLE INTO THE BAG. CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S SPECIFICATIONS FOR DETERMINING THE SEDIMENT CAPACITY OF THE GEOTEXTILE BAG USING GOOD COMMON SENSE. SEDIMENT LEVELS CONTAINED IN THE BAG SHALL BE MONITORED TO MEASURE THE LOSS OF STORAGE CAPACITY OVER TIME. THE CONTRACTOR SHALL PROPERLY DISPOSE OF THE GEOTEXTILE BAG IN A WASTE RECEPTACLE ONCE IT IS NO LONGER USED.

8. DURING DEWATERING ACTIVITIES THE CONTRACTOR SHALL MONITOR DEWATERING PRACTICES AND KEEP A LOG OF THE FOLLOWING:

   A. DISCHARGE DURATION AND SPECIFIED PUMPING RATE.

   B. OBSERVED WATER TABLE AT TIME OF DEWATERING.

   C. MAINTENANCE ACTIVITIES

   D. NAME AND QUANTITY OF POLYMER USED. PRODUCT TYPE. APPLICATION RATE OF POLYMER IN POUNDS/ACRE FEET OF WATER. DATE AND TIME APPLIED. WEATHER CONDITIONS DURING APPLICATION. METHOD OF APPLICATION.

THIS LOG NEEDS TO BE KEPT ON SITE FOR WDNR REGULATORY REVIEW. COPIES OF THIS DOCUMENTATION SHOULD BE KEPT IN THE CONTRACTOR'S MONITORING LOG AND MADE AVAILABLE UPON REQUEST.

REVIEW THE FOLLOWING FOR MORE INFORMATION:

WDNR TECHNICAL STANDARD 1061 FOR DEWATERING –
http://dnr.wi.gov/topic/stormWater/documents/Dewatering_1061.pdf

WDNR TECHNICAL STANDARD 1051 FOR POLYMER –
http://dnr.wi.gov/topic/stormWater/documents/dnr1051.pdf

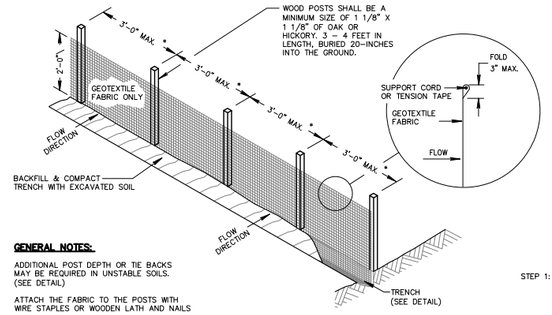
INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS WPDES PERMIT & CHAPTER 30 PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOODPLAINS UNLESS IDENTIFIED IN THE PLANS & APPROVED BY DNR/USACOE.

TABLE 1 - MAXIMUM PERIOD OF BARE SOIL FOR SLOPES GREATER THAN 20%

SLOPE AREA DRAINS TO SEDIMENT BASIN?	LAND DISTURBANCE BETWEEN SEPT. 16 AND MAY 1	LAND DISTURBANCE BETWEEN MAY 2 AND SEPT. 15
YES	90 DAYS	90 DAYS
NO	60 DAYS	30 DAYS

TABLE FROM WI DNR GUIDANCE DOC # 3800-2015-06



GENERAL NOTES:

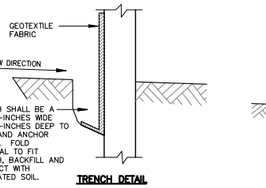
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS. (SEE DETAIL)

ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS

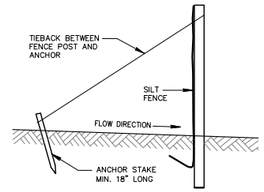
*8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

IF POSSIBLE, CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING METHODS:
(1)TWIST METHOD: OVERLAP END POSTS & TWIST AT LEAST 180 DEGREES.
(2)HOOK METHOD: HOOK THE END OF EACH SILT FENCE LENGTH.

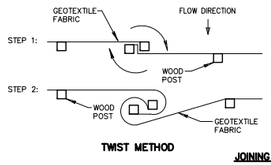
AXONIMETRIC VIEW



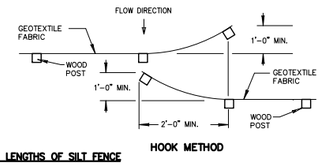
TRENCH DETAIL



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)



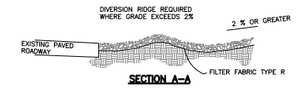
TWIST METHOD



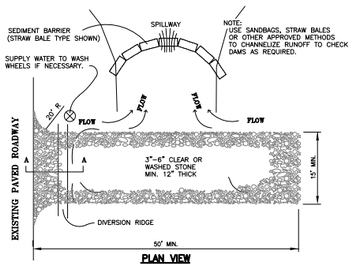
HOOK METHOD

JOINING TWO LENGTHS OF SILT FENCE

1 FILTER FABRIC SILT FENCE DETAIL
N.T.S.

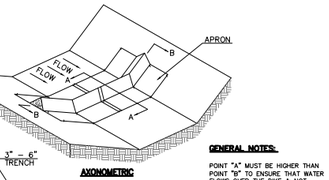


SECTION A–A

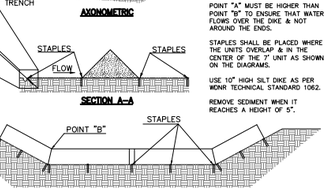


PLAN VIEW

2 STONE TRACKING CONSTRUCTION ENTRANCE
N.T.S.



AXONIMETRIC



SECTION A–A

SECTION B–B

GENERAL NOTES:

THE AGGREGATE SIZE FOR CONSTRUCTION OF THE PAD SHALL BE 3– TO 6–INCH STONE. PLACE THE GRAVEL TO THE SPECIFIC GRADE & DIMENSIONS SHOWN ON THE PLANS & GRADE TO CREATE A SMOOTH SURFACE.

THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES. USE GEOTEXTILE FABRICS, IF NECESSARY, TO IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS & IN ANY SPECIFIC GRADE BE LESS THAN 15 FEET WIDE.

THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.

LOCATE CONSTRUCTION ENTRANCES & EXITS TO LIMIT SEDIMENT LEAVING THE SITE & TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. AVOID ENTRANCES WHICH HAVE STEEP GRADES & ENTRANCES AT CURVES IN PUBLIC ROADS.

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACK

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\L101 – SITE LANDSCAPE PLAN.dwg

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'
0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

all in

SHEET:
SITE LANDSCAPE PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
L101

Plant Schedule

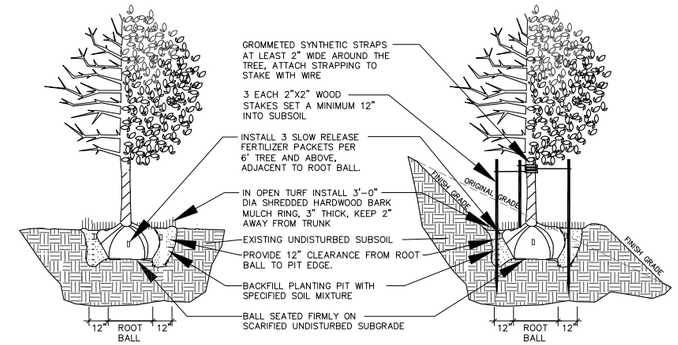
	Scientific Name	Common Name	Quantity	Spacing	Install Size
Deciduous Trees					
KCT	Gymnocladus dioicus	Kentucky Coffee Tree (MALE SPECIES	1	Per Plan	2.5" caliper B&B
Evergreen Trees:					
BHS	Picea glauca var. densata	Black Hills Spruce	1	Per Plan	5' tall B&B
Evergreen Shrubs					
KCJ	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay Compact Juniper	5	Per Plan	#5 cont.
Deciduous Shrubs					
CPL	Syringa vulgaris	Common Purple Lilac	19	Per Plan	3' B&B
NWR	Rosa rugosa 'Nearly Wild'	Nearly Wild Rose	10	Per Plan	#3 cont.
RTD	Cornus sericea	Red Twig Dogwood	20	Per Plan	3' B&B
Perennials					
BES	Rudbeckia hirta	Black Eyed Susan	23	Per Plan	#1 cont.
HMS	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	58	Per Plan	#1 cont.
KBL	Liatris spicata 'Kobold'	Kobold Liatris	23	Per Plan	#1 cont.
PDS	Sporobolus heterolepus	Prairie Dropseed	8	Per Plan	#1 cont.
PPC	Heuchera 'Palace Purple'	Palace Purple Coral bell	23	Per Plan	#1 cont.

NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

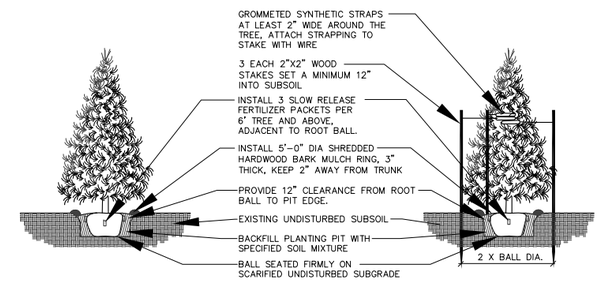
1 LANDSCAPE SCHEDULE
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

1. ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
2. CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK MULCHES FOR APPROVAL PRIOR TO INSTALLATION.
3. BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
4. ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH OVER TYPAR WEED FABRIC WITH SHOVEL CUT EDGE. NO WEED FABRIC IN PERENNIAL AREAS. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
5. INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
6. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
7. CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
8. REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
9. REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
10. PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
11. PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
12. PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
13. PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
14. WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
15. FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
16. INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
17. STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
18. NO MOW TO BE NO MOW FESCUE SEED MIX WITH ANNUAL RYE NURSE CROP FROM PRAIRIE NURSERY, INC. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. PRAIRIE NURSERY ADDRESS: PO BOX 306 WESTFIELD, WI 53964. TELEPHONE: 1-800-476-9453 FAX: 608-296-2741.
19. REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

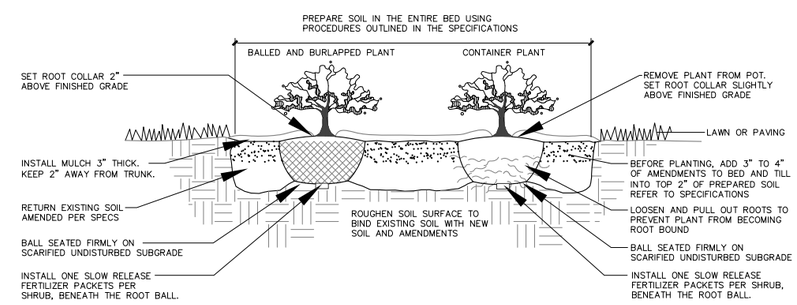
2 LANDSCAPE NOTES
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



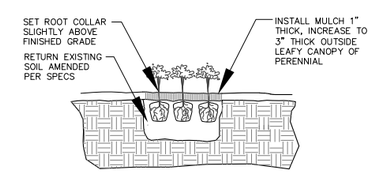
3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE
N.T.S.



4 EVERGREEN TREE PLANTING & STAKING
N.T.S.



5 DECIDUOUS & EVERGREEN SHRUB PLANTING
N.T.S.



6 PERENNIAL PLANTING
N.T.S.

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurinc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

SEAL:

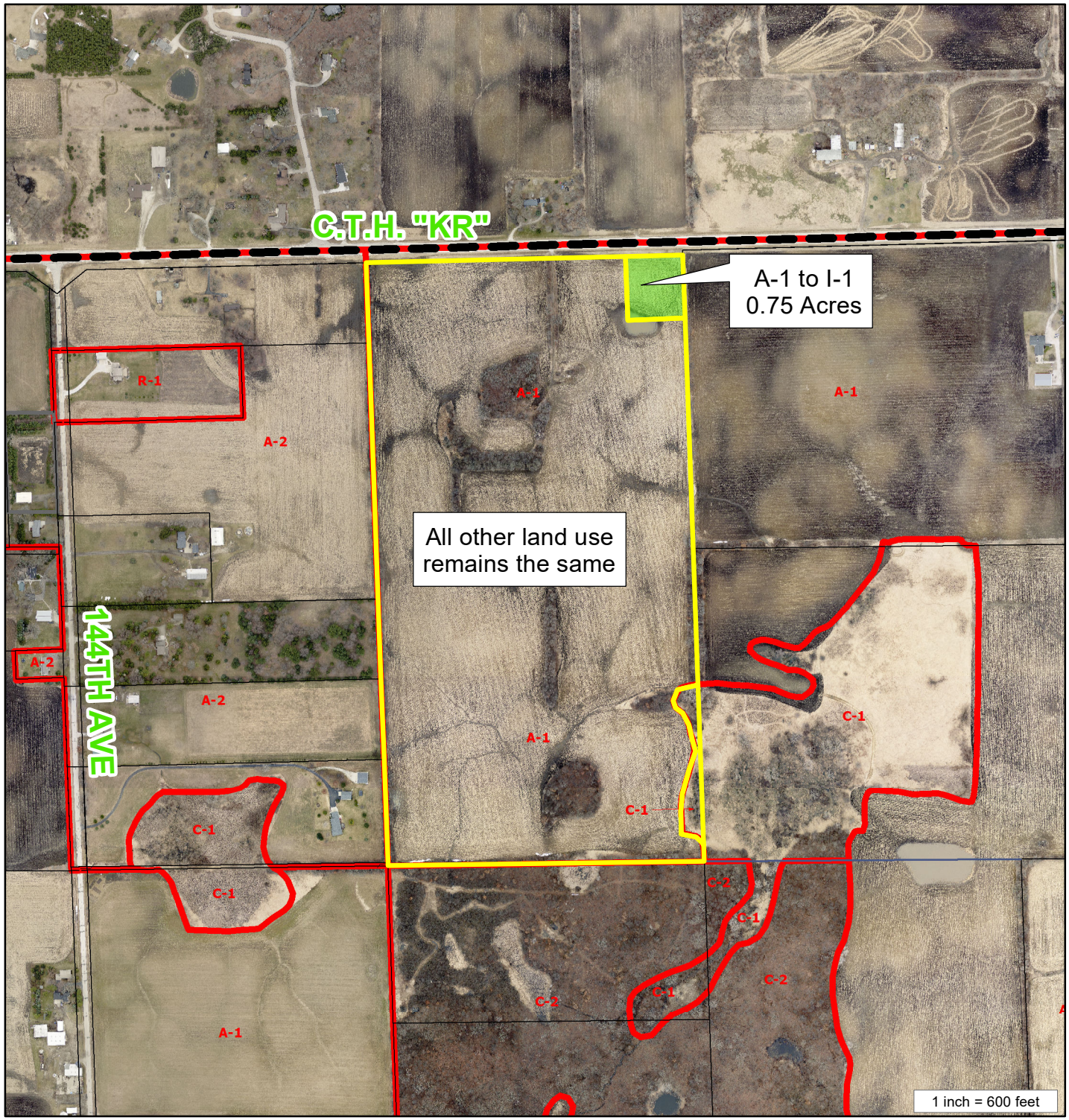
all in

SHEET:
SITE LANDSCAPE DETAILS

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
L201

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\L101 - SITE LANDSCAPE PLAN.dwg



Walas_Rezoning.mxd

REZONING SITE MAP

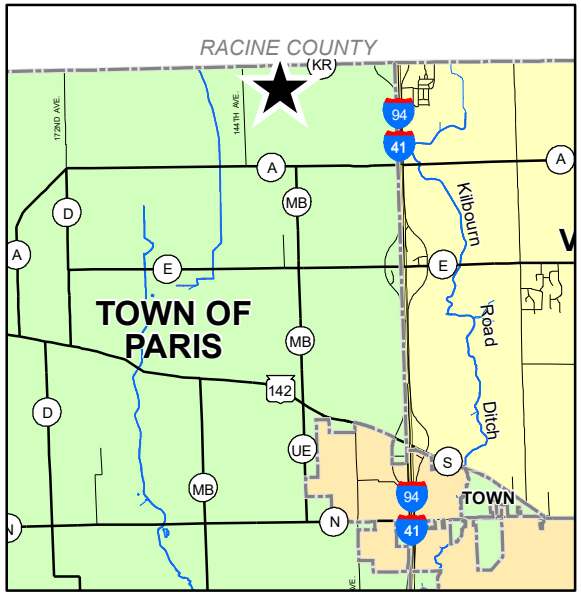
PETITIONER(S):
Thomas C. Walas (Owner)
Maria Koerner (Agent)

LOCATION: NE 1/4 of Section 2
Town of Paris

TAX PARCEL(S): #45-4-221-021-0100

REQUEST:

Requesting a rezoning from A-1 Agricultural Preservation Dist. & C-1 Lowland Resource Conservancy Dist. to A-1 Agricultural Preservation Dist., I-1 Institutional Dist. & C-1 Lowland Resource Conservancy Dist.



COUNTY OF KENOSHA

Division of Planning and Development

CONDITIONAL USE PERMIT PROCEDURES

KENOSHA COUNTY

DEPARTMENT OF PLANNING AND DEVELOPMENT

CONSERVATION • PLANNING • DEVELOPMENT

June 2017

COUNTY OF KENOSHA
Division of Planning and Development

CONDITIONAL USE PERMIT PROCEDURES

☐ **1.** Contact the Department of Planning & Development and check with staff to determine if your proposed use is a permitted use, an accessory use or a conditional use. If it is a conditional use, then a conditional use permit must be applied for and received prior to occupying or using the site for that use. Note: If the proposed conditional use is part of a proposed land division see the Certified Survey Map Information and Procedures. If the proposed conditional use is part of a proposed rezoning petition see the Rezoning Application Form.

☐ **2.** Contact the Department of Public Works & Development and schedule a pre-conference meeting, which is required for all conditional use permit requests.

Meeting Date: 03-10-2020_____

☐ **3.** Complete and submit the Kenosha County Conditional Use Permit Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

☐ **4.** Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

☐ **5.** Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.

Town Planning Commission meeting date (tentative): _____

Town Board meeting date (tentative): _____

☐ **6.** Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.

Kenosha County Planning, Development & Extension Education Committee meeting date: _____
(tentative)

☐ **7.** If denied by the Kenosha County Planning, Development & Extension Education Committee you have thirty (30) days to file an appeal with circuit court.

☐ **8.** If approved you may proceed with obtaining site plan approval (site plan layout, stormwater, landscaping, lighting, parking/paving etc…).

☐ **9.** Apply for and obtain any necessary zoning permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc…) with the Kenosha County Department of Planning and Development.

☐ **10.** Apply for any obtain any necessary building permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc…) with you respective township.

☐ **11.** Complete any obligations for foundation survey, waiver of liability of foundation survey, stormwater as-built requirement and/or certificate of occupancy.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
Department of Public Works & Development Services
19600 - 75th Street, Suite 185-3
Bristol, Wisconsin 53104-9772

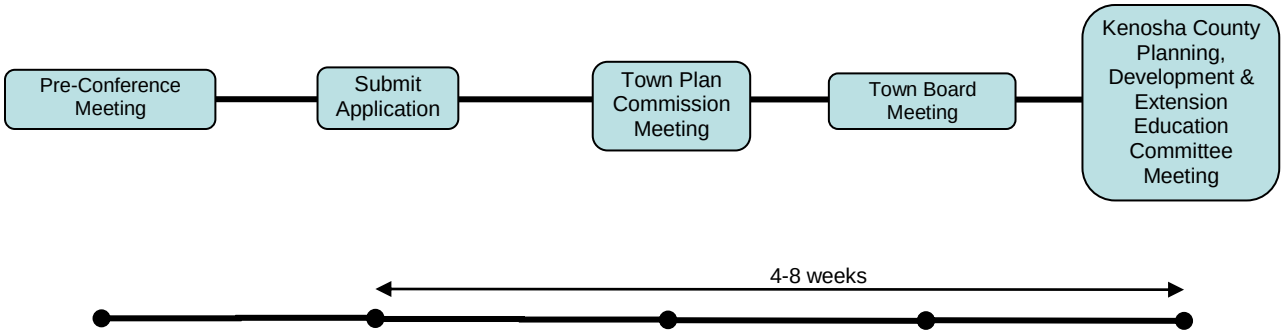
Division of Planning & Development (including Sanitation & Land Conservation) **857-1895**
Facsimile # 857-1920

Public Works Division of Highways 857-1870

Administration Building
Division of Land Information 653-2622

Brighton, Town of 878-2218
Paris, Town of 859-3006
Randall, Town of 877-2165
Somers, Town of 859-2822
Wheatland, Town of 537-4340
Wisconsin Department of Natural Resources - Sturtevant Office 884-2300
Wisconsin Department of Transportation - Waukesha Office 548-8722

Conditional Use Permit Timeline



For Reference Purposes

June 2017

COUNTY OF KENOSHA
Division of Planning and Development

RECEIVED
MAY - 6 2020
Kenosha County
Deputy County Clerk

RECEIVED
MAY - 6 2020
Kenosha County
Planning and Development

CONDITIONAL USE PERMIT APPLICATION

(a) Property Owner's Name:

Thomas C. Walas

Print Name: Thomas C. Walas Signature:

Mailing Address: 5901 Lockhurst Dr.

City: Woodland Hills State: CA Zip: 91367

Phone Number: 310-498-3443 E-mail (optional): tomwalas@prodigy.net

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: Maria Koerner, Agent Signature: Maria Koerner

Business Name: Wisconsin Electric Power Company d/b/a We Energies

Mailing Address: 231 W. Michigan Street - P129

City: Milwaukee State: WI Zip: 53203

Phone Number: 414-221-2727 E-mail (optional): maria.koerner@we-energies.com

(c) Architect's Name (if applicable):

Print Name: Ryan M Rudie Signature:

Business Name: Rudie Frank Architecture

Mailing Address: 920 Goold Street

City: Racine State: WI Zip: 53402

Phone Number: 262-634-5565 E-mail (optional):

(d) Engineer's Name (if applicable):

Print Name: Ken Moutvic Signature: 5/1/20

Business Name: Wisconsin Electric Power Company d/b/a We Energies

Mailing Address: W237 N1500 Busse Road

City: Pewaukee State: WI Zip: 53188

Phone Number: 262-574-6067 E-mail (optional): ken.moutvic@we-energies.com

(e) Tax key number(s) of subject site:

45-4-221-021-0100

Address of the subject site:

CTH KR (1st Street)

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

See attached

Proposed operation or use of the structure or site:

To to build a gas regulator substation as part of the Lakeshore Capacity Improvement Project (LCIP).

Number of employees (by shift): Unmanned site.

Hours of Operation: 24/7/365

Any outdoor entertainment? If so, please explain: None.

Any outdoor storage? If so, please explain: None.

Zoning district of the property: I-1 Institutional District

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning & Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

(h) The Kenosha County Department of Planning & Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.
Request for Conditional Use Permit $780.00

(For other fees see the Fee Schedule)

PLAN OF OPERATION
LAKESHORE GAS REGULATOR STATION

Overview: Wisconsin Electric Power Company, doing business as We Energies, is proposing to construct, and maintain a new gas regulator station in the Town of Paris, which we refer to as the Lakeshore Gas Regulator Station. This gas regulator station is part of a pipeline project called, Lakeshore Capacity Improvement Project (LCIP) and was approved by the Public Service Commission of Wisconsin (PSCW) in 2019. The gas regulator station will take the high pressure gas from the proposed Lakeshore Lateral Project (LLP) and reduce the pressure for the distribution system in the area to deliver gas to area homes and businesses.

Site Summary: The gas regulator station will be approximately ¾ acre located in the northeast corner of the 77.43 acre property. The gas regulator site will have 170 feet of frontage to CTH KR (1st Street) and be 250 feet long.

The above ground equipment of the gas regulator station will be fenced within the ¾ acre site area. The fenced area will be approximately 156 feet wide and 147 feet long; set back 55 feet from County Highway KR and offset 7 feet from the edges of the site. The fence will provide security to the regulator station yard as a barrier. For additional safety and security, 12 inches of barbed wire will also be strung at the top of the fence. There will be one secured gate installed on the north side of the regulator station. A sign will be affixed to the fence adjacent to the entrance gate to identify the regulator station and emergency contact information.

The final grade within the fenced area of the regulator station will be crushed aggregate. Landscaping will be planted around the outside of the fenced area on the west, north, and east sides of the regulator station for visual appeal.

Inside the fenced area the above ground facilities will consist of a pig receiver, filter, meter, pipes, valves, and other related appurtenant equipment under and above ground and a building, with gas process heating equipment inside. The building will be 38 feet x 50 feet located approximately 116.5 feet south of CTH KR and 89 feet west of the east property line.

Exterior lighting will be located on the building for safety and security. The lights will operate as light censored or motion-controlled or manually as necessary for construction, maintenance, safety, and security purposes.

A 20 foot wide by 50 foot long access driveway will be constructed from CTH KR to the secured gate of the fenced gas regulator site. The access drive will be a stone tracking pad and located approximately 70 feet west of the east property line.

Construction: Construction of the gas regulator station is expected to begin July 2020 depending upon approval from the governing bodies. Materials and equipment will be delivered directly to the site, by truck, periodically during the period of construction. Construction activity will occur Monday through Friday, 7:00 a.m. to 5:00 p.m. and as needed on Saturdays 7:00 a.m. to 5:00 p.m. During construction, dust controls will be utilized as needed. Additionally, measures will be taken to keep CTH KR clear of construction related debris. Refuse, generated from the construction activity, will be removed from the site regularly during construction and completely after construction.

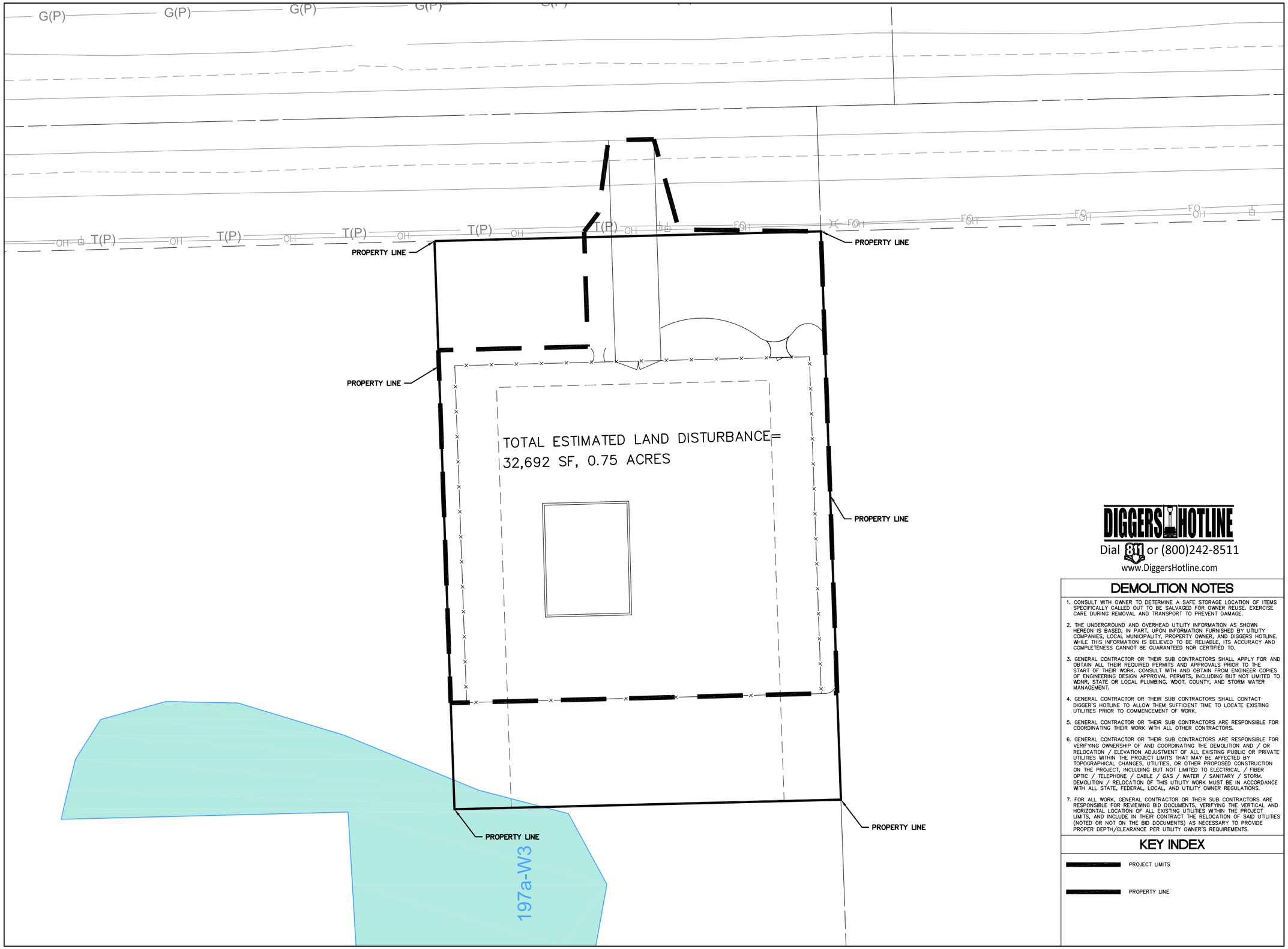
Operation: After the gas regulator station is placed in-service, the regulator station will be an unmanned facility. No permanent employees will be located or report to the regulator station on a daily basis. Employees may access the regulator station for routine maintenance (non-emergency), normally between the hours of 7:00 a.m. and 5:00 p.m. In addition, gas regulator station inspections are performed monthly by a one or two person crew. In the unlikely event of an emergency, employees may report to the station as necessary. The employees performing maintenance and inspections of the regulator station typically drive light vans or pick-up trucks. The normal operation of the regulator will not produce any future refuse or contaminants to the environment.

Current Owner:	Thomas C. Walas 5901 Lockhurst Drive Woodland Hills, CA 91367
Applicant/ Future Owner:	We Energies Property Management P-129 231 W. Michigan Street Milwaukee, WI 53203

Wisconsin Electric Power Company

By: Maria Koerner Date: April 28, 2020

Maria Koerner, Agent for
Wisconsin Electric Power Company



DIGGERS HOTLINE
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www.DiggersHotline.com

DEMOLITION NOTES

1. CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION OF ITEMS SPECIFICALLY CALLED OUT TO BE SALVAGED FOR OWNER REUSE. EXERCISE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
3. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDNR, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.
4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
5. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.
7. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.

KEY INDEX

PROJECT LIMITS

PROPERTY LINE

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurinc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'
0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER
all in

SHEET:
SITE DEMOLITION PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C101

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C101 – SITE DEMOLITION PLAN.dwg

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KEY INDEX

- PROJECT LIMITS
- AREAS DISTURBED BY CONSTRUCTION (RESTORATION SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS)
- NEW CONCRETE SLAB
- NEW CRUSHED AGGREGATE
- NEW FENCE

6
C2.11

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7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES
LAKESHORE H.P.
REGULATION
STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'

0 20 40

SEAL:
WISCONSIN
LANCE M. NEWMAN
E-40453
OAK CREEK, WISCONSIN
PROFESSIONAL ENGINEER

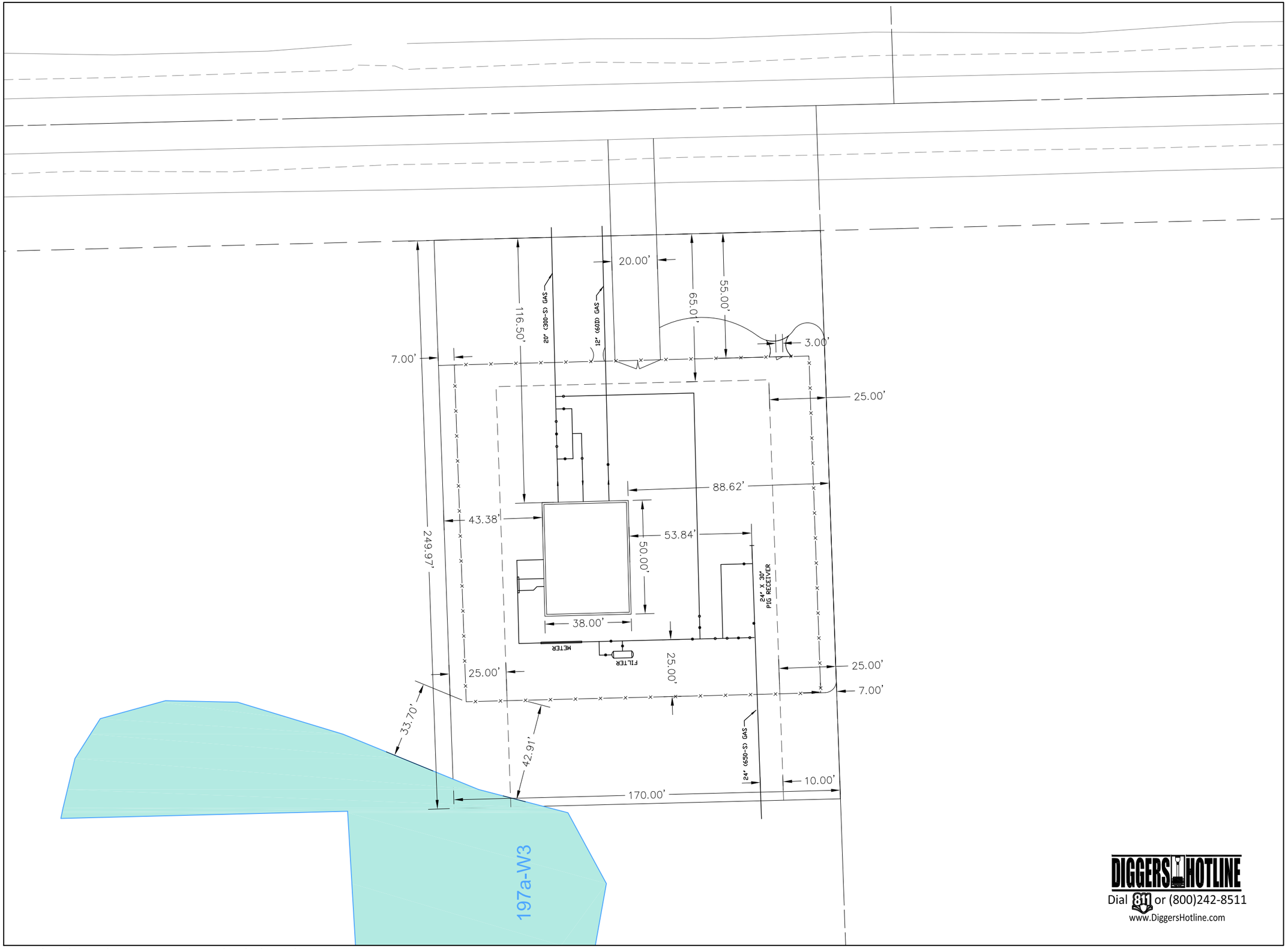
all in

SHEET:
SITE LAYOUT PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C102

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C102 – SITE LAYOUT PLAN.dwg



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Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'

0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

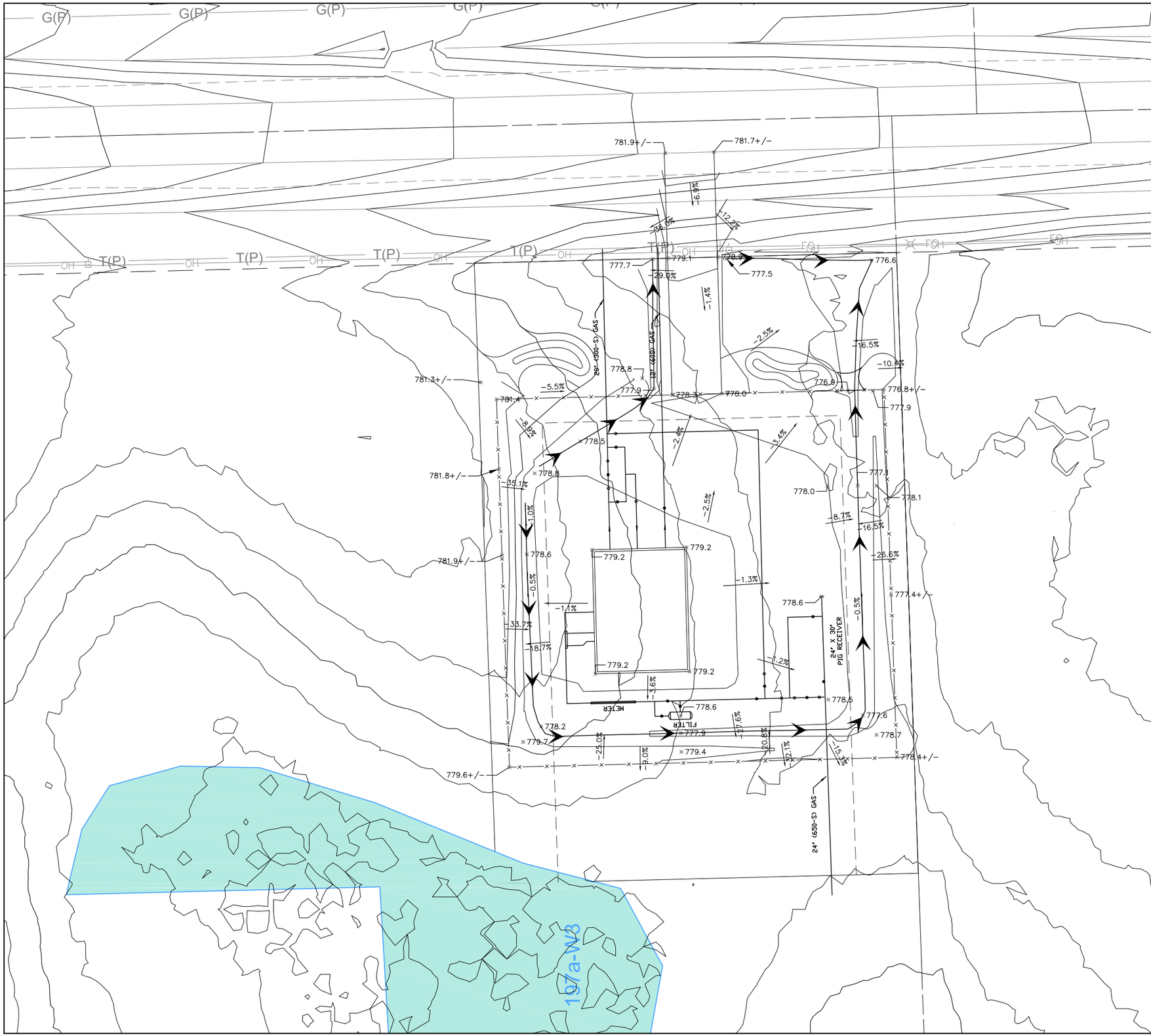
all in

SHEET:
SITE GEOMETRIC PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C103

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C103 – SITE GEOMETRIC PLAN.dwg



kapur

7711 N. Port Washington Road
Milwaukee, Wisconsin 53217

kapurinc.com

PROJECT:

WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:

WALAS SITE

CLIENT:

we energies

RELEASE:

PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'

0 20 40

SEAL:

WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

all in

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www.DiggersHotline.com

GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

KEY INDEX

PROJECT LIMITS	
999	EXISTING CONTOUR MINOR
999	EXISTING CONTOUR MAJOR
999	PROPOSED CONTOUR MINOR
999	PROPOSED CONTOUR MAJOR
970.0	PROPOSED SPOT GRADE
970.0±	MATCH EXISTING GRADE
	DRAINAGE SWALE

SHEET:

SITE GRADING PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:

C104

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C104 – SITE GRADING PLAN.dwg

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UTILITY NOTES

PROJECT LIMITS

CAUTION

KNOWN UTILITY AND POTENTIAL CONFLICT EXIST WITH EXISTING UNDERGROUND UTILITIES. PRIOR TO UTILITY INSTALLATION, CONTRACTOR TO EXCAVATE AND EXPOSE EXISTING UTILITIES, VERIFY LOCATIONS AND ELEVATIONS, AND CONTACT ENGINEER IF CONFLICTS EXIST WITH PROPOSED CONSTRUCTION AND EXISTING UNDERGROUND UTILITIES..

1. PER PROJECT SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, THE POINT OF COMMENCEMENT FOR THE LAYING OF SEWER PIPE SHALL BE AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. THE PIPE SHALL BE LAID WITH THE BELL END OF THE BELL AND SPIGOT PIPE, OR WITH THE RECEIVING GROOVE END OF THE TONGUE AND GROOVE PIPE, POINTING UPGRADE. WHEN A NEW SEWER IS TO BE CONNECTED TO AN EXISTING SEWER NOT TERMINATING IN A MANHOLE, THE CONTRACTOR SHALL UNCOVER THE EXISTING SEWER TO ALLOW ANY ADJUSTMENTS IN LINE AND GRADE TO BE MADE BEFORE PIPE IS LAID.

2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

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kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES
LAKESHORE H.P.
REGULATION
STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'
0 20 40

SEAL:
WISCONSIN
LANCE M. NEWMAN
E-40453
OAK CREEK, WISCONSIN
PROFESSIONAL ENGINEER

all in

SHEET:
SITE UTILITY PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C105

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C105 – SITE UTILITY PLAN.dwg

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EROSION NOTES

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND WPDES PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

POINTS OF CONTACT

LAND OWNER:

WE ENERGIES
KEN MOUTVIC
231 W. MICHIGAN STREET
MILWAUKEE, WI 53203
PHONE: (262) 424-9849

PROJECT ENGINEER:

LANCE NEWMAN, P.E.
KAPUR & ASSOCIATES, INC
7711 NORTH PORT WASHINGTON ROAD
MILWAUKEE, WI 53217
PHONE: (262) 923-6676

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'

0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

all in

SHEET:
SITE EROSION CONTROL PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
C106

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\C106 – SITE EROSION CONTROL PLAN.dwg

EROSION CONTROL MEASURES

1. CONTRACTOR TO INSTALL AND MAINTAIN EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN AND PER THE LATEST WDNR TECHNICAL STANDARDS. TECHNICAL STANDARDS MAY BE VIEWED ONLINE AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html

2. INLETS AND CATCH BASINS SHALL BE PROTECTED WITH INLET FILTERS THAT ARE PHASED IN WITH CONSTRUCTION TO REDUCE SEDIMENT FROM ENTERING THESE AREAS PER WDNR TECHNICAL STANDARD 1060 AS FOLLOWS:

   ALL FABRIC BARRIERS SELECTED FOR INLET/CATCH BASIN PROTECTION DEVICES SHALL BE SELECTED FROM THE LIST OF APPROVED FABRICS CERTIFIED FOR INLET PROTECTION, GEOTEXTILE FABRIC, TYPE FF IN THE CURRENT EDITION OF THE WisDOT PRODUCT ACCEPTABILITY LIST, TO OBTAIN THE PAL, PLEASE REFER TO THIS WEBSITE:
   http://wisconsindot.gov/Documents/doing-bus/eng-consultants/cnslt-rsrces/tools/pal/pal-7-14.pdf

   A. INLET PROTECTION SHALL BE AT A MINIMUM INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT OF ½ INCH OR GREATER DURING A 24-HOUR PERIOD.

   B. PLACEMENT OF SPOIL MATERIAL, DEBRIS, SOILS, ETC. ON TOP OF INLETS/CATCH BASINS, EVEN IF TEMPORARY, IS STRICTLY DISCOURAGED AND PROHIBITED.

   C. SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO ½ THE DESIGN DEPTH OF THE DEVICE FOR TYPES A–C, WHEN SEDIMENT IS WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLE FOR TYPE D, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING PER MANUFACTURER'S SPECIFICATIONS. ALL SEDIMENT COLLECTED SHALL BE PROPERLY DISPOSED OF TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.

   D. DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLETS/CATCH BASINS AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET/CATCH BASIN SHALL BE REMOVED AND PROPERLY DISPOSED OF PER NOTE C ABOVE.

   E. INLET FILTERS MAY BE REMOVED AND PROPERLY DISPOSED OF UPON COMPLETION OF CONSTRUCTION, HAULING OR MOVEMENT OF CONSTRUCTION EQUIPMENT THROUGHOUT THE SITE, AND ONCE THE SITE IS ADEQUATELY STABILIZED, UNLESS AS OTHERWISE NOTIFIED BY THE WDNR.

3. A TRACKING PAD SHALL BE INSTALLED AS SHOWN ON THE PLAN SHEET PRIOR TO THE START OF CONSTRUCTION TO REDUCE OFF-SITE SEDIMENTATION BY ELIMINATING THE TRACKING OF SEDIMENT FROM THE SITE PER WDNR TECHNICAL STANDARD 1057 AS FOLLOWS:

   A. AGGREGATE USED FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED BY 3 INCH SIEVE.

   B. THE AGGREGATE SHALL BE PLACED IN A LAYER OF AT LEAST 12 INCHES THICK ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED, TRACKING PADS WILL BE UNDERLAIN WITH WisDOT TYPE R GEOTEXTILE FABRIC.

   C. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (MIN. 15 FEET WIDE) AND BE AT LEAST 50 FEET LONG.

   D. VEHICLES TRAVELING ACROSS THE TRACKING PAD SHALL MAINTAIN A SLOW CONSTANT SPEED.

   E. ANY SEDIMENT OR ROCK ACCUMULATION ONTO LOCAL ROADWAYS SHALL BE REMOVED BY STREET CLEANING, NOT FLUSHING BEFORE THE END OF EACH WORKING DAY.

   F. THE TRACKING PAD SHALL, AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT OF ½ INCH OF RAIN OR MORE DURING A 24-HOUR PERIOD.

   G. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED AT A MINIMUM OF 12" BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

4. THE CONSTRUCTION SITE PERIMETER AND TOPSOIL STOCKPILE AREA SHALL BE PROTECTED WITH SILT FENCE AS SHOWN ON THE PLAN SHEET PRIOR TO THE START OF CONSTRUCTION TO INTERCEPT AND REDUCE THE FLOW OF SEDIMENT-LADEN SHEET FLOW RUNOFF FROM THE CONSTRUCTION SITE PER WDNR TECHNICAL STANDARD 1056 AS FOLLOWS:

   A. SILT FENCE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE AS SHOWN ON THE PLAN SHEET.

   B. INSTALLED SILT FENCE SHALL BE A MINIMUM 14 INCHES HIGH AND SHALL NOT EXCEED 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.

   C. SILT FENCE SHALL BE SUPPORTED BY EITHER STEEL OR WOOD SUPPORT POSTS.

   D. THE MAXIMUM SPACING OF POSTS FOR NONWOVEN SILT FENCE SHALL BE 3 FEET OR FOR WOVEN FABRIC 8 FEET.

   E. SILT FENCE SHALL HAVE A SUPPORT CORD AT THE TOP OF THE FENCE.

   F. WHERE JOINTS ARE NEEDED, EACH END OF THE FABRIC SHALL BE SECURELY FASTENED TO A POST. THE POSTS SHALL BE WRAPPED AROUND EACH OTHER TO PRODUCE A STABLE AND SECURE JOINT OR SHALL BE OVERLAPPED THE DISTANCE BETWEEN TWO POSTS.

   G. A MINIMUM OF 20 INCHES OF THE POSTS SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.

   H. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4 INCH WIDE BY 6 INCH DEEP TRENCH, OR 6 INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. THE TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED ANY WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.

   I. ON THE TERMINAL ENDS OF THE SILT FENCE THE FABRIC SHALL BE WRAPPED AROUND THE POST SUCH THAT THE STAPLES ARE NOT VISIBLE.

   J. GEOTEXTILE FABRIC SPECIFICATIONS SHALL MEET VALUES ESTABLISHED IN TECHNICAL STANDARD 1056.

   K. SILT FENCE SHALL BE REMOVED ONCE THE SITE IS ADEQUATELY STABILIZED.

   L. WHEN PLACING SILT FENCE NEAR TREES, CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO THE ROOT SYSTEM BY AVOIDING COMPACTION AND ROOT CUTTING WITHIN A RADIUS OF 1.5 FEET MULTIPLIED BY THE INCH DIAMETER OF THE TREE.

   M. THE CONTRACTOR MAY FURTHER STRENGTHEN THE SILT FENCE BY USING HAY BALES ON THE DOWN SLOPE SIDE AS NEEDED.

   N. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES ½ INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD.

   O. DAMAGED OR DECOMPOSED SILT FENCE, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.

   P. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ½ THE HEIGHT OF THE FENCE TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.

5. SEEDING AND MULCHING TECHNIQUES SHALL BE USED ON AREAS OF EXPOSED SOIL WHERE THE ESTABLISHMENT OF VEGETATION IS DESIRED. TEMPORARY SEEDING APPLIES TO DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND-DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 CALENDAR DAYS, REQUIRING VEGETATIVE COVER FOR LESS THAN ONE YEAR. SEED AND MULCH SHALL BE UTILIZED THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH TEMPORARY VEGETATION TO HELP REDUCE EROSION PER WDNR TECHNICAL STANDARDS 1059 AND 1058 RESPECTIVELY AS FOLLOWS:

   A. TEMPORARY SEEDING REQUIRES A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2 INCHES.

   B. FERTILIZER APPLICATION IS NOT GENERALLY REQUIRED FOR TEMPORARY SEEDING. HOWEVER, ANY APPLICATION OF FERTILIZER OR LIME SHALL BE BASED ON SOIL TESTING.

   C. THE SOIL SHALL HAVE A PH RANGE OF 5.5 TO 8.0.

   D. ALL SEED SHALL CONFORM TO THE REQUIREMENTS OF THE WISCONSIN STATE STATUTES AND OF THE ADMINISTRATIVE CODE CHAPTER ATCP 20.01 REGARDING NOXIOUS WEED SEED CONTENT AND LABELING.

   E. SEED SHALL NOT BE USED LATER THAN ONE YEAR AFTER THE TEST DATE ON THE LABEL.

   F. IN THE SUMMER-SPRING, CONTRACTOR SHALL USE OATS APPLIED AT 131 LBS/ACRE FOR TEMPORARY SEEDING PURPOSES. IN THE FALL THE CONTRACTOR SHALL USE ANNUAL RYEGRASS APPLIED AT 80 LBS/ACRE OR WINTER WHEAT OR CEREAL RYE APPLIED AT 131 LBS/ACRE. THE CONTRACTOR SHALL USE STRAW MULCH APPLIED AT 1.5 TONS/ACRE. DORMANT SEED SHALL BE USED WHEN SOIL TEMPERATURE IS CONSISTENTLY BELOW 53 DEGREES FAHRENHEIT (TYPICALLY NOV. 1 UNTIL SNOW COVER ANNUALLY). NEVER PLACE SEED ON TOP OF SNOW. IF COVER IS NEEDED AFTER SNOW FALL, CONTRACTOR MAY CHOOSE TO USE A DORMANT, NONTOXIC TYPE B SOIL STABILIZER PER MANUFACTURER'S SPECIFICATIONS AS REQUIRED BY THE WDNR.

   G. SEEDING SHALL NOT TAKE PLACE WHEN THE SOIL IS TOO WET.

   H. CONTRACTOR MAY CONSIDER WATERING TO HELP ESTABLISH THE SEED. WATER APPLICATION RATES SHALL BE CONTROLLED TO HELP PREVENT RUNOFF AND EROSION.

   I. DURING CONSTRUCTION, AREAS THAT HAVE BEEN SEEDED AND MULCHED SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES ½ INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD. INSPECT AREAS DURING THE GROWING SEASON UNTIL VEGETATION IS DENSELY ESTABLISHED OR THE SOD IS LAID. REPAIR AND RESEED AREAS THAT HAVE EROSION DAMAGE AS NECESSARY.

   J. CONTRACTOR IS TO LIMIT VEHICLE TRAFFIC AND OTHER FORMS OF COMPACTION IN AREAS THAT ARE SEEDED AS MUCH AS POSSIBLE. RE-SEED DRIVEN OVER AREAS AS NEEDED.

   K. MULCH SHOULD BE PLACED WITHIN 24 HOURS OF SEEDING.

   L. MULCHING OPERATIONS SHALL NOT TAKE PLACE DURING PERIODS OF EXCESSIVELY HIGH WINDS THAT WOULD PRECLUDE THE PROPER PLACEMENT OF MULCH.

   M. MULCH THAT IS DISPLACED SHALL BE REAPPLIED AND PROPERLY ANCHORED. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS.

   N. WHEN CHANNEL EROSION MAT IS USED WITHIN CONSTRUCTION SITE DIVERSION AREAS, TECHNICAL STANDARDS 1053 AND 1066 SHALL BE FOLLOWED.

   O. WHEN NON-CHANNEL EROSION MAT IS USED TECHNICAL STANDARD 1052 SHALL BE FOLLOWED.

   P. DEPENDING ON DURATION OF CONSTRUCTION, THE CONTRACTOR MAY NEED TO RE-SEED AND RE-STABILIZE THE TOPSOIL STOCKPILE AS NECESSARY TO DISCOURAGE SEDIMENT AND EROSION.

6. A COPY OF EROSION CONTROL INSPECTION REPORTS AND THE APPROVED EROSION CONTROL PLANS SHALL BE KEPT ON SITE.

7. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL PRACTICES BY THE END OF EACH WORKDAY.

8. LOCAL ROADS SHALL BE CLEAN BY THE END OF EACH WORKDAY. CONTRACTOR SHALL HAVE LOCAL ROADS SWEPT WHERE SEDIMENT ACCUMULATES.

EROSION CONTROL OPERATION SEQUENCE + SCHEDULE

AFTER BIDS ARE RECEIVED AND A MASS GRADING CONTRACTOR IS SELECTED, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH ALL RELEVANT PARTIES IN ATTENDANCE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SILT FENCES, SEEDING, EROSION MATTING, AND OTHER EROSION CONTROL MEASURES. GENERAL CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING, OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF ½ INCH OR GREATER. IN ADDITION, THE ACTIVE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION, AND WEATHER CONDITIONS IN A DAILY LOG BOOK.

ALL REGULATORY PERMITS, PROJECT PLANS, AND INSPECTION LOGS SHALL BE KEPT ON SITE IN AN ACCESSIBLE LOCATION, SUCH AS A MAILBOX, AVAILABLE TO REGULATORY AGENCIES UPON REQUEST.

CONTRACTORS ARE TO MAINTAIN THE CONSTRUCTION SITE IN A NEAT AND TIDY MANNER FOR THE DURATION OF THE PROJECT.

THE TIMING AND SEQUENCE OF CONSTRUCTION IS SCHEDULED AS FOLLOWS:

1. OBTAIN PLAN APPROVAL FROM THE _____, AND ALL APPLICABLE PERMITS, INCLUDING EROSION CONTROL PERMIT.

2. CONSTRUCTION IS SCHEDULED TO BEGIN IN _____, DEPENDING ON WEATHER & GROUND CONDITIONS.

3. A GRAVEL TRACKING PAD UNDERLAIN WITH WISDOT TYPE R GEOTEXTILE FABRIC, ALONG WITH A TEMPORARY CULVERT IF NECESSARY, SHALL BE INSTALLED AS SHOWN ON THE PLANS. RE-GRADE EXISTING ROADWAY DITCH AS NECESSARY. IF INSTALLED, THE TEMPORARY CULVERT SHALL BE REMOVED AT END OF CONSTRUCTION ACTIVITIES. IF INDICATED ON PLANS, INSTALL CONSTRUCTION FENCE AND ANY TEMPORARY TRAFFIC CONTROLS.

4. SILT FENCE, INLET FILTER PROTECTION, AND TRIANGULAR SILT DIKES SHALL BE INSTALLED AS SHOWN ON THE PLANS, AND INSPECTED PRIOR TO COMMENCING OF ANY LAND DISTURBING ACTIVITIES PER PROJECT PLANS AND DETAILS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN THEY REACH A DEPTH OF 1/2 FENCE HEIGHT.

5. FOLLOWING INSTALLATION OF THE EROSION CONTROL MEASURES, CONSTRUCT THE STORM WATER POND TO FINISH GRADES WITH CLAY LINER PER PROJECT PLANS AND DETAILS. CONTRACTOR SHALL CONSTRUCT POND INLETS AND OUTLET STRUCTURE FOR USE DURING CONSTRUCTION (REFER TO DETAIL ---- ON SHEET ---- FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL IMMEDIATELY STABILIZE THE POND BANKS, INLETS, AND OUTLET STRUCTURE.

6. STORM WATER POND SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES ½ INCH OF RAIN OR MORE DURING A 24-HOUR PERIOD. SEDIMENT SHALL BE REMOVED TO MAINTAIN THE 3' FOOT DEPTH OF THE TREATMENT SURFACE AREA AS MEASURED FROM THE INVERT OF THE PRINCIPAL OUTLET. IF THE OUTLET BECOMES CLOGGED IT SHALL BE CLEANED TO RESTORE FLOW CAPACITY. SEDIMENT TO BE REMOVED AFTER CONSTRUCTION & SITE STABILIZATION IS COMPLETE.

7. SITE DEMOLITION OF PAVEMENT, ETC. WILL OCCUR AFTER ALL EROSION CONTROL MEASURES ARE IN PLACE.

8. CONSTRUCTION OF THE BUILDING, STARTING WITH THE FOUNDATION, WILL BEGIN IMMEDIATELY AFTER THE SITE DEMOLITION IS COMPLETE IN THE BUILDING PAD AREA.

9. TOPSOIL STRIPPING AND ROUGH GRADING WILL FOLLOW. TOPSOIL STOCKPILES WILL BE LOCATED AS SHOWN ON THE PLANS AND BE STABILIZED WITHIN 7 DAYS OF LAY UP. STOCKPILES WILL BE USED FOR FINAL LANDSCAPING. REMAINING STOCKPILES WILL BE REMOVED FROM THE SITE.

10. UTILITY INSTALLATION WILL OCCUR NEXT AND CONTINUE UNTIL ALL THE UTILITIES ARE INSTALLED.

11. AFTER ROUGH GRADING IS COMPLETE IN HARD SURFACE AREAS SUCH AS ROADWAYS, PARKING LOTS, AND BUILDINGS, THE REQUIRED THICKNESS OF DENSE GRADED BASE COURSE, PER THE PROJECT PLANS AND DETAILS WILL BE APPLIED FOR STABILIZATION. AFTER ROUGH GRADING IS COMPLETE OUTSIDE OF HARD SURFACE AREAS, THE TOPSOIL WILL BE REAPPLIED AND THE LANDSCAPE CONTRACTOR WILL COMPLETE SEEDING/SODDING/FERTILIZING/MULCHING AND INSTALL EROSION MATTING AS PER APPROVED PLANS AND SPECIFICATIONS.

12. FINAL SITE STABILIZATION IS ANTICIPATED FOLLOWING THE COMPLETION OF GRADING ACTIVITIES PER WDNR TECHNICAL STANDARD 1059. IF SITE STABILIZATION CANNOT BE COMPLETED BY OCTOBER 15, THEN THE USE OF ANIONIC POLYACRYLAMIDE CONFORMING TO WDNR TECHNICAL STANDARD 1050 SHALL BE USED. IN ADDITION, ALL SLOPES OF GREATER THAN 20% MUST ADHERE TO THE SCHEDULE IN TABLE 1 BELOW.

13. AFTER ALL TOPSOIL HAS BEEN REAPPLIED AND STABILIZATION IS UNDERWAY, ROADWAY, PARKING LOT, AND SIDEWALK BASE MATERIAL WILL BE APPLIED PER PROJECT SPECIFICATIONS.

14. THE GENERAL CONTRACTOR WILL REQUEST A FINAL INSPECTION BY THE CITY. UPON APPROVAL, ALL SILT FENCES, INLET FILTER PROTECTION, AND TRIANGULAR SILT DIKES SHALL BE REMOVED, AND ACCUMULATED SEDIMENT IN THE SEDIMENT BASIN/STORM WATER POND SHALL BE DREDGED AND PROPERLY DISPOSED OF. IN ADDITION, THE CONTRACTOR MUST ENSURE THAT THE STORM WATER POND IS RETURNED TO THE SLOPES AND GRADES SHOWN ON THE PROJECT PLANS AND DETAILS.

15. IF REQUIRED, FINAL 'AS-BUILT' SURVEYS ARE TO BE CONDUCTED BY THE OWNER AND FINAL DOCUMENTS FORWARDED TO THE CITY.

16. BARE SOIL LEFT UNDISTURBED FOR 14 CALENDAR DAYS MUST BE TEMPORARILY STABILIZED PER WDNR TECHNICAL STANDARD 1059. BY OCTOBER 15, THE SITE SHALL BE STABILIZED PER NOTE 12 ABOVE.

17. WE DO NOT ANTICIPATE THE NEED FOR WATERING WITH THIS CONSTRUCTION SCHEDULE, HOWEVER, IF ADEQUATE RAIN IS NOT EXPERIENCED WITHIN ONE WEEK AFTER INITIAL SEED GERMINATION AT ANY PONT DURING THE CONSTRUCTION PROCESS, WATER SHALL BE TRUCKED IN AND APPLIED ONCE PER WEEK.

IF CONSTRUCTION SCHEDULES SHOULD CHANGE SIGNIFICANTLY, THIS PLAN NARRATIVE WILL BE UPDATED AND RESUBMITTED BY THE GENERAL CONTRACTOR TO THE CITY AND WDNR.

DEWATERING PLAN

TO FACILITATE CONSTRUCTION AT THE PROJECT SITE, DEWATERING MAY TAKE PLACE BY THE SELECTED CONTRACTOR. CONTRACTOR TO FOLLOW THESE INSTRUCTIONS WHILE PERFORMING DEWATERING ACTIVITIES ON-SITE. IF DEWATERING IS TO TAKE PLACE AT THE SITE, IT WILL OCCUR BETWEEN STEPS 3 AND 14 OF THE EROSION CONTROL OPERATION SEQUENCE.

NOTE: THESE INSTRUCTIONS DO NOT APPLY TO WATER BEING DISCHARGED DIRECTLY TO GROUNDWATER OR KARST FEATURES OR WELL DEWATERING SYSTEMS. CONTRACTOR SHALL COORDINATE ACCORDINGLY FOR OTHER DEWATERING ACTIVITIES AS DEEMED NECESSARY WITH THE WDNR.

1. THE CONTRACTOR SHALL ENSURE THAT THE DEWATERING PRACTICES CARRIED OUT MEET OR EXCEED WNDR TECHNICAL STANDARD NUMBER 1061.

2. A PAN OR OTHER CONTAINMENT DEVICE SHALL BE PLACED UNDERNEATH THE PUMP TO CAPTURE ANY SPILLS, OILS, GASOLINE, ETC. SHALL NOT BE STORED WITHIN WETLANDS, NEAR THE STORMWATER POND, OR OTHER ON-SITE WATER AREAS.

3. A TYPE 2 GEOTEXTILE BAG THAT IS NO SMALLER THAN 100 SQUARE FEET; HAS A MAXIMUM APPARENT OPENING SIZE OF 0.212 mm; HAS A GRAB TENSILE STRENGTH OF 300 LBS; MULLEN BURST OF 580 PSI; PERMEABILITY OF 0.2 CM/SEC; FABRIC WEIGHT OF 12 OZ SHALL BE USED. THE GEOTEXTILE BAG AREA AND DOWNGRADE FLOW AREA SHALL CONSIST OF VEGETATED AND UNDISTURBED SOILS.

4. POLYMER APPROVED BY THE WDNR MEETING WDNR TECHNICAL STANDARD 1051 MAY BE USED IN COMBINATION WITH THE DEWATERING BAG IF THE DEWATERING BAG IS NOT DOING AN ADEQUATE JOB ALONE OF FILTERING SEDIMENTS. THE CONTRACTOR SHALL SUPPLY TOXICITY TESTING DATA TO THE WDNR BEFORE USE ON-SITE FOR WDNR APPROVAL. POLYMER SHALL NOT BE DIRECTLY APPLIED TO SURFACE WATER. CONTRACTOR SHALL OBTAIN THE MATERIAL SAFETY DATA SHEETS (MSDS) FOR THE SELECTED POLYMER, MANUFACTURER'S INFORMATION AND WDNR USE RESTRICTIONS (SEE TECHNICAL STANDARD 1051) AND KEEP ALL THIS INFORMATION ON-SITE. CONTRACTOR SHALL ADHERE TO MANUFACTURER AND WDNR'S APPLICATION RATES FOR THE POLYMER, WITH THE WDNR'S RATE TAKING PRECEDENCE. THE CONTRACTOR SHALL TAKE STEPS TO ENSURE THAT THE POLYMER IS NOT SPILLED. SPILL KITS SHALL BE KEPT ON SITE; THE MANUFACTURER'S RECOMMENDED CLEANUP PROCEDURES SHALL BE FOLLOWED IN THE EVENT OF A SPILL.

5. A TARP MAY BE UTILIZED UNDERNEATH THE TYPE 2 GEOTEXTILE BAG AND JUST DOWN SLOPE OF THE BAG TO DISCOURAGE EROSION AND SCOUR.

6. A FLOATING SUCTION HOSE OR OTHER FLOTATION METHOD SHALL BE UTILIZED WHEN PUMPING FROM AN AREA WITH STANDING WATER TO AVOID SUCKING SEDIMENT FROM GRADE.

7. IF TURBID WATER IS LEAVING THE GEOTEXTILE BAG, THE CONTRACTOR SHALL SHUT OFF THE PUMP TO ALLOW SEDIMENTS TO SETTLE INTO THE BAG. CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S SPECIFICATIONS FOR DETERMINING THE SEDIMENT CAPACITY OF THE GEOTEXTILE BAG USING GOOD COMMON SENSE. SEDIMENT LEVELS CONTAINED IN THE BAG SHALL BE MONITORED TO MEASURE THE LOSS OF STORAGE CAPACITY OVER TIME. THE CONTRACTOR SHALL PROPERLY DISPOSE OF THE GEOTEXTILE BAG IN A WASTE RECEPTACLE ONCE IT IS NO LONGER USED.

8. DURING DEWATERING ACTIVITIES THE CONTRACTOR SHALL MONITOR DEWATERING PRACTICES AND KEEP A LOG OF THE FOLLOWING:

   A. DISCHARGE DURATION AND SPECIFIED PUMPING RATE.

   B. OBSERVED WATER TABLE AT TIME OF DEWATERING.

   C. MAINTENANCE ACTIVITIES

   D. NAME AND QUANTITY OF POLYMER USED. PRODUCT TYPE. APPLICATION RATE OF POLYMER IN POUNDS/ACRE FEET OF WATER. DATE AND TIME APPLIED. WEATHER CONDITIONS DURING APPLICATION. METHOD OF APPLICATION.

THIS LOG NEEDS TO BE KEPT ON SITE FOR WDNR REGULATORY REVIEW. COPIES OF THIS DOCUMENTATION SHOULD BE KEPT IN THE CONTRACTOR'S MONITORING LOG AND MADE AVAILABLE UPON REQUEST.

REVIEW THE FOLLOWING FOR MORE INFORMATION:

WDNR TECHNICAL STANDARD 1061 FOR DEWATERING –
http://dnr.wi.gov/topic/stormWater/documents/Dewatering_1061.pdf

WDNR TECHNICAL STANDARD 1051 FOR POLYMER –
http://dnr.wi.gov/topic/stormWater/documents/dnr1051.pdf

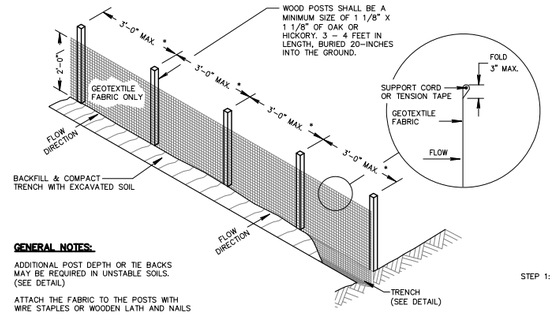
INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS WPDES PERMIT & CHAPTER 30 PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOODPLAINS UNLESS IDENTIFIED IN THE PLANS & APPROVED BY DNR/USACOE.

TABLE 1 - MAXIMUM PERIOD OF BARE SOIL FOR SLOPES GREATER THAN 20%

SLOPE AREA DRAINS TO SEDIMENT BASIN?	LAND DISTURBANCE BETWEEN SEPT. 16 AND MAY 1	LAND DISTURBANCE BETWEEN MAY 2 AND SEPT. 15
YES	90 DAYS	90 DAYS
NO	60 DAYS	30 DAYS

TABLE FROM WI DNR GUIDANCE DOC # 3800-2015-06



GENERAL NOTES:

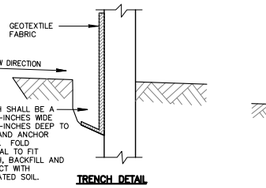
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS. (SEE DETAIL)

ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS

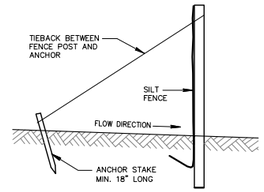
*8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

IF POSSIBLE, CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING METHODS:
(1)TWIST METHOD: OVERLAP END POSTS & TWIST AT LEAST 180 DEGREES.
(2)HOOK METHOD: HOOK THE END OF EACH SILT FENCE LENGTH.

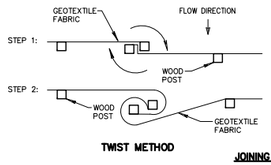
AXONIMETRIC VIEW



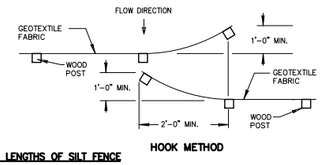
TRENCH DETAIL



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)



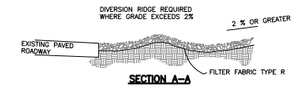
TWIST METHOD



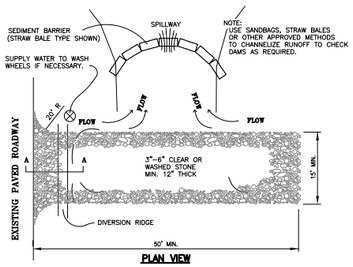
HOOK METHOD

JOINING TWO LENGTHS OF SILT FENCE

1 FILTER FABRIC SILT FENCE DETAIL
N.T.S.

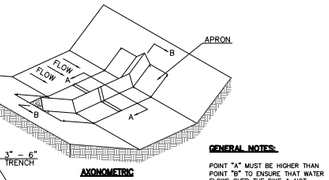


SECTION A–A

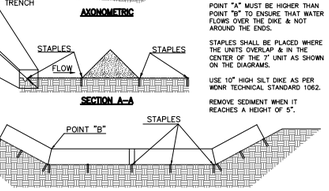


PLAN VIEW

2 STONE TRACKING CONSTRUCTION ENTRANCE
N.T.S.



AXONIMETRIC



SECTION A–A

SECTION B–B

GENERAL NOTES:

THE AGGREGATE SIZE FOR CONSTRUCTION OF THE PAD SHALL BE 3– TO 6–INCH STONE. PLACE THE GRAVEL TO THE SPECIFIC GRADE & DIMENSIONS SHOWN ON THE PLANS & GRADE TO CREATE A SMOOTH SURFACE.

THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES. USE GEOTEXTILE FABRICS, IF NECESSARY, TO IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS & IN ANY SPECIFIC GRADE BE LESS THAN 15 FEET WIDE.

THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.

LOCATE CONSTRUCTION ENTRANCES & EXITS TO LIMIT SEDIMENT LEAVING THE SITE & TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. AVOID ENTRANCES WHICH HAVE STEEP GRADES & ENTRANCES AT CURVES IN PUBLIC ROADS.

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACK

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\L101 – SITE LANDSCAPE PLAN.dwg

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurInc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 40'
0 20 40

SEAL:
WISCONSIN LANCE M. NEWMAN E-40453 OAK CREEK, WISCONSIN PROFESSIONAL ENGINEER

all in

SHEET:
SITE LANDSCAPE PLAN

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
L101

Plant Schedule

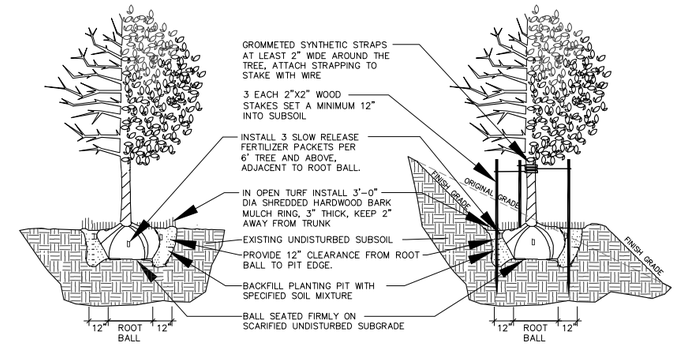
	Scientific Name	Common Name	Quantity	Spacing	Install Size
Deciduous Trees					
KCT	Gymnocladus dioicus	Kentucky Coffee Tree (MALE SPECIES	1	Per Plan	2.5" caliper B&B
Evergreen Trees:					
BHS	Picea glauca var. densata	Black Hills Spruce	1	Per Plan	5' tall B&B
Evergreen Shrubs					
KCJ	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay Compact Juniper	5	Per Plan	#5 cont.
Deciduous Shrubs					
CPL	Syringa vulgaris	Common Purple Lilac	19	Per Plan	3' B&B
NWR	Rosa rugosa 'Nearly Wild'	Nearly Wild Rose	10	Per Plan	#3 cont.
RTD	Cornus sericea	Red Twig Dogwood	20	Per Plan	3' B&B
Perennials					
BES	Rudbeckia hirta	Black Eyed Susan	23	Per Plan	#1 cont.
HMS	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	58	Per Plan	#1 cont.
KBL	Liatris spicata 'Kobold'	Kobold Liatris	23	Per Plan	#1 cont.
PDS	Sporobolus heterolepus	Prairie Dropseed	8	Per Plan	#1 cont.
PPC	Heuchera 'Palace Purple'	Palace Purple Coral bell	23	Per Plan	#1 cont.

NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

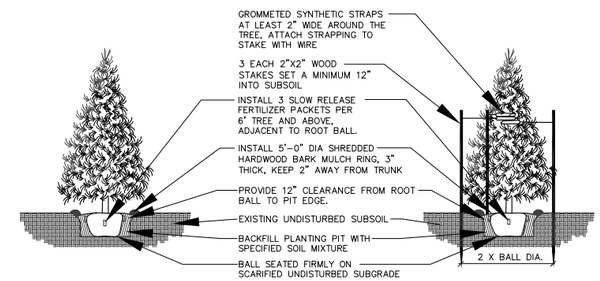
1 LANDSCAPE SCHEDULE
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

1. ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
2. CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK MULCHES FOR APPROVAL PRIOR TO INSTALLATION.
3. BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
4. ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH OVER TYPAR WEED FABRIC WITH SHOVEL CUT EDGE. NO WEED FABRIC IN PERENNIAL AREAS. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
5. INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
6. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
7. CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
8. REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
9. REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
10. PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
11. PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
12. PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
13. PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
14. WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
15. FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
16. INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
17. STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
18. NO MOW TO BE NO MOW FESCUE SEED MIX WITH ANNUAL RYE NURSE CROP FROM PRAIRIE NURSERY, INC. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. PRAIRIE NURSERY ADDRESS: PO BOX 306 WESTFIELD, WI 53964. TELEPHONE: 1-800-476-9453 FAX: 608-296-2741.
19. REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

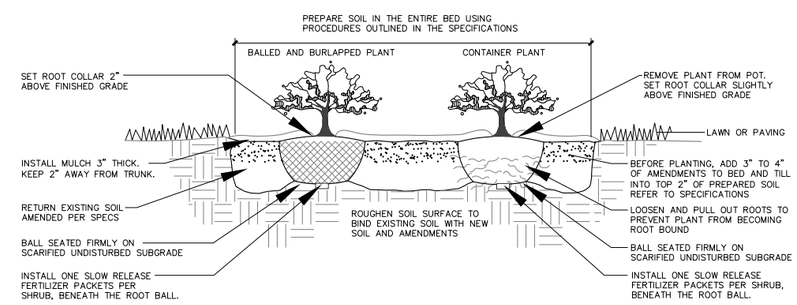
2 LANDSCAPE NOTES
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



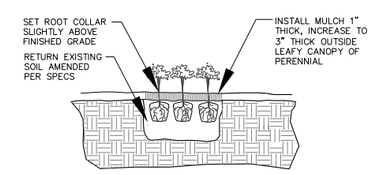
3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE
N.T.S.



4 EVERGREEN TREE PLANTING & STAKING
N.T.S.



5 DECIDUOUS & EVERGREEN SHRUB PLANTING
N.T.S.



6 PERENNIAL PLANTING
N.T.S.

kapur
7711 N. Port Washington Road
Milwaukee, Wisconsin 53217
kapurinc.com

PROJECT:
WE ENERGIES LAKESHORE H.P. REGULATION STATION

LOCATION:
WALAS SITE

CLIENT:
we energies

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

SEAL:

all in

SHEET:
SITE LANDSCAPE DETAILS

PROJECT MANAGER:	LMN
PROJECT NUMBER:	19.0206.01
DATE:	04/03/2020

SHEET NUMBER:
L201

FILENAME: S:_Clients\WE Energies\180276 WE Energies Lakeshore Lateral\Survey\DWG\Walas Site\L101 - SITE LANDSCAPE PLAN.dwg

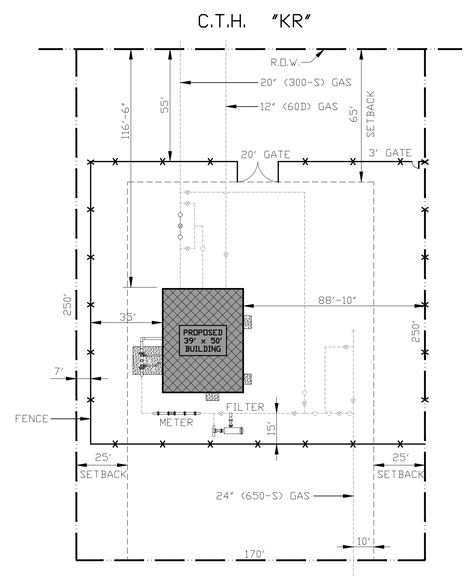
A PROPOSED REGULATION STATION FOR:

WE ENERGIES - LAKESHORE HP REG. STATION

C.T.H. "KR" & I-94 ■ KENOSHA, WI

DRAWING INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET SITE PLAN
2	GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS FOUNDATION DETAILS
3	FOUNDATION PLAN FLOOR PLAN ROOM & DOOR SCHEDULE
4	POWER / HVAC / LIGHTING PLAN, FRAMING PLAN STRUCTURAL NOTES GROUNDING NOTES
5	EXTERIOR ELEVATIONS DETAILS
6	CROSS SECTIONS
7	CROSS SECTIONS DETAILS
8	DETAILS
9	DETAILS



SITE PLAN

SCALE: 1" = 30'-0"

RUDIE | FRANK
ARCHITECTURE
920 GOOLD STREET ■ RACINE, WI 53402 ■ 262.634.5565
INFO@RUDIEFRANK.COM

PROJECT INFO

OCCUPANCY TYPE: UTILITY
GROUP: U
CONSTRUCTION CLASS: IIB
AREA OF PROJECT: 1,993 Sq. Ft.

REVISIONS

03-27-2020 - REVIEW SET TO OWNER
03-30-2020 - REVISED SET TO OWNER
03-30-2020 - ISSUED FINAL PLANS TO OWNER

DATE

MAR. 30, 2020

PROJECT NO.

6-20

SHEET NO.

1

WE ENERGIES - LAKESHORE HP REGULATION STATION

APPLICABLE CODES

ALL CONSTRUCTION SHALL BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:

BUILDING CODE:
- 2015 INTERNATIONAL BUILDING CODE (IBC) W/ WISCONSIN AMENDMENTS SPS 362
- 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) W/ WISCONSIN AMENDMENTS SPS 366

ACCESSIBILITY CODE:
- 2015 INTERNATIONAL BUILDING CODE (IBC) W/ WISCONSIN AMENDMENTS SPS 362
- 2009 ICC/ANSI A117.1 ACCESSIBLE and USABLE BUILDINGS and FACILITIES

ENERGY CODE:
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) W/ WISCONSIN AMENDMENTS SPS 364

- GOVERNING LOCAL AND MUNICIPAL CODES

GENERAL NOTES

1. THE FOLLOWING GENERAL AND SPECIFIC NOTES SHALL APPLY EQUALLY TO ALL CONTRACTORS AND SUPPLIERS ENGAGED IN EXECUTION OF THE WORK SHOWN ON THESE PLANS. THESE NOTES SUPPLEMENT AND ARE MADE A PART OF THE ENTIRE CONTRACT DOCUMENTS.
2. ALL CONSTRUCTION SHALL BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:
   - PLANS AND SPECIFICATIONS
   - STATE OF WISCONSIN DNR
   - OSHA AND EPA REQUIREMENTS

   CONCRETE CONSTRUCTION:
   - AMERICAN CONCRETE INSTITUTE STRUCTURAL AND MISCELLANEOUS STEEL WORK:
   - AMERICAN INSTITUTE OF STEEL CONSTRUCTION, CODE OF STANDARD PRACTICE

   STEEL JOISTS AND ACCESSORIES:
   - STEEL JOIST INSTITUTE

   CONTRACTOR SHALL INSURE FAMILIARITY OF THE ABOVE ITEMS... ARCHITECT INSPECTIONS SHALL BE IN CONFORMANCE WITH THE ABOVE.
3. CONTRACTOR TO CROSS CHECK DIMENSIONS AND ELEVATIONS BETWEEN ARCHITECTURAL, MECHANICAL, AND STRUCTURAL PLANS. ARCHITECT TO BE NOTIFIED OF ANY VARIANCE BEFORE CONTRACTOR BEGINS WORK... ALL EQUIPMENT SUPPORTS & ANCHORAGES TO BE CROSS CHECKED WITH MANUFACTURER'S DRAWINGS. CONTRACTOR SHALL VERIFY ALL PROFILES, HEIGHTS, AND DIMENSIONS AT PROJECT PRIOR TO FABRICATION OF ANY MATERIAL AND INFORM THE ENGINEER OF ANY DISCREPANCIES OR FRAMING INTERFERENCES...
4. REFER TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL PLANS FOR DETAILS OF CONSTRUCTION.
5. ALL OPENINGS FOR PLUMBING, ELECTRICAL, HVAC, OR FIRE PROTECTION CONDUIT, PIPING, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSOCIATED TRADE... ALL TRADES SHALL TAKE CARE TO MAKE HOLES ONLY AS LARGE AS NECESSARY... ALL OPENINGS SHALL BE NEATLY CUT. DO NOT PUNCH OR POUND HOLES IN WALL OR ROOF DECK...
6. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY ARCHITECT... MECHANICAL TRADES MUST SUBMIT LAYOUTS OF ALL SLEEVES PASSING THROUGH STRUCTURAL MEMBERS FOR ARCHITECT'S APPROVAL...
7. ASSOCIATED TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OPENINGS LEFT UNREPAIRED AND WILL BE BACK CHARGED ACCORDINGLY FOR SUCH REPAIRS.
8. ALL OPENINGS OR PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE APPROPRIATELY FIRE STOPPED, DAMPERED, OR SEALED AS REQ'D BY CODE.
9. ALL CONSTRUCTION MATERIALS TO BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.
10. SHOP DRAWINGS - SUBMIT MINIMUM OF FIVE (5) COPIES FOR APPROVAL ON ALL ITEMS OF EQUIPMENT FURNISHED AS A PART OF THIS PROJECT -OR- ONE (1) SET ELECTRONICALLY... ARCHITECT APPROVAL DOESN'T RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY FOR CORRECTNESS, FIT, OR STRENGTH OF DETAILS. SHOP DRAWINGS MUST CLEARLY SHOW DETAILS FOR ACCURATE PLACING OF REINFORCING STEEL, STRUCTURAL STEEL, ETC. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO ARCHITECT... CONTRACTOR SHALL ALLOW MINIMUM OF ONE WEEK FOR REVIEW OF SHOP DRAWINGS...
11. WHERE SECTIONS OR NOTES ARE CALLED FOR IN A CERTAIN PORTION OF THE BUILDING, IT SHALL BE DUPLICATED IN SIMILAR PORTIONS OF THE BUILDING, UNLESS NOTED OTHERWISE...
12. EACH CONTRACTOR IS TO OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC. AS MAY BE REQ'D FOR COMPLETION OF HIS PORTION OF THE PROJECT. EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS, AND ALL OTHERS AT THE SITE... EACH CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND REMOVAL OF ALL MATERIAL AS REQ'D TO PERFORM HIS WORK...
13. ANY HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION, REMODELING, OR EXCAVATION SHALL BE REMOVED AND/OR CONTAINED IN ACCORDANCE WITH ALL GOVERNING LOCAL, STATE, AND FEDERAL REGULATIONS. NOTIFY ARCHITECT, REMOVAL BY OWNER...
14. DO NOT SCALE DRAWINGS
15. ALL DIMENSIONS AND ELEVATIONS MUST BE VERIFIED BY CONTRACTOR TO CONFORM WITH THOSE SHOWN ON PLANS...
16. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY THE ARCHITECT...
17. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE IN ORDER TO INSURE THE SAFETY OF THE BUILDING, WORKMEN, AND OCCUPANTS DURING ERECTION... THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE-DOWNS AS NECESSARY... ALL CONSTRUCTION AND ERECTION MUST CONFORM TO OSHA REQ'D...
18. WHERE DETAILS ARE CALLED FOR IN ONE PORTION OF THE BUILDING, THEY SHALL BE DUPLICATED IN SIMILAR PORTIONS OF THE BUILDING.
19. DESIGN DRAWINGS SHALL NOT BE USED AS SHOP DRAWINGS.
20. REMOVE AND REPLACE ALL EXISTING CONSTRUCTION (ELECTRICAL, MECHANICAL, HVAC, AND ARCHITECTURAL) AS REQ'D IN ORDER TO PLACE NEW STRUCTURAL WORK SHOWN ON THESE DRAWINGS...
21. IN THE EVENT OF ANY CONFLICT BETWEEN PLANS, DETAILS, STRUCTURAL NOTES, AND SPECIFICATIONS, CONTRACTOR SHALL BRING THE CONFLICT TO THE ARCHITECT'S ATTENTION OR SHALL BID THE MOST EXPENSIVE ITEM...
22. NEW FIREWALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS SHOWN ON PLANS SHALL BE PERMANENTLY IDENTIFIED W/ STENCILING... SEE DETAIL ON SHEET #2 FOR SIZE AND SPACING...

STRUCTURAL NOTES

GENERAL:

IN THE FOLLOWING NOTES, THE TERM "CONTRACTOR" REFERS TO ALL CONTRACTORS, SUBCONTRACTORS, AND SUPPLIERS ENGAGED IN THE EXECUTION OF WORK SHOWN ON THESE PLANS.

ALL CONSTRUCTION SHALL BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:
PLANS AND SPECIFICATIONS
ALL LOCAL BUILDING AND SAFETY CODES
OSHA REGULATIONS
WISCONSIN ENROLLED COMMERCIAL BUILDING CODE – LATEST EDITION

CONTRACTOR SHALL CROSS CHECK WITH HVAC AND PLUMBING PLANS FOR ADDITIONAL DETAILS, DIMENSIONS, ELEVATIONS, OPENINGS, INSERTS, BRICK LEDGES, ETC. NOTIFY ARCHITECT OF ANY CONFLICTS BEFORE BEGINNING WORK.

IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY THE STRUCTURAL ENGINEER.

IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE IN ORDER TO INSURE THE SAFETY OF THE BUILDING, WORKMEN, AND OCCUPANTS DURING CONSTRUCTION (MEANS & METHODS OF CONSTRUCTION). THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF SHORING, UNDERPINNING, AND TEMPORARY BRACING, AS NECESSARY.

WHERE DETAILS ARE CALLED FOR IN ONE AREA OF THE BUILDING THEY SHALL BE DUPLICATED AT SIMILAR CONDITIONS, UNLESS SHOWN OTHERWISE.

DESIGN DRAWINGS SHALL NOT BE USED AS SHOP DRAWINGS.

SUBMIT FIVE SETS OF PRINTS OF ALL REBAR, AND LIGHTGAGE METAL SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION. SHOP DRAWINGS SHALL NOT UTILIZE A SHEET SIZE ANY LARGER THAN ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO ARCHITECT. CONTRACTOR SHALL ADDRESS ALL "VERIFY" ISSUES (DIMENSIONS, ETC.) BEFORE SUBMITTING DRAWINGS TO ARCHITECT. SUBMISSIONS NOT BEARING THE CONTRACTOR STAMP WILL BE RETURNED FOR HIS REVIEW PRIOR TO BEING REVIEWED BY KOMP ENGINEERING. CONTRACTOR SHALL ALLOW 10 DAYS IN HIS SCHEDULE FOR THE REVIEW OF SHOP DRAWINGS.

IN THE EVENT OF ANY CONFLICT BETWEEN PLANS, DETAILS, THESE STRUCTURAL NOTES, AND SPECIFICATIONS, CONTRACTOR SHALL BRING THE CONFLICT TO THE ARCHITECT'S ATTENTION OR SHALL BID THE MOST EXPENSIVE INSTALLATION CALLED OUT.

ARCHITECTURAL PLANS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS (COLUMN CENTERLINES, WALL FACES, TOP OF BEAMS, PITCHED BEAM ELEVATIONS AT COLUMN CENTERLINES). SHOP DRAWING DETAILERS AND SUPPLIERS ARE RESPONSIBLE FOR THE DETERMINATION OF ALL DIMENSIONS, PITCHES, ELEVATIONS, ETC., BEYOND THOSE NOTED ABOVE AS NECESSARY TO THOROUGHLY DETAIL/FABRICATE THEIR WORK. CONTACT ARCHITECT WITH ANY DISCREPANCIES FOUND OR IF ADDITIONAL WORKING POINT INFORMATION IS NEEDED.

IN NO CASE SHALL CHANGES BE MADE TO WORK SHOWN ON PLANS UNLESS FIRST APPROVED IN WRITING BY BOTH KOMP ENGINEERING, INC AND BY THE ARCHITECT. CONTRACTOR REQUESTING CHANGE WILL BE BILLED ON A TIME AND EXPENSE BASIS BY KOMP ENGINEERING, INC. FOR ALL REDESIGN WORK, FOR ALL NEW SKETCHES PREPARED, AND FOR ALL ADDITIONAL REVIEW TIME RELATED TO THE CHANGES.

BUILDING IS NOT DESIGNED FOR ANY FUTURE VERTICAL OR HORIZONTAL EXPANSION OR FOR ANY ADDITIONAL FUTURE LOADS (DRIFT, RTU'S, HIGH DENSITY FILE STORAGE, ETC.) UNLESS SPECIFICALLY SHOWN ON THESE STRUCTURAL DRAWINGS.

FOUNDATION:

MINIMUM BOTT OF FOOTING ELEVATION BELOW ADJACENT EXTERIOR GRADE SHALL BE 4'–0". NOTIFY ARCHITECT OF ANY FOOTING ELEVATION CHANGE REQUIRED IN ORDER TO PROVIDE 4'–0" FROST PROTECTION BEFORE PLACING FOOTINGS.

CONTRACTOR SHALL HIRE SOILS ENGINEER TO PERFORM THE FOLLOWING SERVICES:
– FIELD VERIFY 2000 PSF NET ALLOWABLE SOIL BEARING CAPACITY AT BASE OF ALL FOOTING EXCAVATIONS AND BELOW ALL SLABS ON GRADE.
– REVIEW REPRESENTATIVE 50 POUND SAMPLES OF PROPOSED FILL MATERIAL TO BE USED BELOW FOOTINGS AND/OR SLABS ON GRADE.
– MAKE FIELD DENSITY TESTS TO DETERMINE ADEQUACY OF COMPACTED FILL PLACED BELOW FOOTINGS AND SLABS ON GRADE:
  – MAKE AT LEAST ONE TEST PER ISOLATED FOOTING PER 24" OF FILL HEIGHT.
  – MAKE AT LEAST ONE TEST PER 100 LINEAR FEET OF STRIP FOOTING PER 24" OF FILL HEIGHT.
  – MAKE AT LEAST ONE TEST PER 2500 SQUARE FEET OF AREA PER LIFT, BUT IN NO CASE LESS THAN THREE TESTS PER LIFT FOR FILL BELOW SLABS ON GRADE.
  – ADVISE CONTRACTOR AND ARCHITECT THE SAME DAY ANY TEST IS MADE WHICH INDICATES FILL MATERIAL AND/OR COMPACTION DOES NOT COMPLY W/ PLANS AND SPECIFICATIONS.

REMOVE ANY EXISTING SOILS ENCOUNTERED BELOW SLABS AND FOOTINGS WHICH HAVE LESS THAN 2000 PSF NET ALLOWABLE SOIL BEARING CAPACITY. PLACE 3/4" CRUSHED STONE FILL COMPACTED TO 95% MODIFIED PROCTOR BELOW SLABS. USE 9" MAXIMUM LIFT. PLACE FILL PER DETAILS ON STRUCTURAL PLANS.

REMOVE ANY EXISTING CONCRETE ENCOUNTERED TO A POINT 2'–0" BELOW NEW SLABS AND FOOTINGS.

ALL BACKFILL WITHIN 3'–0" OF RETAINING WALLS SHALL BE FREE-DRAINING GRANULAR MATERIAL APPROVED BY SOILS ENGINEER AND COMPACTED TO 90% STANDARD PROCTOR.

CENTER PIER AND COLUMN FOOTINGS ON COLUMN CENTERLINES, AND CENTER WALL FOOTINGS ON WALL CENTERLINES, UNLESS SPECIFICALLY DIMENSIONED OTHERWISE.

PROVIDE 4'–0" x 4'–0" STOOP AT ALL EXTERIOR DOORS U.N.O. PROVIDE END WALL AND FOOTING BELOW STOOPS PER STRUCTURAL DETAILS.

MATERIAL STRENGTHS:

CONCRETE AT 28 DAYS:
– REFER TO SCHEDULE IN "REINFORCED CONCRETE" THIS SHEET.

REINFORCING STEEL:
– f_y = 60,000 PSI PER ASTM A615 GRADE 60

SOIL BEARING PRESSURE:
– 2000 PSF NET ALLOWABLE SOIL BEARING CAPACITY. CONTRACTOR TO HIRE SOILS ENGINEER TO FIELD VERIFY SOIL BEARING CAPACITY BEFORE FOOTINGS ARE PLACED. PROVIDE WRITTEN VERIFICATION TO ARCHITECT UPON REQUEST.

REINFORCED CONCRETE:

ALL CONCRETE WORK SHALL CONFORM TO ACI 318 AND ACI 301. REINFORCING, DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO ACI 315, MANUAL OF STANDARD PRACTICE (LATEST EDITIONS). SHOP DRAWINGS SHALL BE STATED IN TERMS OF ENGLISH UNITS (FEET AND INCHES); NOT METRIC UNITS.

CONTRACTOR SHALL PROVIDE AND COORDINATE WITH ALL OTHER TRADES FOR SIZE AND LOCATIONS OF ALL OPENINGS, SLEEVES, CURBS, EMBEDS, REVEALS, BLOCK OUT, DRIPS, FINISHES, DEPRESSIONS ETC. OCCURRING IN CONCRETE WORK. NO PIPE OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED OR APPROVED BY STRUCTURAL ENGINEER.

PROVIDE ADDITIONAL BENT BARS, OF SAME SIZE AND SPACING AS HORIZONTAL BARS, AT ALL WALL AND FOOTING CORNERS AND INTERSECTIONS.

SLABS ON GRADE SHALL HAVE 6x6–W1.4xW1.4 WELDED WIRE REINFORCING MESH UNLESS OTHERWISE NOTED. USE FLAT SHEET STOCK. ALL MESH SHALL BE LAPPED A MINIMUM OF 12". LOCATE MESH 1 1/2" FROM TOP OF SLAB. REINFORCE WITH TWO (2)–#5 3'–0" LONG, AT RE-ENTRANT (INSIDE) CORNERS.

PROVIDE 1/2" APPROVED EXPANSION JOINT MATERIAL WHERE SLABS ABUT WALLS, COLUMNS AND OTHER VERTICAL SURFACES UNLESS OTHERWISE SHOWN ON PLANS.

PROVIDE POUR STOPS AS REQUIRED.

A MINIMUM OF 60 DAYS AFTER PLACEMENT OF SLABS ON GRADE, BUT BEFORE PLACEMENT OF ANY FLOOR FINISHES, CONTRACTOR SHALL REPAIR ALL DEFECTS IN SLABS. DEFECTS INCLUDE CRACKS, BUMPS, AND CURLING. REPAIR SHALL CONSIST OF EPOXY INJECTION OF CRACKS, GRINDING OF HIGH SPOTS, AND INSTALLATION OF LEVELING MATERIAL AT LOW POINTS IN SLAB SURFACE.

MAXIMUM LENGTH OF CONCRETE WALL POUR IS 60 FEET. PROVIDE KEYED CONSTRUCTION JOINT WITH HORIZONTAL WALL REINFORCEMENT CONTINUOUS THRU JOINT. WATER STOPS SHALL BE PROVIDED FOR RETAINING WALLS AND BASEMENT WALLS. PROVIDE MASONRY CJ'S IN LINE WITH CONCRETE WALL CJ'S.

SPLICES IN CONTINUOUS REINFORCING: ALL BARS SHALL BE CLASS "B" LAP SPLICED UNLESS OTHERWISE NOTED; DIMENSION LENGTHS OF ALL LAP SPLICES ON SHOP DRAWINGS; COLUMN TIES SHALL BE SUCCESSIVELY STAGGERED 90 DEGREES OR 180 DEGREES.

TEST CYLINDERS: CONTRACTOR SHALL RETAIN A MATERIALS TESTING LABORATORY TO CAST AND TO TEST CONCRETE CYLINDERS. ALL TESTING SHALL BE IN ACCORDANCE WITH ACI 318.83 SECTION 4.7. RESULTS OF CYLINDER TESTS SHALL BE SUBMITTED TO ENGINEER AND TO CONCRETE SUPPLIER. IN NO CASE SHALL ANY BACKFILL BE PLACED AGAINST WALLS UNTIL TESTS REVEAL WALLS AND FOOTINGS HAVE REACHED A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.

AT A MINIMUM, CONCRETE TEST REPORTS SHALL STATE: 7 DAY COMPRESSIVE STRENGTH, 28 DAY COMPRESSIVE STRENGTH, AIR CONTENT, SLUMP, AMOUNT OF WATER ADDED ON JOBSITE, MIX USED, AND LOCATION OF THE CONCRETE TESTED.

ALL CONCRETE TEST REPORTS SHALL EXPLICITLY STATE WHETHER OR NOT THE TEST RESULTS COMPLY w/ PLANS AND SPECIFICATIONS. ANY TEST NOT COMPLYING SHALL BE REPORTED TO THE ENGINEER AND TO THE CONCRETE SUPPLIER BY PHONE OR FAX THE SAME DAY THE FAILING RESULTS ARE DETERMINED.

MIX PROPORTIONING: FURNISH READY-MIXED CONCRETE IN ACCORDANCE WITH THE FOLLOWING:

TYP OF CONSTRUCTION	MIN COMP STRENGTH AT 28 DAYS (PSI)	MIN COMP STRENGTH AT 7 DAYS (PSI)	MAX SLUMP (INCHES)	MAX AGG. (INCHES)	MIN CEMENT BAGS (C.Y.)	AIR ENTRAINED
FOOTINGS, FOUNDATION WALLS	3000	2100	4"	1.5	5.0	NO
INTERIOR SLABS ON GRADE	4000	2800	4"	1.5	5.75	NO
EXTERIOR SLABS	4000	2800	4"	0.75	6.0	YES 6.5%
ALL OTHER CONCRETE	3000	2100	4"	0.75	5.0	NO

CLASS C FLY ASH OR SLAG MAY BE USED AS A POUND FOR POUND REPLACEMENT OF CEMENT UP TO 10% OF THE TOTAL CEMENTITIOUS CONTENT.

WATER/CEMENT RATIO OF CONCRETE USED ON INTERIOR SLABS, INCLUDING PRECAST TOPPING, SHALL NOT EXCEED 0.47. WATER/CEMENT RATIO OF CONCRETE USED IN EXTERIOR SLABS SHALL NOT EXCEED 0.42.

ALL SLABS SHALL BE WET-CURED PER ACI RECOMMENDATIONS FOR NO LESS THAN SEVEN DAYS.

CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN ANY CONCRETE MIX

ALL OPENINGS THROUGH CONCRETE WALLS AND SLABS SHALL HAVE 2–#5 BARS PLACED ALONG EACH FACE AND EXTENDING 2'–0" BEYOND CORNERS UNLESS OTHERWISE NOTED. PROVIDE (2)–#5 x 4'–0" DIAGONAL BAR AT EACH CORNER PLACED IN EACH FACE OF WALL OR SLAB.

PIPE OR ELECTRICAL CONDUIT EMBEDDED IN CONCRETE SHALL NOT BE LARGER IN OUTSIDE DIAMETER AT ITS WIDEST POINT, (OR FITTING) THAN 2 INCHES OR 1/3 THE THICKNESS OF THE SLAB OR WALL, WHICHEVER IS SMALLER.

SLEEVES, CONDUITS, AND PIPES EMBEDDED IN OR PASSING THROUGH SLABS AND WALLS SHALL BE LOCATED AND PLACED SO THAT:
1. THEY ARE NOT CLOSER THAN THREE DIAMETERS OR WIDTHS ON CENTER.
2. THE CONCRETE COVER IS NOT LESS THAN 1–1/2 INCHES.
3. THEY RUN BETWEEN REINFORCING AND DO NOT DISPLACE IT IN ANY MANNER.

CONCRETE COVER FOR REINFORCEMENT SHALL CONFORM TO SECTION 7.7 OF ACI 318.83. UNLESS NOTED OTHERWISE:

WALLS:	OUTSIDE FACE	1 1/2"
	INSIDE FACE	3/4"
PIERS (OVER TIES AND STIRRUPS)		1 1/2"
FOOTINGS:	TOP	2"
	SIDES	2"
	BOTTOM	3"

VIBRATION: CONCRETE SHALL BE PLACED WITH THE AID OF MECHANICAL VIBRATING EQUIPMENT, AND SHALL BE APPLIED DIRECTLY TO THE CONCRETE. THE INTENSITY OF VIBRATION SHALL BE SUFFICIENT TO CAUSE FLOW OR SETTLEMENT OF THE CONCRETE IN PLACE. VIBRATION SHALL BE APPLIED AT THE POINT OF DEPOSIT & IN THE AREA OF FRESHLY PLACED CONCRETE. IT SHALL BE OF SUFFICIENT DURATION TO ACCOMPLISH THOROUGH COMPACTION OR COMPLETE EMBEDDMENT OF THE MIX. IT SHALL SECURE EVEN AND DENSE SURFACES FREE FROM AGGREGATE POCKETS OR HONEYCOMB.

CONCRETE SURFACE REPAIRS: REPAIR AND PATCH DEFECTIVE AREAS WITH PROPRIETARY PATCHING COMPOUND IMMEDIATELY AFTER REMOVAL OF FORMS, BUT ONLY WHEN AND AS ACCEPTABLE TO ENGINEER. RESURFACE HONEYCOMBS, ROCK POCKETS AND VOIDS OVER 1/4" IN ANY DIMENSION THOROUGHLY CLEAN AND DAMPEN THE AREA TO BE RESURFACED WITH WATER THEN APPLY PROPRIETARY PATCHING COMPOUND APPROVED BY ARCHITECT.

FLOOR FLATNESS/LEVELNESS TOLERANCES:
CONCRETE FLOOR SLAB SURFACES SHALL CONFORM TO THE FOLLOWING SPECIFIED VALUES:

CONSTRUCTION ON GRADE
CARPETED AREAS F_F = 26 F_L = 20
ALL OTHER AREAS F_F = 35 F_L = 25

F_F AND F_L – VALUES SHALL BE OBTAINED IN ACCORDANCE w/ ACI PROCEDURES.

CLADDING BACKUP SYSTEM AND LIGHTGAGE STEEL FRAMING:

ALL STUD AND JOIST FRAMING MEMBERS, RUNNERS, END TRACKS, BRIDGING AND DIAGONAL BRACING SHALL BE OF THE TYPE, SIZE AND GAUGE SHOWN ON THE PLANS WITH MINIMUM STEEL STRENGTH AND SECTION PROPERTIES AS MANUFACTURED BY THE CLARK STEEL FRAMING COMPANY. ANY ALTERNATIVE SHALL BE EQUAL OR BETTER AND SHALL BE APPROVED BY ENGINEER.

ALL LIGHT GAUGE STEEL FRAMING SHALL CONFORM TO THE AISI SPECIFICATION (LATEST EDITION) AND BE WELDED IN ACCORDANCE WITH AWS D1.3

SUBMIT STRUCTURAL DESIGN WITH SUPPORTING STAMPED CALCULATIONS, DETAILS, CONNECTIONS AND LAYOUT PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN WISCONSIN. MEMBER SIZES SHOWN ARE MINIMUM AND SHALL BE INCREASED AS REQUIRED BY DESIGN. NO EXTRAS WILL BE PAID FOR PROVIDING SIZES GREATER THAN MINIMUMS SHOWN ON PLANS. ALL CONNECTIONS SHALL CONFORM TO MANUFACTURER'S REQUIREMENTS. CONNECTIONS, INCLUDING STEEL ANGLE TO STUD, BOTTOM TRACK TO STUD, WIND DIAGONAL BRACE TO STUD AND STRUCTURE, ETC. SHALL BE WELDED. USE OF SCREWS IS NOT ALLOWED, UNLESS APPROVED IN WRITING BY ARCHITECT/ENGINEER.

SHOP DRAWINGS SHALL BEAR THE NAME, ADDRESS, PHONE NUMBER, AND FAX NUMBER OF THE BACK-UP SYSTEM DESIGNER. SHOP DRAWINGS MUST CONTAIN ALL BUILDING ELEVATIONS. SHOP DRAWINGS MUST ALSO CONTAIN SECTIONS AT ALL FLOOR AND ROOF CONDITIONS. ALL SECTIONS MUST BE CUT ON SHOP DRAWING ELEVATIONS. USE A NUMBERING SYSTEM DIFFERENT FROM THAT USED ON THE ARCHITECTURAL/STRUCTURAL PLANS.

ALL EXTERIOR MEMBERS SHALL BE 16 GA, OR HEAVIER AND MEET THE MINIMUM REQUIREMENTS OF ASTM C955, GRADE D WITH A MINIMUM YIELD OF 50,000 PSI.

ALL TRACKS, BRIDGING AND ACCESSORIES SHALL MEET THE REQUIREMENTS OF ASTM C955, GRADE A WITH A MINIMUM YIELD OF 33,000 PSI.

ALL MATERIAL SHALL HAVE A MINIMUM G90 GALVANIZED COATING MEETING THE REQUIREMENTS OF ASTM A525.

WALL STUDS SHALL BE DESIGNED FOR L/720 DEFLECTION BASED ON STUD ACTING ALONE AT BRICK VENEER AND L/360 DEFLECTION FOR OTHER CLADDING MATERIALS.

COLD FORMED STEEL DESIGNER SHALL MAKE PERIODIC ON-SITE INSPECTIONS TO INSURE CONSTRUCTION CONFORMS TO DESIGN AND SUBMIT WRITTEN VERIFICATION TO THE ARCHITECT/ENGINEER UPON REQUEST.

PROVIDE BRIDGING NOT TO EXCEED 5' o/c. FOR NON-BEARING WALLS AND 3'–4" o/c FOR BEARING WALLS.

DIAGONAL X-BRACING ASSEMBLIES SHALL BE INSTALLED WHERE SHOWN ON THE PLANS. CONTINUOUS BRIDGING SHALL BE INSTALLED OVER ENTIRE LENGTH OF BUILDING INCLUDING THRU DOORWAYS UNTIL DRYWALL IS INSTALLED ON THESE WALLS. REMOVE BRIDGING AT DOORWAYS AFTER DRYWALL IS INSTALLED.

CONTINUOUS HORIZONTAL BRIDGING, STEEL STUD TRACKS, LOAD DISTRIBUTION MEMBERS AND DIAGONAL BRACING ARE PERMANENT, SHALL BE INSTALLED BEFORE STEEL JOISTS AND WOOD ROOF TRUSSES AND SHALL BE NOT DAMAGED OR REMOVED.

AT STEEL STUD BEARING WALLS, ALL STEEL TRUSSES SHALL BEAR DIRECTLY OVER A STEEL STUD EXCEPT AT LINTELS OVER OPENINGS OR ON LOAD DISTRIBUTION MEMBERS OVER STEEL STUDS.

PROVIDE SLIDE CLIPS OR SLIP TRACKS WHERE STUDS ARE SUPPORTED AT THEIR BASE AT ONE LEVEL AND AT THE TOP BY A DIFFERENT LEVEL.

DESIGN, SUPPLY, AND INSTALL ANY HOT ROLLED OR COLD ROLLED SECTION NEEDED TO PROVIDE A COMPLETE CLADDING BACK-UP SYSTEM.

DESIGN OF THE BUILDING SUPERSTRUCTURE IS ENTIRELY THE RESPONSIBILITY OF THE SUPPLIER. THIS INCLUDES THE DESIGN OF ALL ANCHOR BOLTS, EXTERIOR METAL PANELS, METAL PANEL WIND GIRTS, CONNECTION ANGLES AND HARDWARE FOR METAL PANELS, ETC. METAL BUILDING DRAWINGS SHALL SPECIFICALLY DETAIL ANCHOR BOLT TYPE, QUANTITY, LOCATIONS, EMBEDMENT, HOOKS/STUDS, PROJECTIONS, ETC.

CONTRACTOR SHALL COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL LOADS WITH METAL BUILDING DESIGNER.

BUILDING DESIGN SHALL BE FOR LOADS STATED ON THE STRUCTURAL PLANS, AS WELL AS FOR CODE MINIMUMS. DETERMINED BY THE METAL BUILDING SUPPLIER.

CONTRACTOR SHALL DETERMINE SUPPLIER OF ALL MATERIALS.

ALL SHOP DRAWING PLANS SHALL BE TO SCALE AND SHALL UTILIZE THE SCALE USED ON THE STRUCTURAL DRAWINGS. ALL PLANS SHALL SHOW A NORTH ARROW. PLANS SHALL INCLUDE A COLUMN GRID (IN TWO DIRECTIONS) AND SHALL STATE WHAT THE GRID LINE IS TO (E.G., COLUMN CENTERLINE, FACE OF COLUMN, ETC.). COLUMN WIDTH AND DEPTH AT SLAB ON GRADE LEVEL MUST BE SPECIFICALLY SHOWN ON PLANS.

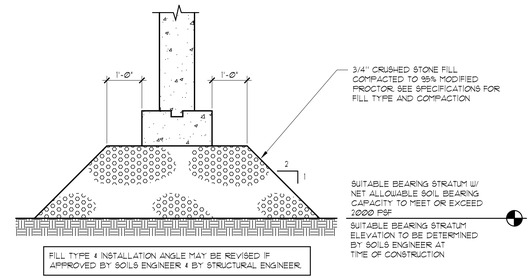
ANCHOR BOLTS SHALL BE THREADED AT THE BOTTOM AND SHALL HAVE A NUT AND WASHER TACK WELDED AT THE EMBEDDED END.

SHOP DRAWINGS SHALL INCLUDE DETAILS OF ALL COLUMN SETTINGS AND SHALL STATE: BASE PLATE SIZE AND LOCATION, ANCHOR BOLT SIZE, LENGTH, AND LOCATION.

PROVIDE LIGHT GAGE SHOP DRAWINGS SHOWING:
– ALL MEMBER SIZES, LOCATIONS, AND ELEVATIONS.
– ANCHOR BOLT SIZES, LENGTHS, HOOKS, STEEL TYPE, AND LOCATIONS.
– BLOWUP DETAILS OF MEMBER CONNECTIONS
– SHOP DRAWINGS SHALL BE DRAWN TO THE SAME SCALE AS THE STRUCTURAL PLANS. SHOP DRAWINGS SHALL CONTAIN A NORTH ARROW.
– LIGHT GAGE DESIGN SHALL ACCOUNT FOR ALL LIVE LOADS SPECIFIED BY CODE BUT SHALL IN NO CASE BE LESS THAN 30 PSF LIVE LOAD.

ALTERNATE FOUNDATION DETAILS

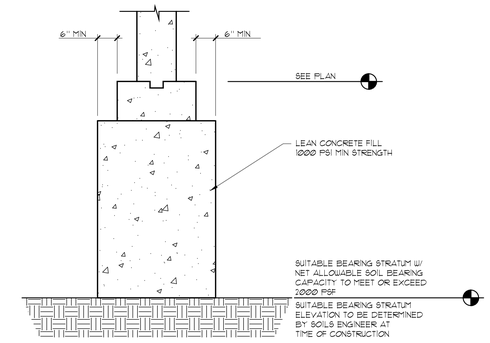
USE "A" (OR, AT CONTRACTOR'S OPTION, "B") ONLY IF SOILS W/ LESS THAN 2000 PSF BEARING CAPACITY ARE ENCOUNTERED BELOW B/FTG ELEVATION...

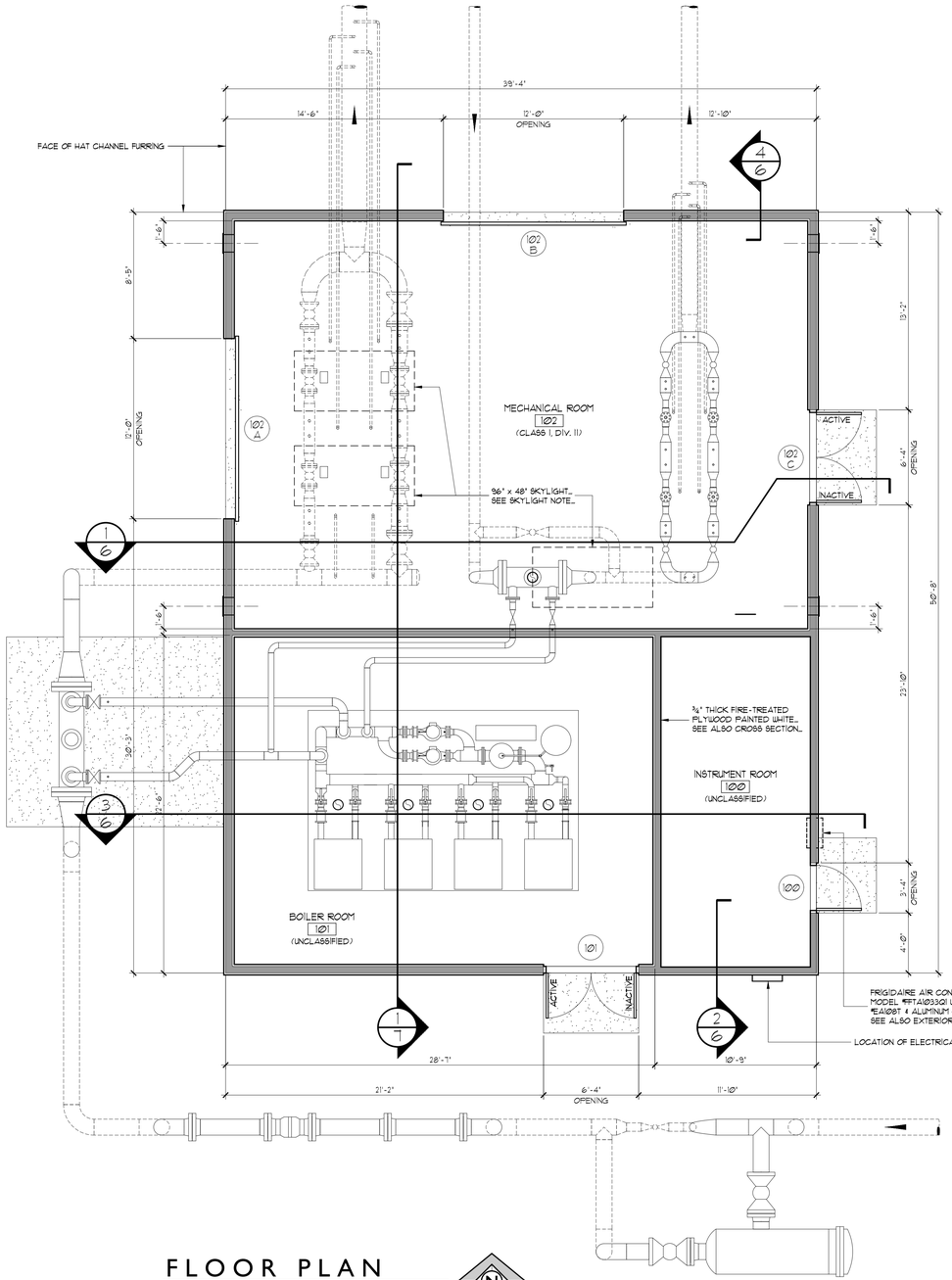


GRANULAR SOIL FILL BELOW FOOTING (A)

NO SCALE

CONTRACTOR SHALL HIRE SOILS ENGINEER TO INSPECT FOOTING EXCAVATIONS AND TO FIELD VERIFY REQUIRED ALLOWABLE SOIL BRG CAPACITY. IF SUITABLE BRG STRATUM DOES NOT EXIST AT FOOTING ELEVATIONS STATED ON THE STRUCTURAL PLANS, EXCAVATIONS SHALL BE EXTENDED UNTIL SOIL W/ ASSUMED BRG CAPACITY IS REACHED. PLACE COMPACTED FILL OR LEAN CONCRETE BELOW FOOTINGS OR EXTEND FOOTINGS DOWN TO SUITABLE BRG STRATUM. NO ADDITIONAL FOUNDATION WORK SHALL BE UNDERTAKEN BEFORE BEING APPROVED BY THE ARCHITECT AND THE OWNER.


6" MIN
6" MIN
SEE PLAN
LEAN CONCRETE FILL 1000 PSI MIN STRENGTH
SUITABLE BEARING STRATUM W/ NET ALLOWABLE SOIL BEARING CAPACITY TO MEET OR EXCEED 2000 PSF
SUITABLE BEARING STRATUM ELEVATION TO BE DETERMINED BY SOILS ENGINEER AT TIME OF CONSTRUCTION
THIS DETAIL MAY BE USED AS CONTRACTOR'S OPTION, SUBJECT TO APPROVAL OF SOILS ENGINEER.



FLOOR PLAN

SCALE: ¼" = 1'-0"

NOTE:
LIGHTGAGE METAL SUPPLIER IS RESPONSIBLE FOR THE DESIGN OF ALL WORK ABOVE FOUNDATION.

SKYLIGHT

UNITS SHALL BE FIXED THERMOFORMED ACRYLIC DOUBLE DOMED W/ EXTRUDED INSULATED CURB SIMILAR TO Wasco Products, Inc. "MODEL CS"..

SIZE OF SKYLIGHT AS INDICATED ON FLOOR PLAN..

COLOR TO BE AS SELECTED BY OWNER..

SKYLIGHT SHALL BE FACTORY TESTED TO SUPPORT, WITHOUT FAILURE, A 40 PSF POSITIVE AND 20 PSF NEGATIVE TEST PRESSURE..

SKYLIGHT SHALL HAVE INTEGRAL CONDENSATION GUTTER AND WEEP HOLES FOR DRAINING ANY MOISTURE OUTSIDE..

FURNISH AND INSTALL FLASHING AROUND SKYLIGHT UNIT IN ORDER TO PROVIDE WATERTIGHT CONSTRUCTION..

FOUNDATION NOTES

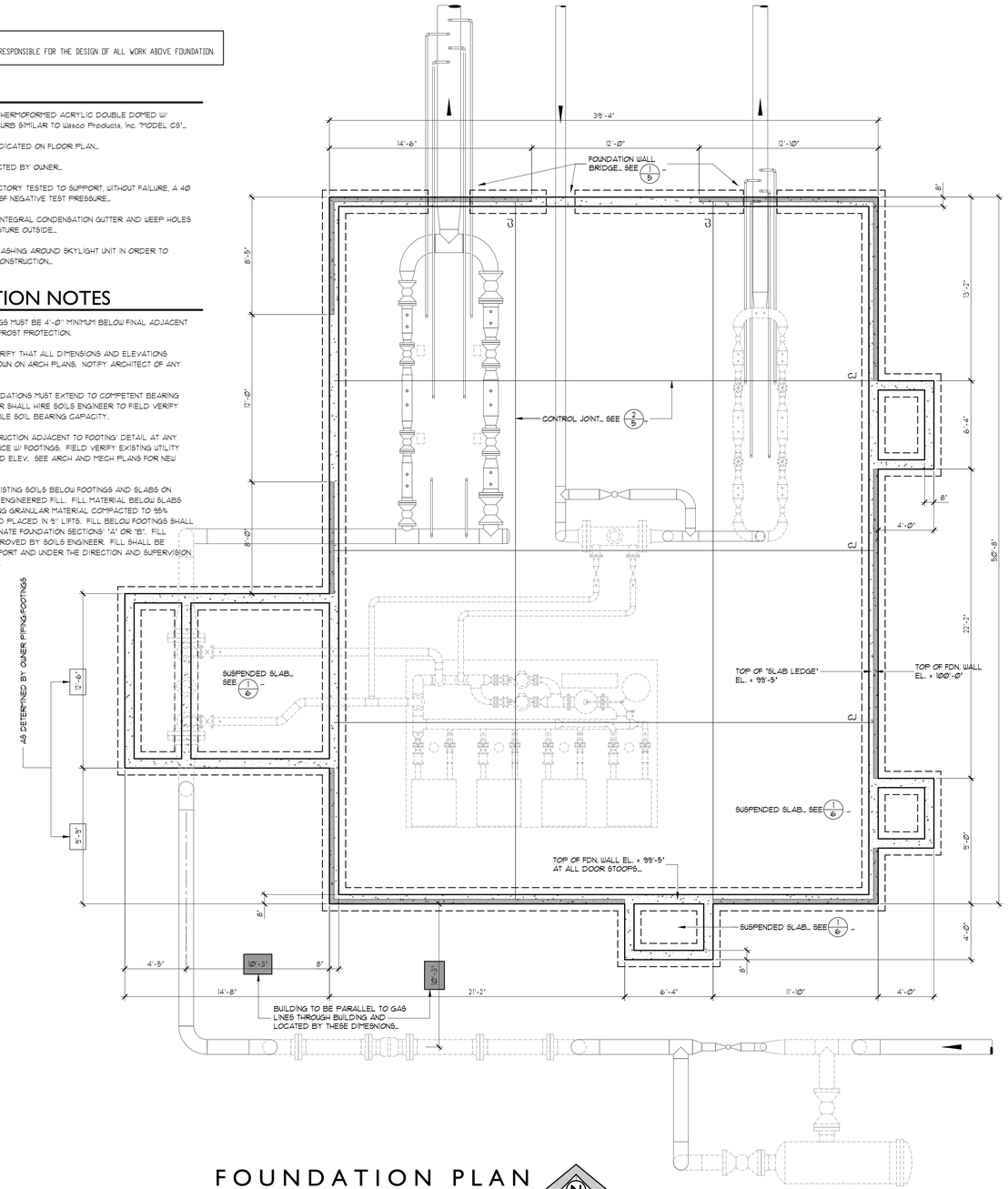
BOTTOM OF ALL FOOTINGS MUST BE 4'-0" MINIMUM BELOW FINAL ADJACENT EXTERIOR GRADE FOR FROST PROTECTION.

CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS AND ELEVATIONS CONFORM TO THOSE SHOWN ON ARCH PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES

EXCAVATIONS FOR FOUNDATIONS MUST EXTEND TO COMPETENT BEARING MATERIAL. CONTRACTOR SHALL HIRE SOILS ENGINEER TO FIELD VERIFY 2000 PSF NET ALLOWABLE SOIL BEARING CAPACITY.

FOLLOW 'BURIED CONSTRUCTION ADJACENT TO FOOTING' DETAIL AT ANY UTILITY LINE INTERFERENCE W/ FOOTINGS. FIELD VERIFY EXISTING UTILITY LINE SIZE, LOCATION, AND ELEV. SEE ARCH AND MECH PLANS FOR NEW UTILITY LINES.

REMOVE UNSUITABLE EXISTING SOILS BELOW FOOTINGS AND SLABS ON GRADE. REPLACE WITH ENGINEERED FILL. FILL MATERIAL BELOW SLABS SHALL BE FREE DRAINING GRANULAR MATERIAL COMPACTED TO 95% MODIFIED PROCTOR AND PLACED IN 9" LIFTS. FILL BELOW FOOTINGS SHALL BE AS SHOWN IN 'ALTERNATE FOUNDATION SECTIONS' 'A' OR 'B'. FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER. FILL SHALL BE PLACED PER SOILS REPORT AND UNDER THE DIRECTION AND SUPERVISION OF THE SOILS ENGINEER.



FOUNDATION PLAN

SCALE: ¼" = 1'-0"

Room Finish Schedule

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	SOUTH	EAST	WEST		
100	INSTRUMENT ROOM	SEALED CONCRETE	NONE	PAINTED GYPSUM BD.	PAINTED GYPSUM BD.	PAINTED GYP. BD. W/ PLYWOOD	PAINTED GYPSUM BD.	PAINTED GYPSUM BD.	
102	MECHANICAL ROOM	SEALED CONCRETE	NONE	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	EXPOSED STRUCTURE ABOVE	
103	BOILER ROOM	SEALED CONCRETE	NONE	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	PRE-FINISHED METAL SIDING	PAINTED GYPSUM BD.	

Door Schedule

NO.	DOOR SIZE	DOOR					FRAME				DETAILS	HARDWARE
		TYPE	MATERIAL	FINISH	GLASS	LOUVER	TYPE	MATERIAL	FINISH	GLASS		NOTE: ALL LOCKS TO BE KEYED TO WE-ENERGIES "ALE GC-1" KEY.. CONTRACTOR TO INSURE PROPER LOCKSET HARDWARE BY WORKING W/ AAA LOCK COMPANY 12th ST. MILWAUKEE, WI 414-342-1280
100	3'-0" WIDE x 7'-0" HIGH	FLUSH	18 GAUGE INSULATED HOLLOW MTL.	PAINT	—	—	2" WIDE JAMB & HEAD	16 GAUGE HOLLOW MTL.	PAINT	—	1/8 4/8 5/8 4/7	1½ PAIR BUTTS, PANIC EXIT HARDWARE W/ MORTISE LOCK DEVICE & LEVER TRIM, CLOSER W/ HOLD-OPEN, FULL WEATHERSTRIPPING, ALUMINUM THRESHOLD
101	PAIR OF 3'-0" WIDE x 7'-0" HIGH	FLUSH	18 GAUGE INSULATED HOLLOW MTL.	PAINT	—	24" WIDE x 24" HIGH	2" WIDE JAMB & HEAD	16 GAUGE HOLLOW MTL.	PAINT	—	2/8 3/8 5/8 5/7	EACH DOOR: 1½ PAIR BUTTS, PANIC EXIT HARDWARE W/ SURFACE MOUNTED VERT. ROD DEVICE, CLOSER W/ HOLD-OPEN, FULL WEATHERSTRIPPING, ALUMINUM THRESHOLD ACTIVE DOOR: NIGHT LATCH INACTIVE DOOR: DUMMY LEVER TRIM, ASTRGAL
102A	12'-0" WIDE x 8'-0" HIGH COILING DOOR	—	22 GAUGE INSULATED HOLLOW MTL.	PER MANUFACTURER	—	—	2" WIDE JAMB & HEAD	16 GAUGE HOLLOW MTL.	PAINT	—	1/9 2/9 3/9 6/7	
102B	12'-0" WIDE x 8'-0" HIGH COILING DOOR	—	22 GAUGE INSULATED HOLLOW MTL.	PER MANUFACTURER	—	—	2" WIDE JAMB & HEAD	16 GAUGE HOLLOW MTL.	PAINT	—	1/9 2/9 3/9 6/7	
102C	PAIR OF 3'-0" WIDE x 7'-0" HIGH	FLUSH	18 GAUGE INSULATED HOLLOW MTL.	PAINT	—	—	2" WIDE JAMB & HEAD	16 GAUGE HOLLOW MTL.	PAINT	—	2/8 3/8 5/8 5/7	EACH DOOR: 1½ PAIR BUTTS, PANIC EXIT HARDWARE W/ SURFACE MOUNTED VERT. ROD DEVICE, CLOSER W/ HOLD-OPEN, FULL WEATHERSTRIPPING, ALUMINUM THRESHOLD ACTIVE DOOR: NIGHT LATCH INACTIVE DOOR: DUMMY LEVER TRIM, ASTRGAL

RUDIE | FRANK ARCHITECTURE
920 GOOLD STREET
RACINE, WI 53402
262.634.5565

A PROPOSED REGULATION STATION FOR:

WE ENERGIES - LAKESHORE HP REG. STATION

C.T.H. "KR" & I-94 ■ KENOSHA, WI

PROJECT NO.
6-20
MAR. 30, 2020

REVISIONS

SHEET NO.
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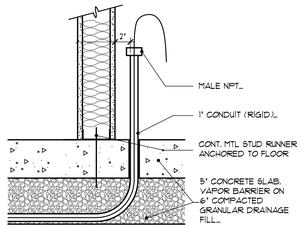
ELECTRICAL LEGEND

- $ — LIGHT SWITCH
- $3 — THREE-WAY LIGHT SWITCH
- EXP $3 — EXPLOSION PROOF THREE-WAY LIGHT SWITCH
- EXP $4 — EXPLOSION PROOF FOUR-WAY LIGHT SWITCH
- EXP — EXPLOSION PROOF DUPLEX OUTLET (12" AFF) AND EXTENSION CORD PLUG (PIGTAIL)
- DUPLEX OUTLET 12" AFF
- T — THERMOSTAT
- EXP — KILLARK LIGHTING "EML4530XGX" 45W LED EXPLOSION-PROOF LIGHT W/ GUARD (OR EQUAL)
- EXP — "KILLARK "KFL06030" DOWNWARD CASTING FLOOD LIGHT W/ WALL MOUNT IN COLOR AS SELECTED BY OWNER. (OR EQUAL)
- SURFACE MOUNTED 48" X 14" FLUORESCENT WRAPAROUND FIXTURE W/ 3T8 LAMPS, & ENERGY SAVING BALLAST. METALUX OR EQUAL.
- "E-CONOLIGHT E-HL6FIICS2" LIGHT FIXTURE W/ WALL MOUNT ("E-ACUM4DB") AND PHOTOCELL ("E-ACP1) (OR EQUAL) ON 2"Ø POLE. HEIGHT AS DETERMINED BY OWNER. SET IN 8" DIAMETER CONCRETE FOOTING.

ELECTRICAL NOTES

1. ALL CONDUIT FOR LIGHTING, POWER, ETC. TO BE SURFACE MOUNTED IN FINISHED AREA "ØØ".
2. UNDER FLOOR CONDUITS SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR FOR OWNER'S USE - NOT TO BE USED FOR ELECTRICAL LINES. ALL CONDUITS TO BE 1" UNLESS NOTED OTHERWISE.
3. ALL OUTLETS, SWITCHES & LIGHT FIXTURES IN MECHANICAL ROOM SHALL BE EXPLOSION PROOF.
4. SPACE ALL CONDUIT 4" O.C. & 4" AWAY FROM EXT. WALL.

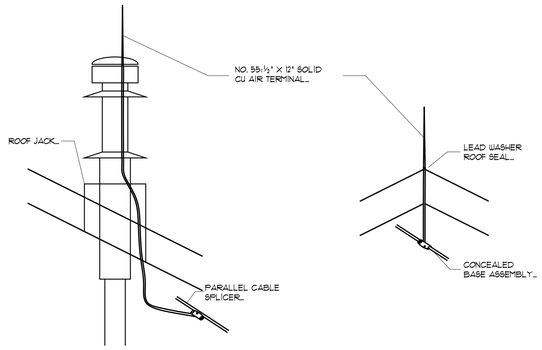


UNDER FLOOR INSTRUMENTATION CONDUIT 1'-Ø" ABOVE FLOOR SPACED 4" O.C. & 2" AWAY FROM WALL.

LOCATION OF UNDERGROUND CONDUIT TO BE PROVIDED BY OWNER.

CONDUIT PLAN (1)

SCALE: ¼" = 1'-Ø"

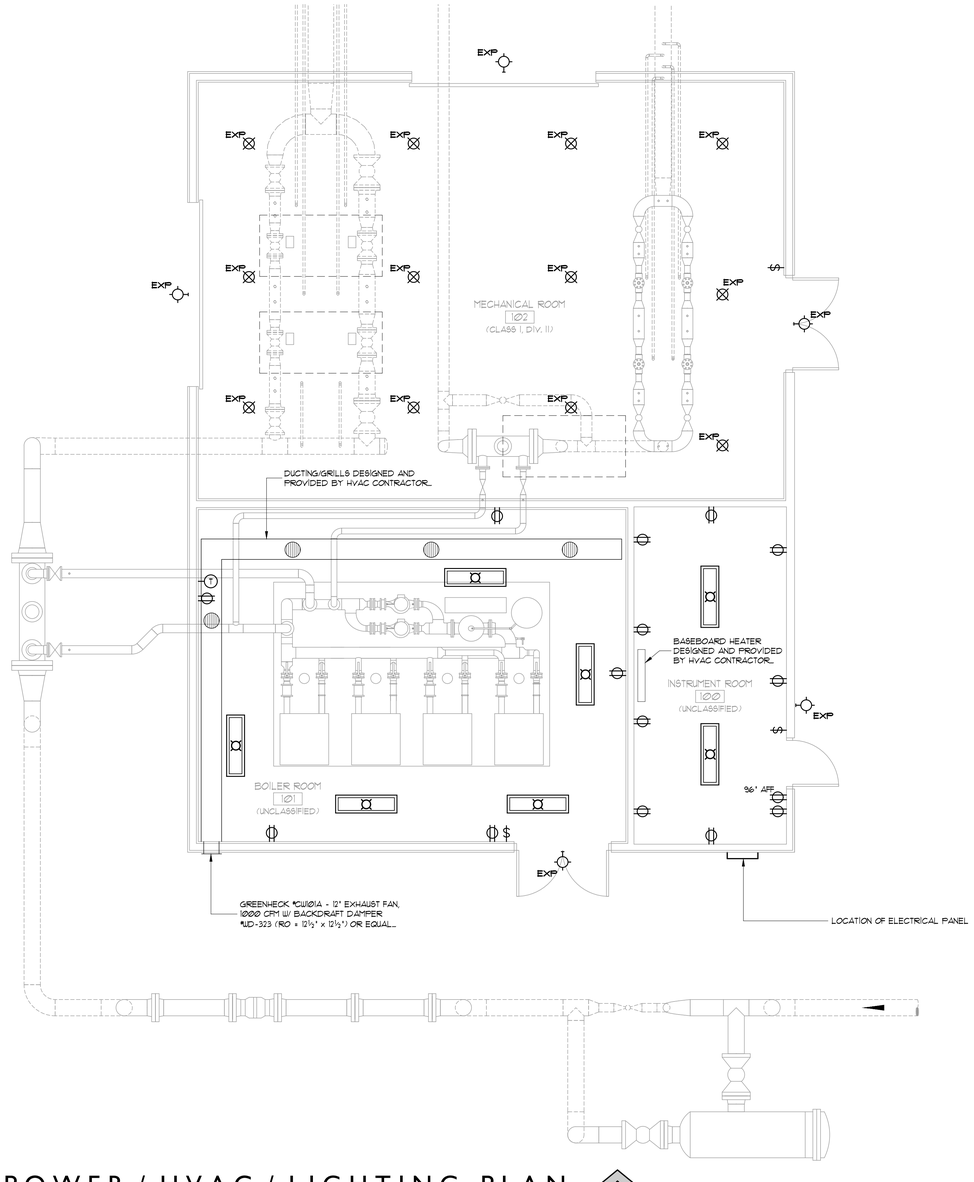


TYPICAL GROUNDING DETAILS (2)

SCALE: ¼" = 1'-Ø"

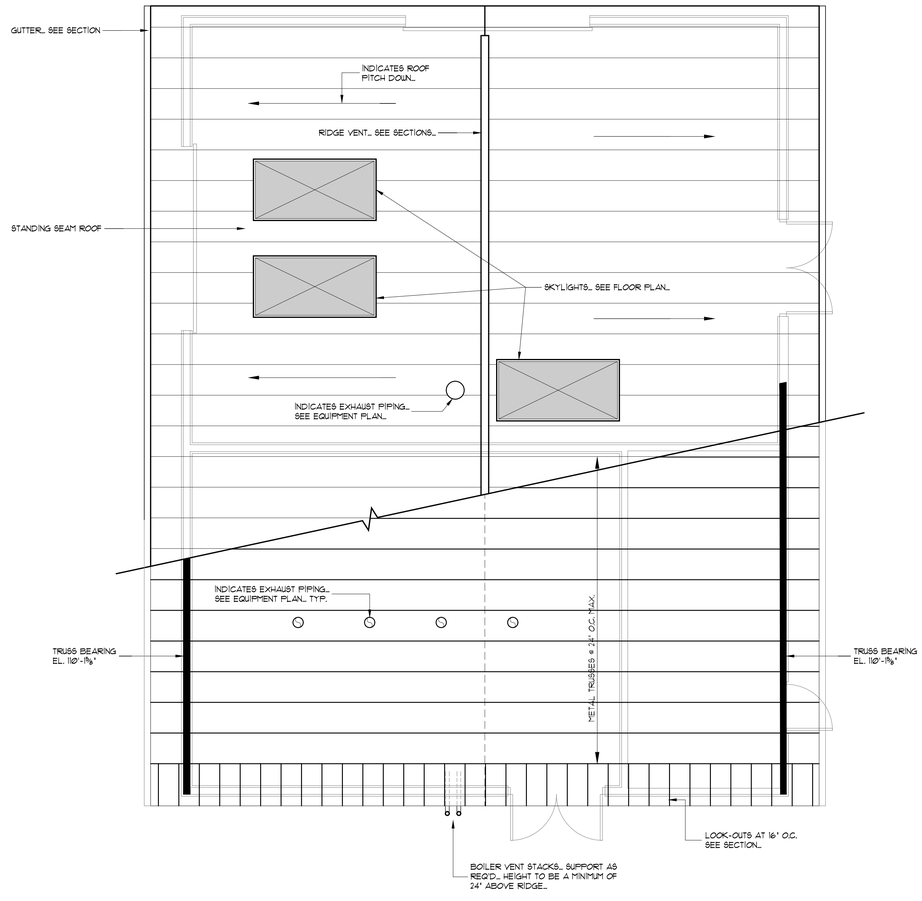
BUILDING GROUND SYSTEM

1) GENERAL/ELECTRICAL CONTRACTOR SHALL FURNISH, DESIGN, AND INSTALL A COMPLETE BUILDING GROUNDING SYSTEM BASED ON STATE AND LOCAL CODES AND THE FOLLOWING GUIDELINES.
2) PROVIDE 4# BARE COPPER WIRE LOOP 18" BELOW GRADE AND SPACED 48" AWAY FROM BUILDING.
3) INTERCONNECT TO ELECTRIC, TELEPHONE AND OTHER BUILDING GROUNDING SYSTEMS.
4) PROVIDE AIR TERMINAL PER EITHER OF THE DETAILS, SEE DETAIL #2 ON THIS SHEET. TAKE CARE TO INSURE THAT ALL POINTS ARE WITHIN 2'-Ø" OF OUTSIDE BUILDING EDGE, OUTSIDE CORNERS AND RIDGE ENDS, AND THAT MAXIMUM SPACING DOES NOT EXCEED 20'-Ø" AND THAT MINIMUM PROJECTION ABOVE OBJECT PROJECTED IS 10". (POINTS PROJECTING 24" MAY BE SPACED @ 25' MAX.)
5) MAINTAIN HORIZONTAL OR DOWNWARD COURSING OF MAIN CONDUCTOR AND INSURE THAT ALL BENDS HAVE AT LEAST AN 8" RADIUS AND DO NOT EXCEED 90 DEGREES.
6) ATTACH ALL EXPOSED ROOF, DOWN LEAD AND BONDING CABLES AT 3'-Ø" ON CENTER MAXIMUM, VERIFY COMPATIBILITY OF ADHESIVE ON MEMBRANE ROOF APPLICATIONS PRIOR TO INSTALLATION.
7) "AS-BUILT" DRAWING SHALL BE SUBMITTED IN ACCORDANCE WITH CERTIFICATION PROCEDURES.
8) ALL MATERIALS TO BE UNDERWRITER'S LABORATORIES APPROVED WITH LABELS ON CONNECTORS @ 1Ø'-Ø" INTERVALS AND LABELS ON ALL AIR TERMINALS.
9) PROVIDE A TAIL FOR CONNECTION TO EXISTING PLANT GROUNDING GRID. OWNER WILL EXTEND EXISTING GRID TO TAIL PROVIDED BY CONTRACTOR.
10) GROUND WIRES INSIDE OF THE BUILDING SHALL BE RUN IN 1" CONDUIT DOWN THE FACE OF THE WALL.



POWER / HVAC / LIGHTING PLAN

SCALE: ¼" = 1'-Ø"



ROOF FRAMING / ROOF PLAN

SCALE: ¼" = 1'-Ø"

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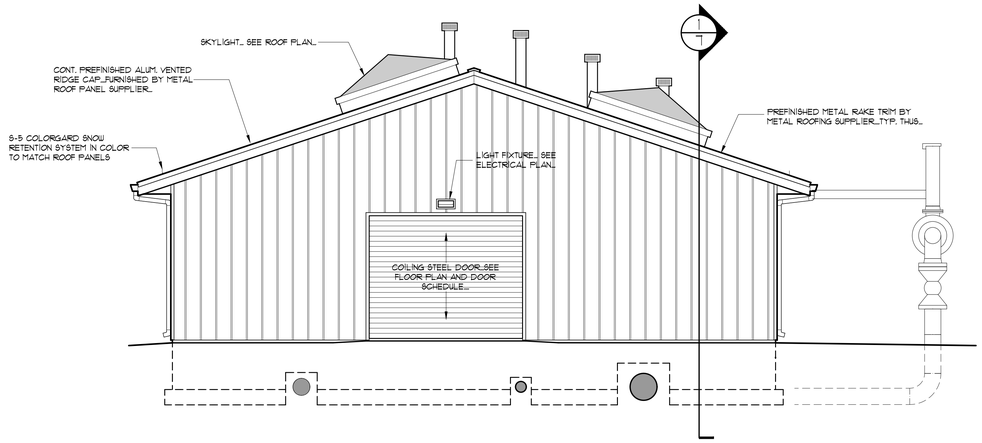
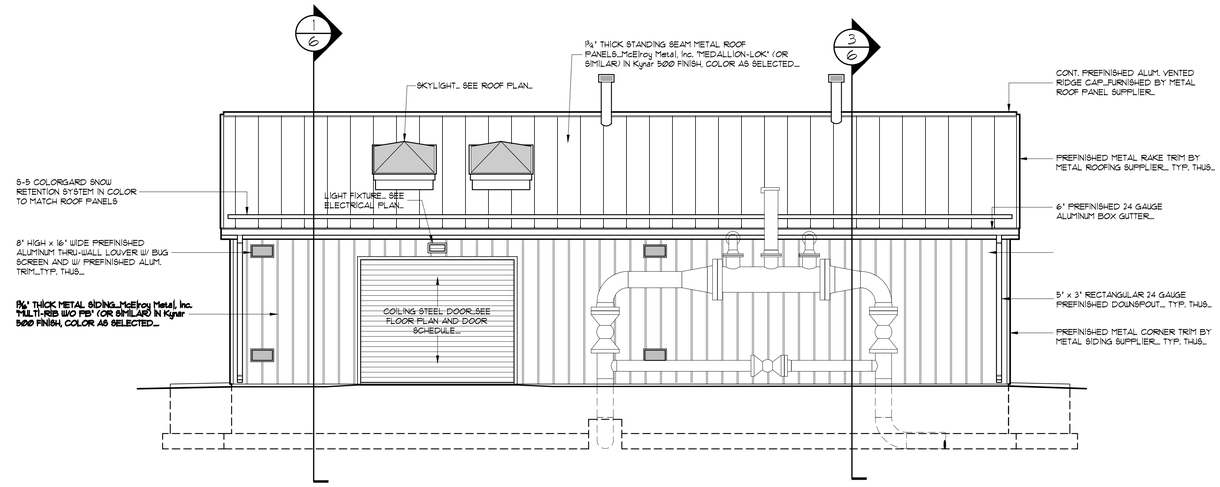


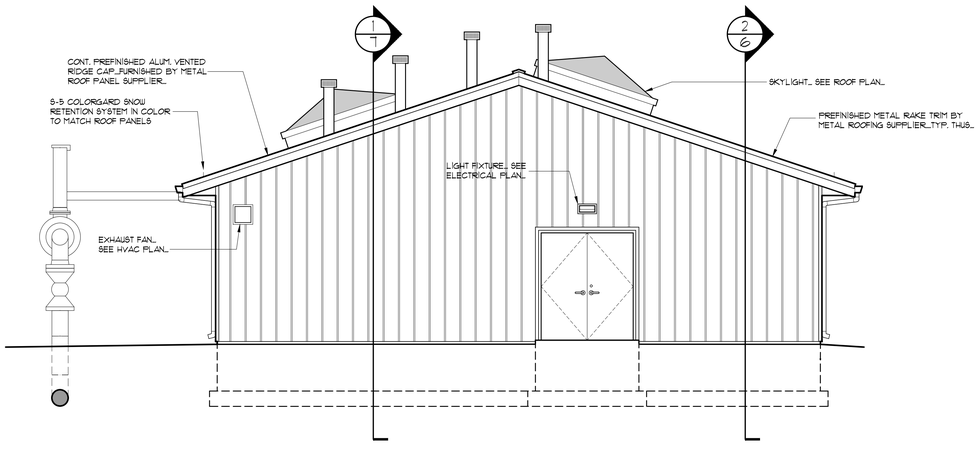
NORTH ELEVATION

SCALE: ¼" = 1'-0"



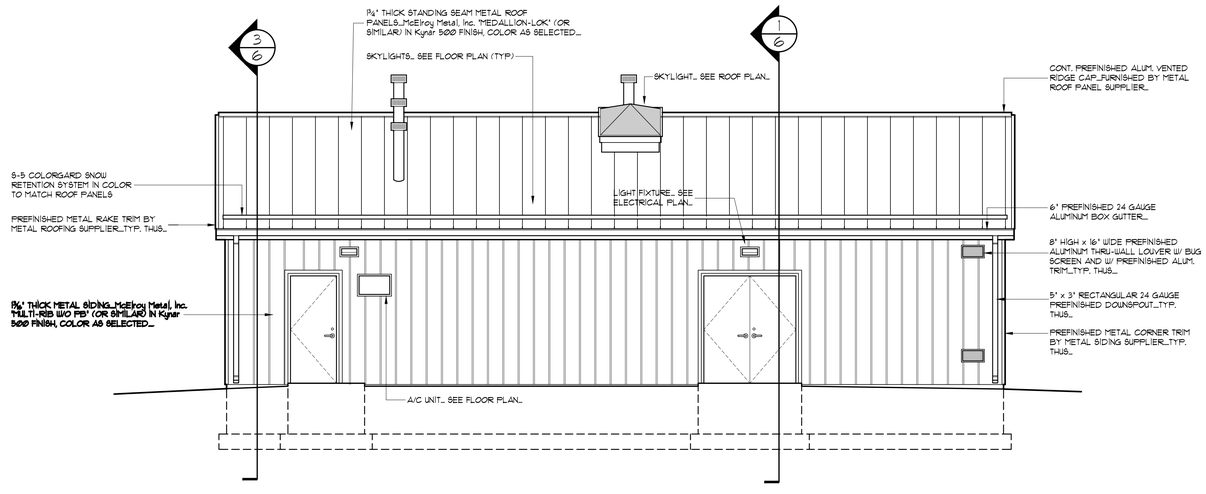
WEST ELEVATION

SCALE: ¼" = 1'-0"



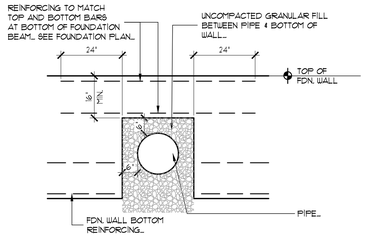
SOUTH ELEVATION

SCALE: ¼" = 1'-0"



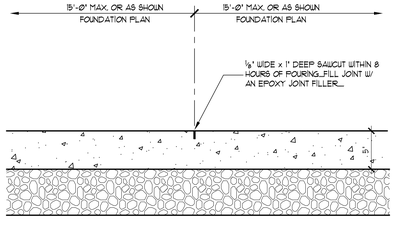
EAST ELEVATION

SCALE: ¼" = 1'-0"



FOUNDATION WALL BRIDGE (1)

SCALE: ½" = 1'-0"



SLAB CONTROL JOINT DTL. (2)

SCALE: 1½" = 1'-0"

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RACINE, WI 53402
262.634.5565

A PROPOSED REGULATION STATION FOR:

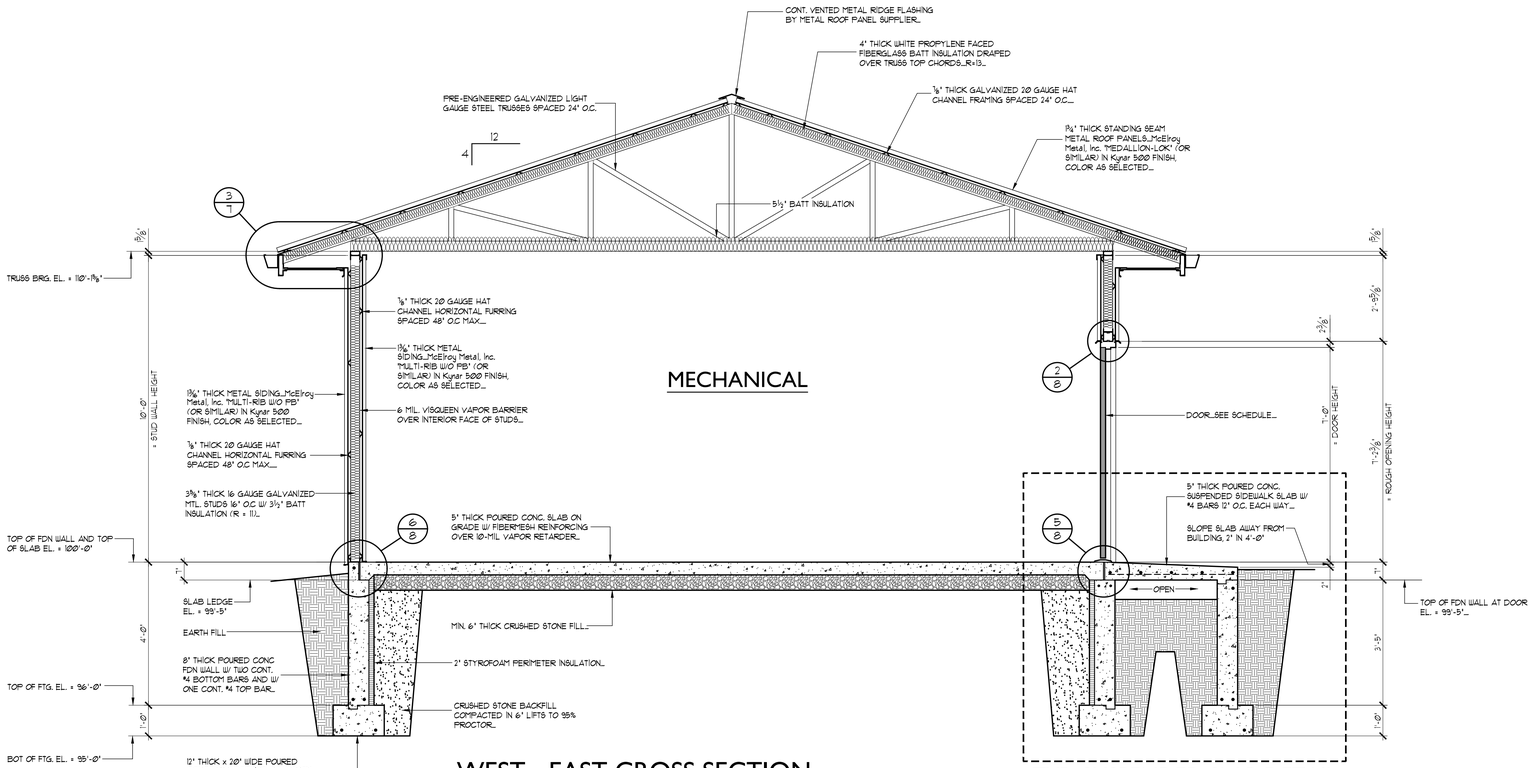
WE ENERGIES - LAKESHORE HP REG. STATION

C.T.H. "KR" & I-94 ■ KENOSHA, WI

PROJECT NO.
6-20
MAR. 30, 2020

REVISIONS

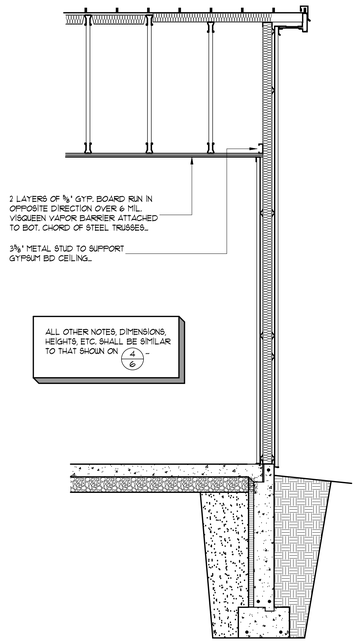
SHEET NO.
5



WEST - EAST CROSS SECTION THROUGH MECHANICAL ROOM (1)

SCALE: ½" = 1'-0"

TYP. SUSPENDED SLAB DETAIL



INSTRUMENT ROOM ENDWALL SECTION (2)

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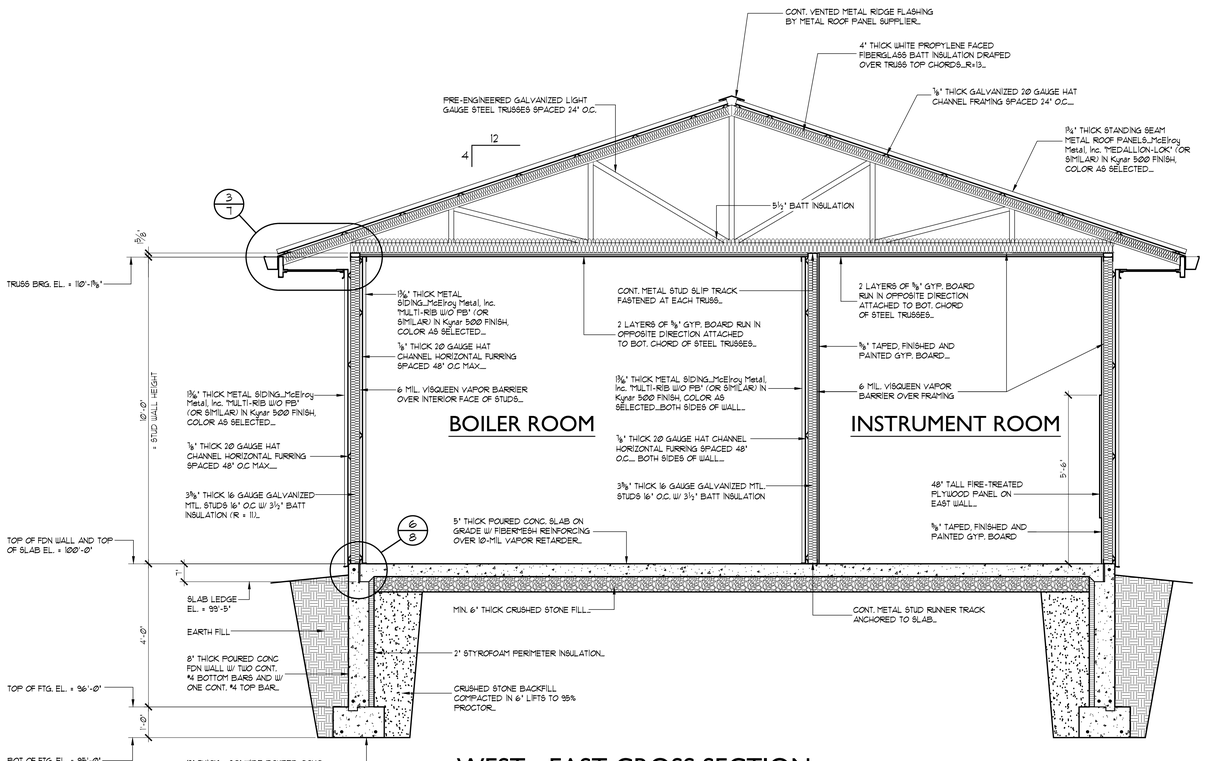
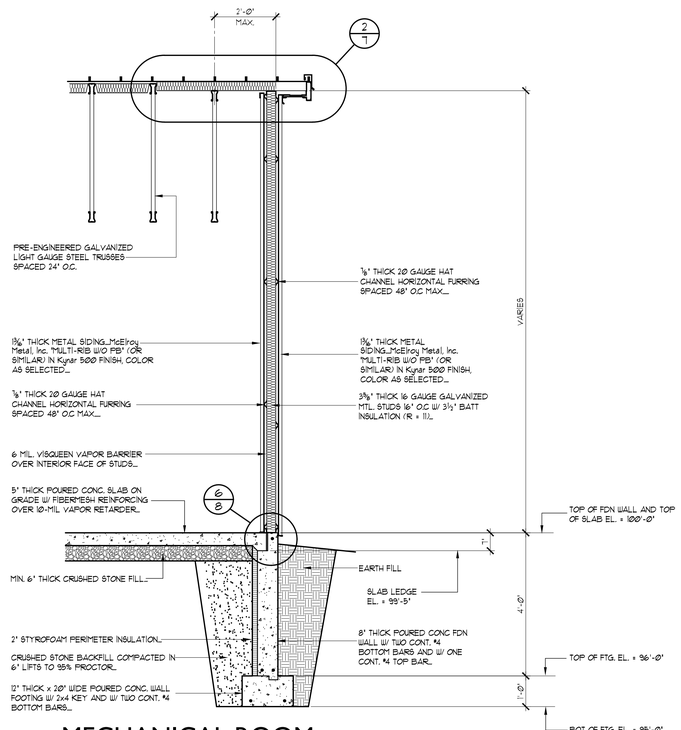


WEST - EAST CROSS SECTION THROUGH BOILER & INSTRUMENT ROOM (3)

SCALE: ½" = 1'-0"



MECHANICAL ROOM ENDWALL SECTION (4)

SCALE: ½" = 1'-0"

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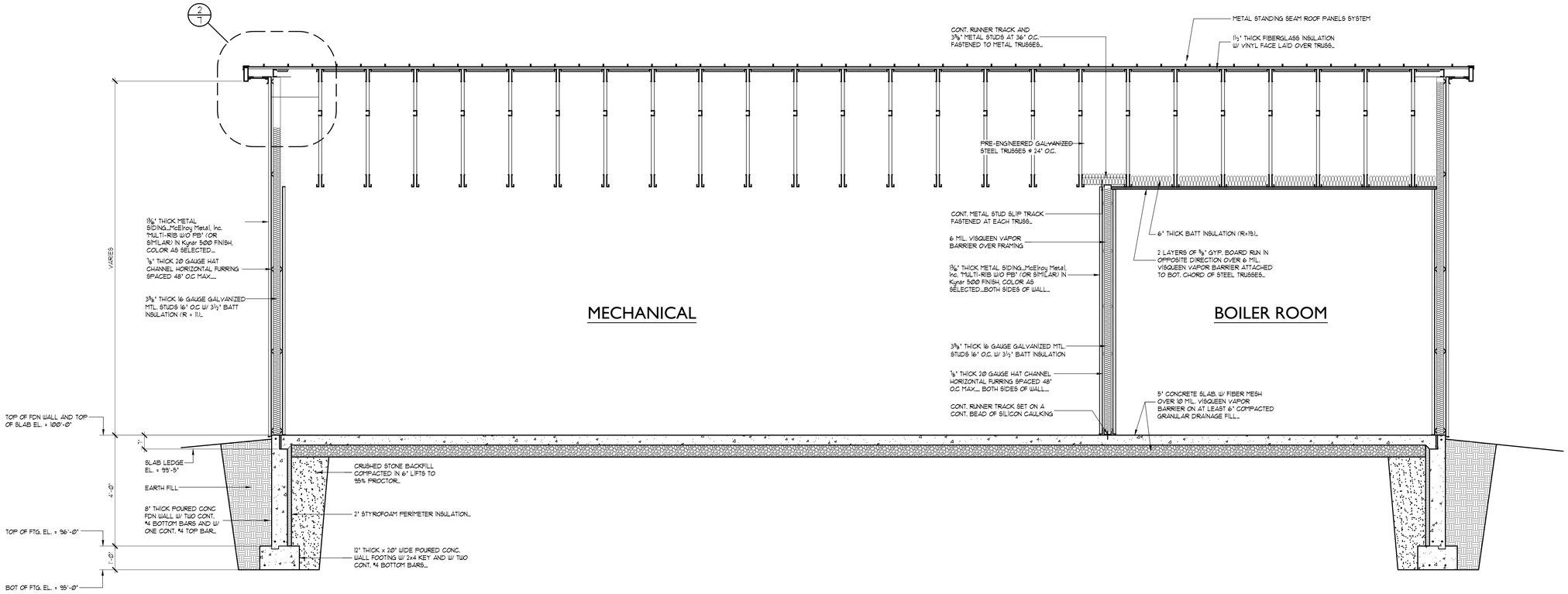
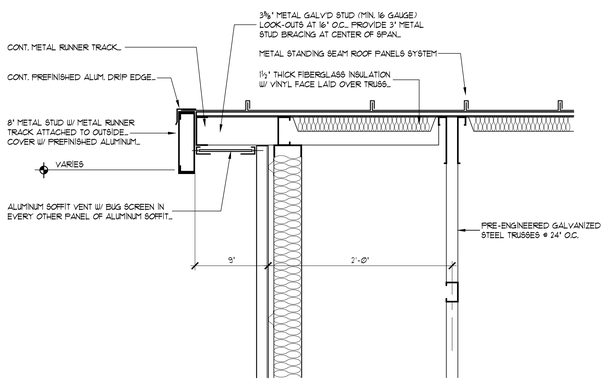


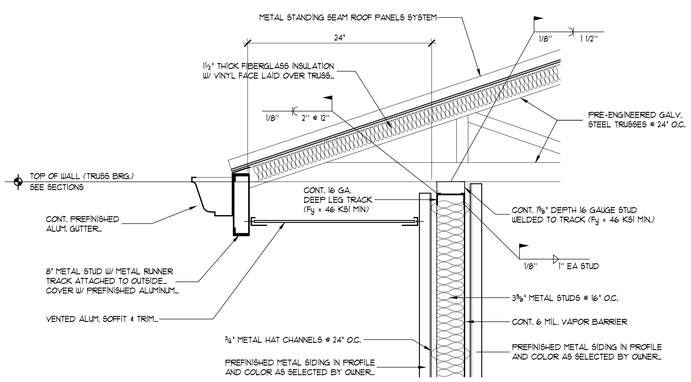
NORTH - SOUTH CROSS SECTION THROUGH MECHANICAL & BOILER ROOM (1)

SCALE: ½" = 1'-0"



GABLE DETAIL (2)

SCALE : ½" = 1'-0"



OVERHANG DETAIL (3)

SCALE : ½" = 1'-0"

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C.T.H. "KR" & I-94 ■ KENOSHA, WI

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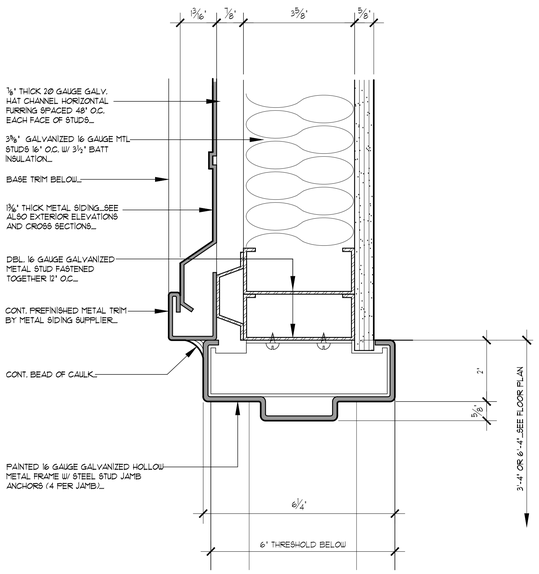
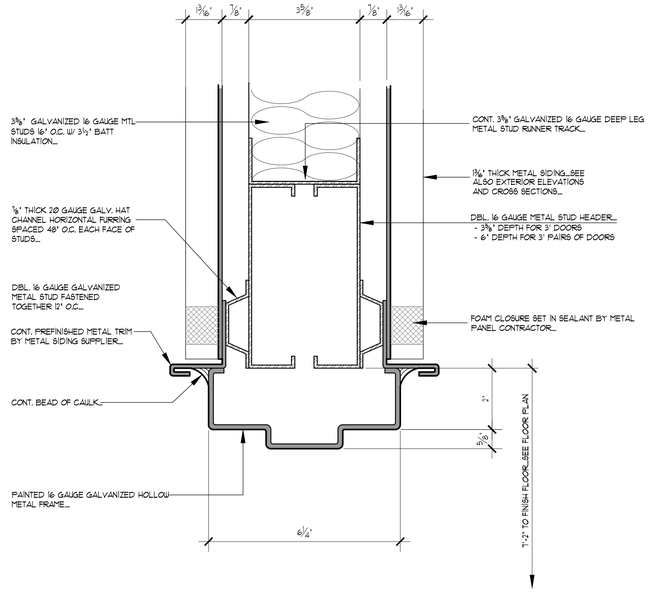


DOOR JAMB DETAIL

SCALE : 6" = 1'-0"

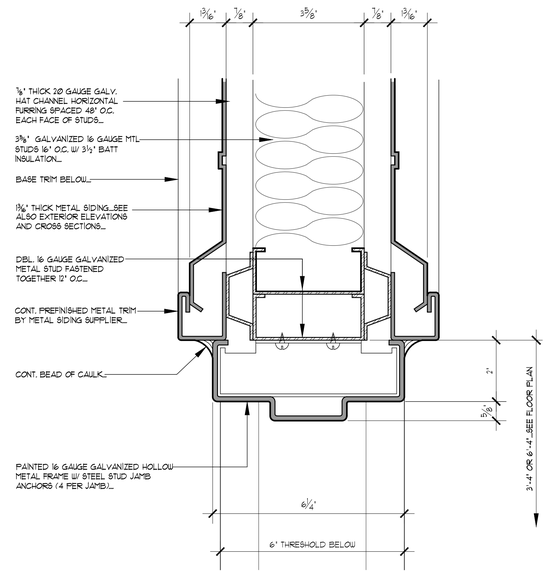
1



DOOR HEAD DETAIL

SCALE : 6" = 1'-0"

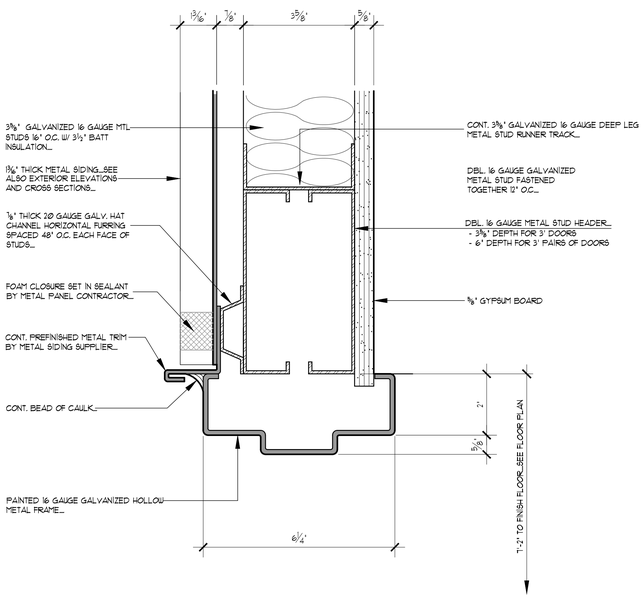
2



DOOR JAMB DETAIL

SCALE : 6" = 1'-0"

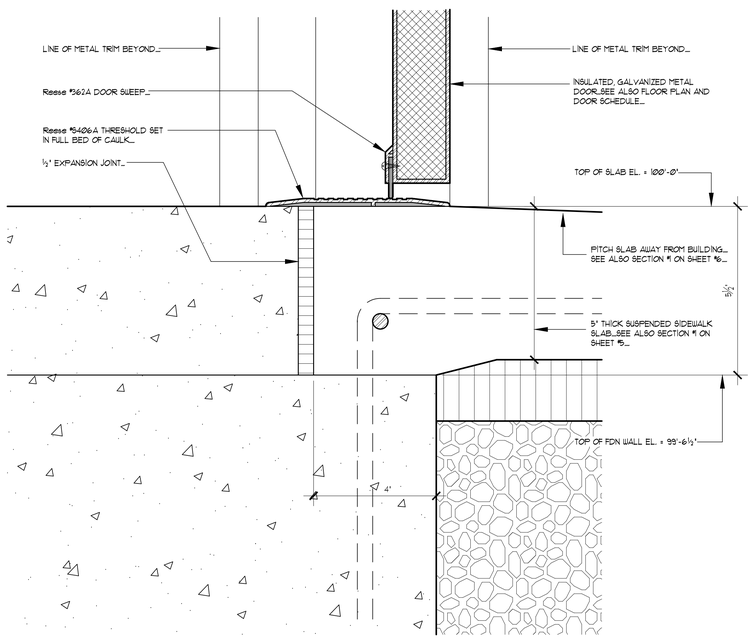
3



DOOR HEAD DETAIL

SCALE : 6" = 1'-0"

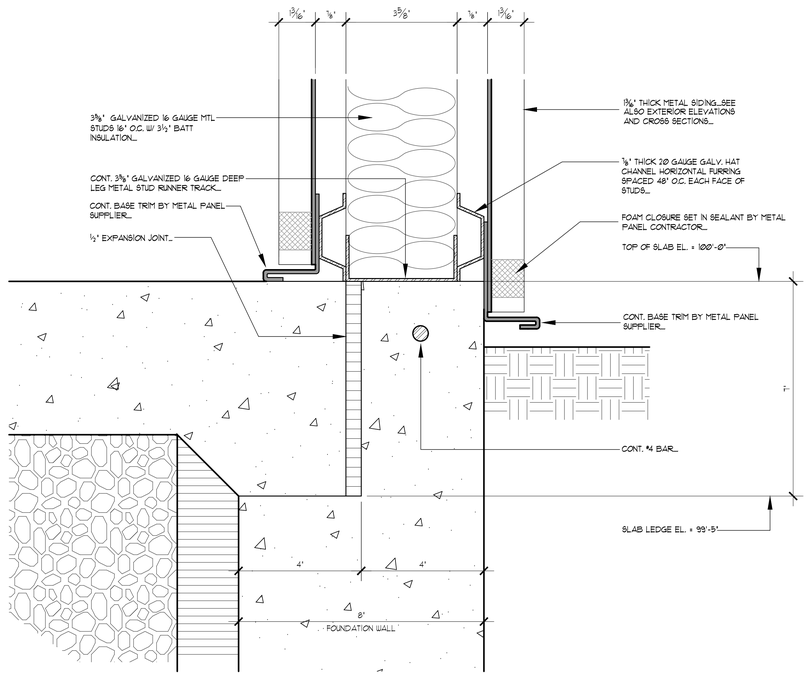
4



DOOR SILL DETAIL

SCALE : 6" = 1'-0"

5



WALL BASE DETAIL

SCALE : 6" = 1'-0"

6

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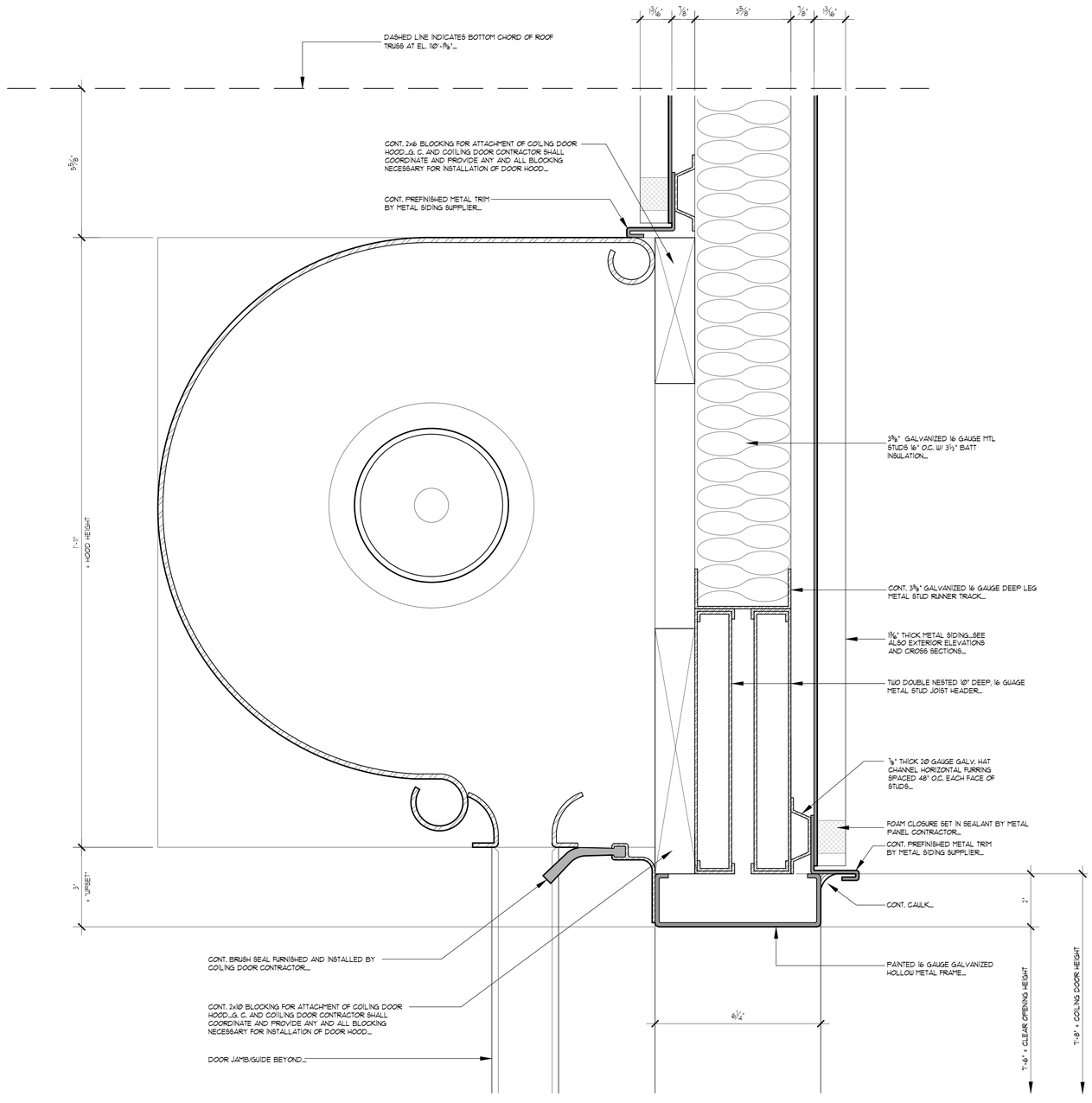
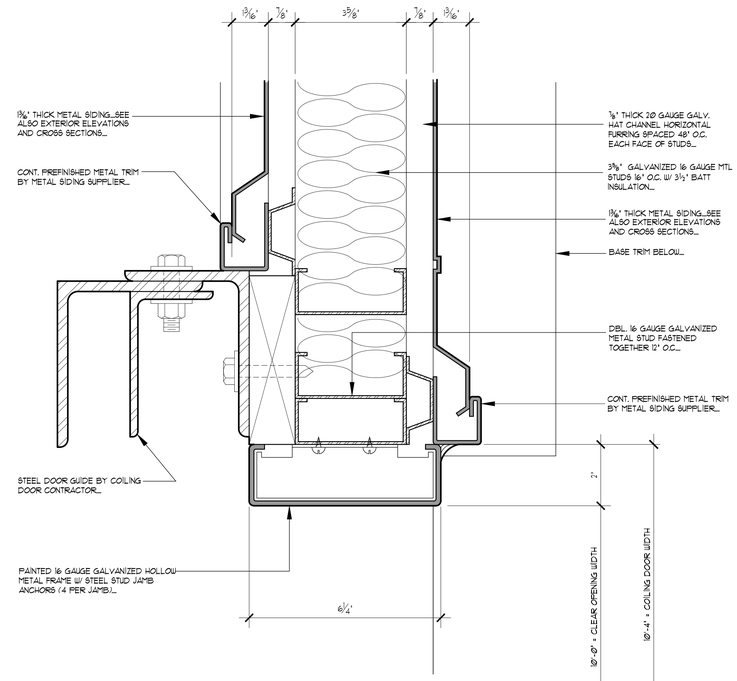


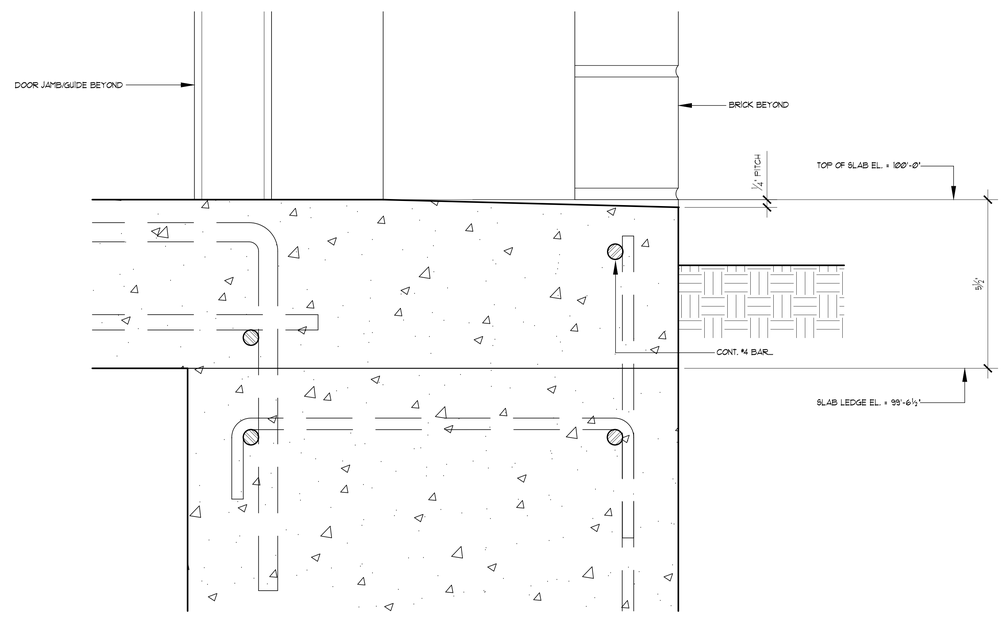
COILING DOOR HEAD DETAIL (1)

SCALE : 6" = 1'-0"



COILING DOOR JAMB DETAIL (2)

SCALE : 6" = 1'-0"



COILING DOOR SILL DETAIL (3)

SCALE : 6" = 1'-0"

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Source: Kenosha County Department of Planning and Development

Kenosha County

KENOSHA COUNTY WISCONSIN
Established 1850

SUBJECT PROPERTY

N
W E
S

1 inch = 500 feet

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INNACURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT KENOSHA COUNTY.

F. PUBLIC DISTRICTS

12.24-1 I-1 INSTITUTIONAL DISTRICT

(a) Primary Purpose and Characteristics

The I-1 Institutional District is intended to provide for areas which are under private or public ownership and where the uses in those areas for public purposes or institutional purposes, whether public or private, are anticipated to be permanent. All new structures and uses and changes or additions to existing structures and uses shall be in compliance with the site plan review requirements of this ordinance (See Section 12.08-2). (8/6/02)

It is recognized that it is neither possible nor practicable to list all of the principal and accessory uses that are compatible with those listed below and therefore it is intended that the following list of principal and accessory uses only be illustrative. Any individual aggrieved by a failure to list a particular principal or accessory use in this subsection shall have the right to file a petition with the Kenosha County Department of Planning and Development pursuant to section 12.35 of this ordinance for a determination as to the similarity of the intended use with the principal and accessory uses listed below.

(b) Principal Uses

1 Churches
2 Hospitals, sanitariums, nursing homes and clinics
3 Libraries, museums and art galleries
4 Private youth development organizations such as YMCA, Junior Achievement, Boys Club of America and Campfire Girls
5 Public or private schools, colleges and universities
6 Public administrative offices and public service buildings including fire and police stations, community centers, public emergency shelters
7 Public utility offices

(c) Accessory Uses

1 Garages for storage of vehicles used in conjunction with the operation of the principal use.
2 Residential quarters for caretakers or clergy
3 Service buildings and facilities normally accessory to the principal uses
4 Solar energy system
5 Small wind energy system

(d) Conditional Uses (see also section 12.29-8) (8/6/02)

1 Airport, heliport pads, aircraft hangars for storage and equipment maintenance; aircraft sales and service.
2 Bus terminals
3 Cemeteries
4 Large wind energy system
5 Penal, reform, disciplinary and mental institutions
6 Power and heat generating plants
7 Railroad depots
8 School auditoriums, gymnasiums and stadiums
9 Utility substations

10 Water storage tanks and towers and radio and television transmitting and receiving towers, microwave relay stations

(e) Lot Area and Width

1 Institutional uses served by public sanitary sewage facilities shall provide a minimum lot area of 10,000 square feet and a minimum lot frontage of 75 feet in width, and

2 Institutional uses served by on-site soil absorption sewage disposal systems or other approved private means of sewage disposal, shall provide a minimum lot area of 40,000 square feet and a minimum lot frontage of 150 feet in width.

(f) Building Height and Area

1 No building or parts of a building shall exceed 60 feet in height.

2 No maximum or minimum building area shall be required in the I-1 Institutional District due to the variety of uses within this district and the diverse building demands of each use.

(g) Yards

1 Street yard - not less than 65 feet from the right-of-way of all Federal, State and County trunk highways and not less than 30 feet from the right-of-way of all other roads. (8/6/02)

2 Shore yard - not less than 75 feet from the ordinary high water mark of any navigable water. (11/5/86)

3 Side yard - not less than 10 feet in width on each side of all structures.

4 Rear yard - not less than 25 feet.

(h) Authorized Sanitary Sewer Systems

1 Public sanitary sewer systems

2 On-site sewage disposal absorption system

C. CONDITIONAL USES

12.29-1 PURPOSE

A conditional use, as used in this ordinance, is designed to be a flexibility device designed to cope with situations where a particular use, although not inherently inconsistent with the use classification of a particular district, could create special problems and hazards if allowed to develop and locate as a matter of right in a particular district and therefore is in need of special consideration. Often the effects of these uses on the surrounding environment cannot be foreseen until a specific site has been proposed. The nature, character or circumstances of these uses are so unique or so dependent upon specific contemporary conditions that predetermination of permissibility by right or the detailing in the ordinance of all of the specific standards, regulations or conditions necessary or appropriate to such permissibility is not practical, it being recognized that the county is faced with practical difficulties in defining with precision in advance the conditions under which a conditional use permit will be granted. Those conditional uses hereinafter designated as such are deemed to have one or more of the following characteristics when located within certain districts:

(a) Hazardous, dangerous or harmful to adjoining or nearby parcels, waters or the environment

(b) Noxious, offensive, a nuisance or otherwise adverse to adjoining or nearby parcels, water or the environment

(c) Inconsistent with or otherwise adverse to adjoining or nearby land or water uses in the absence of certain conditions

12.29-2 INTENT

It is the intent of the Kenosha County Board of Supervisors to allow the hereinafter designated conditional uses within the areas designated by this ordinance in accordance with section 12.29-5(g) of this ordinance and only when the conditions imposed thereon are met. Any conditions so imposed as a basis for granting the conditional use permit shall be binding on all grantees, assignees, heirs, legatees, donees, transferees and trustees of the petitioner.

12.29-3 PERMITS

The Kenosha County Planning, Development & Extension Education Committee may authorize the Department of Planning and Development to issue a conditional use permit for conditional uses as specified in each of the aforementioned districts set forth in sections 12.20 to 12.26 after review and a public hearing, as provided herein, provided that such conditional uses and structures are in accord with the provisions of this ordinance, its purpose and intent. (11/5/84)

12.29-4 APPLICATION (8/6/02)

(a) Prior to application, the petitioner shall set up a pre-application conference with Planning and Development staff. This conference is intended to inform the petitioner of the purpose and objectives of these regulations. In so doing, the petitioner and the planning staff may reach mutual conclusions regarding the possible effect of the project on abutting properties and the petitioner will gain a better understanding of subsequent required procedures.

(b) Applications for conditional use permits shall be made in triplicate to the Department of Planning and Development on forms furnished by the Department of Planning and Development and shall include the following:

1 Name, address and phone number of the applicant, owner of the site, architect, professional engineer, contractor, and authorized agent.

2 Description of the subject site by lot, block, and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees, and the zoning district within which the subject site is located.

3 Plat of survey and/or a site plan layout consisting of a survey prepared by a land surveyor registered by the State of Wisconsin or other map drawn to scale and approved by the Department of Planning and Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout or map shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping. Such plans as, for example, a plan of operation, may be required as well as impact statements. (11/5/86)

4 For shoreland and floodland conditional uses, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or con-tours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Department of Planning and Development. (11/5/84)

5 Additional information relative to the elimination or alleviation or control of the danger, hazard or nuisance sought to be averted as may be required by the Planning, Development & Extension Education Committee or the Department of Planning and Development, such as, without limitation due to enumeration, ground surface elevations, basement and first floor elevations, utility elevations, detailed landscape plans, plans of operation, hours, parking plans and waste disposal plans as defined in this ordinance, historic and probable future flood water elevations, areas subject to inundation by flood waters, depths of inundation, floodproofing measures, soil type, slope, and boundaries, and plans for proposed structures giving dimensions and elevations pertinent to the determination of the hydraulic capacity of the structure or its effects on flood flows. (11/5/84)

6 A list of property owners and parties of interest and their addresses certified by the Kenosha County Assessor's Office as required by section 12.05(1)(e) of this ordinance.

7 An agreement to abide by the terms of this ordinance and any permit issued pursuant to it.

8 The fee as required by section 12.05-8 of this Ordinance.

12.29-5 REVIEW AND APPROVAL

(a) After receipt of a petition for a conditional use permit, the Department of Planning and Development shall place the matter on the agenda for a public hearing before the Kenosha County Planning, Development & Extension Education Committee provided, however, that the requirements of 12.06-4 of this ordinance are complied with. (11/5/84)

(b) Notice of the aforementioned public hearing shall be published as a class 2 notice in a newspaper of general circulation within Kenosha County pursuant to Chapter 985 of the Wisconsin Statutes and the Wisconsin Open Meeting Law, section 19.81 to 19.98 of the Wisconsin Statutes. In addition, notice of said public hearing shall be mailed to the last known address of all property owners certified by the Kenosha County Assessor as being owners of property within 300 feet of the subject property or parties of interest as defined in this ordinance. Failure to receive notice shall not invalidate any action taken by the committee. After publication and notice, the petitioner may request the Planning, Development & Extension Education Committee for a one-month postponement of the public hearing for good cause and no further publication or notice shall be required, provided, however, that notice of the adjourned hearing date is given in the record at the time of the published hearing. In the event the subject property lies within the shoreland jurisdiction of this ordinance, notice of the public hearing, at least 10 days before the hearing, and a copy of the application shall be mailed to the Southeast District office of the Department of Natural Resources in accordance with section NR115.05(6)(h) of the Wisconsin Administrative Code. In the event the subject property lies within a floodland district, notice of the public hearing and a copy of the application shall be mailed to the Southeast District Office of the Department of Natural Resources in accordance with section NR116.20(2)(c) of the Wisconsin Administrative Code. In the event the subject property is zoned A-1, notice shall be given as required by Wisconsin Statute, section 91.48(2) to the State Department of Agriculture, Trade and Consumer Protection. (3/1/94)

(c) Upon receiving a petition for a conditional use permit, the Department of Planning and Development shall forward a copy of the petition to the town board and/or town planning commission of the town wherein the parcel is located and of any other town that may be immediately adjacent or opposite of such parcel and shall allow such board or planning commission 45 days to comment on said application. Within said period of 45 days, the town board and/or planning commission shall forward their recommendation to the county Planning, Development & Extension Education Committee along with standards or conditions which are found by them to be necessary for the issuance of a conditional use permit. Said standards or conditions shall be considered by the Planning, Development & Extension Education Committee. In the event that the town board or town planning commission recommends denial of the conditional use permit, said denial shall be considered by the Planning, Development & Extension Education Committee in rendering its decision. (11/5/84)

(d) In hearing a petition requesting the issuance of a conditional use permit, the Planning, Development & Extension Education Committee shall call the petition at the public hearing. Upon the call of the petition, the petition shall be read by the Chairman of the Committee, and

at the conclusion thereof, the chairman shall hear and receive any evidence or sworn testimony presented by the petitioner or his authorized agent. At the conclusion of the petitioner's presentation, the Chairman shall first ask for any public comments from those in support of the petition and secondly from those in opposition to the petition. Any relevant and material evidence or sworn testimony presented by individuals either in favor of or in opposition to the petition shall be received by the Chairman provided however that said evidence or sworn testimony is properly identifiable for the record. Lastly, the Chairman shall ask for a recommendation from the Department of Planning and Development. (11/5/84)

(e) Upon receiving the recommendation of the Department of Planning and Development, the Committee may table the petition for a period of up to three months from the date of public hearing so as to allow the petitioner an opportunity to provide any further information deemed pertinent by the Committee or so as to allow the committee members an opportunity to view the site in accordance with the guidelines set forth in section 12.36-11 or consider the conditions for issuing a conditional use permit or to view similar uses already in existence in accordance with the guidelines set forth in section 12.36-11 if a comparison is warranted. All deliberations and decisions of the committee relating to the issuance of a conditional use permit shall, however, be made at a meeting held in conformance with the Wisconsin Open Meeting Law.

(f) Upon having received all evidence and hearing all sworn testimony relating to the petition, the Planning, Development & Extension Education Committee shall review the site plan, existing and proposed structures, architectural plans, neighboring land and water uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewage and water systems, the proposed operation, the effects of the proposed use, structure, operation and improvement upon flood damage protection, water quality, shoreland cover, natural beauty and wildlife habitat, and any other pertinent requirements deemed necessary by the committee so as to eliminate, alleviate, or control any hazard, danger, harm, nuisance, adversity or inconsistency that exists or could develop. Upon completion of said review, the committee chairman shall entertain a motion that the committee either grant or deny the petition based upon specific findings and conclusions. (11/5/84)

(g) In making its determination, the committee shall make the following findings:

1 Identification of the hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency sought to be averted.

2 The effect of the proposed conditional use on drainage, traffic circulation, and the provision of public services.

3 Existing and proposed methods of eliminating, alleviating or controlling the identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency.

4 That regardless of any other provisions of this ordinance to the contrary allowing for a conditional use permit for a particular use on a particular parcel, that the proposed and applied for use on a particular parcel is not inherently inconsistent with either the district in which it is located or adjoining districts or neighbor-hoods.

(h) Unless specifically altered by section 12.29-8 of this ordinance, compliance with all of the minimum provisions of this ordinance, dealing with such matters as, without limitation due to enumeration, lot area and width, building height and area, yards, sanitary systems, signs,

parking, loading, traffic and highway access and performance standards shall be required of all conditional uses. Variances shall only be granted as provided in section 12.36 of this ordinance.

(i) The decision of the committee shall be final unless a motion to review the decision of the committee is made and seconded at the County Board Meeting immediately following the decision of the Committee. All evidence or sworn testimony presented at said public hearing shall be preserved by the Kenosha County Department of Planning and Development. Notice of conditional uses granted in the A-1 Agricultural Preservation District shall be given to the State Department of Agriculture within 10 days following the decision. Notice of conditional uses granted in a floodland district or in any other area where the shoreland jurisdiction is applicable shall be given to the Southeast District office of the State Department of Natural Resources within 10 days following the decision. (3/1/94)

(j) Any decision of the Kenosha County Planning, Development & Extension Education Committee or the Kenosha County Board of Supervisors related to the granting or denial of a conditional use permit may be appealed as provided for in section 12.35 of this ordinance. (11/5/84)

(k) Any conditional use permit granted by the committee shall not be valid unless recorded by the applicant in the office of the Kenosha County Register of Deeds within 5 days after the issuance of the permit. Any recording fees shall be paid by the applicant. In addition, the Department of Planning and Development shall keep a record and/or map of all such conditional uses and permits which shall be open to the public.

12.29-6 EXISTING USES

(a) All uses existing at the effective date of this ordinance which would be classified as conditional uses in the particular zoning district concerned if they were to be established after the effective date of this ordinance, are hereby declared to be conforming conditional uses to the extent of the existing operation only. Any addition, alteration, extension, repair or other proposed change in the existing operation shall be subject to the conditional use procedures as if such use were being established anew.

(b) Campgrounds; contractor yards; salvage, wrecking, junk, demolition, and scrap yards; towing services; mineral extraction and related uses; and sanitary landfill uses shall within 180 days after the effective date of this ordinance register with the Department of Planning and Development and submit pertinent data relative to the present operation, including the boundaries of the operation, ownership data, maps or site plan showing the existing layout, and such other data as may be necessary to enable the Department of Planning and Development to create a permanent file establishing the size, layout and operational characteristics of the existing operation. A permit shall be granted to such existing operations for the extent of the existing operation only. The Department of Planning and Development may make a finding that an adequate file already exists concerning an existing operation and may accordingly waive the registration requirement and issue a permit accordingly. Notwithstanding the fact that the aforementioned use may not be permitted within a given district, any addition, extension, or change in the operation of the aforementioned uses may be permitted, provided that such addition, extension or change shall be subject to the conditional use procedures set forth in this ordinance.

(c) Any other use not mentioned above which was a conforming conditional use before adoption or amendment of this ordinance, but is not a permitted conditional use in the district in which it is now located, shall be considered a legal non-conforming use and shall be subject to the requirements of section 12.28-1 through 12.28-11 of this ordinance.

12.29-7 REVOCATION OF CONDITIONAL USE PERMIT

Upon a complaint filed alleging non-compliance with the terms of the conditional use permit by any interested party with the Department of Planning and Development, or upon the motion of the Department of Planning and Development, the Planning, Development & Extension Education Committee shall schedule an open hearing within 45 days of the filing of the complaint and shall conduct a hearing pursuant to the general outline set forth in section 12.29-5. Upon a finding that the standards, regulations and conditions set forth in granting the conditional use permit have been violated, the Planning, Development & Extension Education Committee may suspend the conditional use permit until such time as there is compliance with the standards, regulations and conditions imposed in the past. In the alternative, the Committee may revoke the conditional use permit. Any continued operation of the conditional use after a suspension or revocation shall be deemed a violation of this ordinance and subject to the fines set forth in section 12.33 of this ordinance. The action of the Committee may be appealed pursuant to section 12.35 of this ordinance. Any failure to revoke a conditional use permit for past violations shall not operate as a waiver of the right to suppress future violations. (11/5/84)

12.29-8 STANDARDS FOR CONDITIONAL USES

(a) In addition to the specific conditions required herein, additional reasonable conditions or requirements which bear a direct relationship to the hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency sought to be eliminated, alleviated or controlled such as without limitation due to enumeration: environmental, economic or social impact statements, storm drainage plans, landscaping, architectural design, type of construction, floodproofing, ground cover, anchoring of structures, construction commencement and completion dates in accordance with section 12.05-3 of this ordinance, sureties, letters of credit, performance bonds, waivers, lighting, fencing, location, size and number of signs, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards or parking requirements, plat of survey maps, certified survey maps, easement or street dedications, increased building areas, in-creased water supply, essential services and utilities, sanitary and sewage requirements, installation of pollution abatement, security, and/or safety systems, higher performance standards, stages for development of the conditional use, future review of the conditional use operation, conditions surrounding termination of the conditional use permit and the period of time for which the conditional use will be permitted may be required by the Planning, Development & Extension Education Committee if upon its finding these are necessary to fulfill the purpose and intent of this ordinance and so as to eliminate, alleviate or control the hazard, danger, harm, noxiousness, offensiveness, nuisance, adversity or inconsistency sought to be averted. Where studies or impact statements are required, the committee can address problems called to its attention by the imposition of certain conditions aimed at eliminating, alleviating or controlling the problems. (11/5/84)

(b) The following uses are deemed by the Kenosha County Board of Supervisors to be hazardous, dangerous, harmful, noxious, offensive, a nuisance or otherwise adverse to adjoining or nearby parcels, waters or the environment or inconsistent with or otherwise adverse to adjoining or

nearby land or water uses and therefore should be required to meet certain additional regulations, standards, and conditions hereinafter set forth and/or standards and conditions imposed by the Planning, Development & Extension Education Committee in accordance with section 12.29-5(g) so as to eliminate, alleviate or control the hazard, danger, harm, noxiousness, offensiveness, nuisance, adversity or inconsistency prior to being permitted in the particular district wherein said use is listed as a conditional use: (11/5/84)

1 Abrasives and asbestos in the M-2 District.

a There shall be adequate containment and disposal of waste and by-products used in the manufacturing of abrasives and asbestos.

b There shall be sufficient safeguards to insure against pollution and contamination of surrounding areas so as to insure against damage to the surrounding environment and to further insure against health hazards.

c The Department of Planning and Development shall be permitted access to the property and buildings located thereon at any time upon request to determine compliance with the specific conditions set forth by the Planning, Development & Extension Education Committee. (11/5/84)

2 Reserved for future use (3/16/04)

3 Airstrips, landing fields and hangars for personal or agricultural related uses in the A-1, A-2 and A-4 Districts and airports, heliport pads, aircraft hangars for storage and equipment maintenance and aircraft sales and maintenance in the I-1 District.

a The area shall be sufficient and the site otherwise adequate to meet the standards of the federal aviation agency and the Wisconsin Department of Transportation and any other Federal or State agency retaining jurisdiction over such airstrips and landing fields in accordance with their proposed rules and regulations. In no case shall the parcel be less than 35 acres in size.

b Any building, hangar or other structure shall be at least one hundred (100) feet from any street or boundary line.

c Any proposed runway or landing strips shall be situated so that the approach zones are free of any flight obstructions, such as towers, chimneys, other tall structures or natural obstructions outside the airport site.

d There shall be sufficient distance between the end of each usable landing strip to satisfy the requirements of the aforementioned agencies, and no landing strip shall be within 200 feet of any property line. If air rights or easements have been acquired from the owners of abutting properties in which approach zones fall, satisfactory evidence thereof shall be submitted with the application.

b Such construction or maintenance is done in a manner designed to minimize adverse impact upon the natural functions of the wetland.

149 Utility facilities (except buildings and substations) such as underground watertight conduits, telephone and electric poles, etc., constructed in conformance with section NR 116.17 of the Wisconsin Administrative Code in the FPO District, provided that: (11/5/86)

a Those requirements set forth for the granting of a conditional use permit for bridges and approaches in the FPO District shall be complied with.

150 Utility substations, microwave relay stations, and cellular relay stations in the A-1, A-2, A-3, A-4, R-1, R-2, R-3, R-4, R-5, R-6, R-7, R-8, R-9, R-10, R-11, R-12, B-1, B-2, B-3, B-4, M-1, M-2, I-1 and C-2 Districts. (8/9/94)

a All utility substations, microwave relay stations, and cellular relay stations shall be securely fenced and marked with appropriate warning signs.

b The height of tower-mounted utility substations, microwave relay stations, and cellular relay stations shall not exceed three (3) times their distance from the nearest property line.

151 Washing, refining or processing of rock, slate, gravel, sand or minerals processed from the top soil in the M-3 District

a A detailed site plan shall be presented to the Planning, Development & Extension Education Committee along with a storm water drainage plan prepared by a certified engineer. (11/5/84)

b Impact statements as deemed appropriate by the Planning, Development & Extension Education Committee may be required. (11/5/84)

c Ingress and egress to the premises shall be determined with due regard to topography and public road and pedestrian traffic taking into consideration hills, curves, speed limits and vision clearance. Roads shall be maintained in a dust-free condition.

152 Water storage tanks and towers and radio and television transmitting and receiving towers in the B-5 and I-1 Districts. (8/9/94)

a Towers shall not be located closer than 50 feet to any structure.

b All towers shall be securely anchored and lit with warning lights as deemed appropriate.

c All federal and state licenses shall be filed with the Planning and Development Administrator's office.

III. GENERAL LAND USE REGULATIONS

A. GENERAL PROVISIONS

12.07-1 INTRODUCTION

The proper regulation of the use of certain structures, lands and waters, only through the use of the zoning districts contained within this ordinance is neither feasible nor adequate. Therefore, the following regulations, which shall be applied in addition to the district regulations, are necessary to accomplish the intent of this ordinance.

12.07-2 COMPLIANCE

No structure, land, water, or air shall hereafter be used or developed and no structure or part thereof shall hereafter be located, erected, moved, placed, reconstructed, extended, enlarged, converted, demolished, or structurally altered without full compliance with the provisions of this ordinance and all other applicable local, county and state regulations.

B. USE REGULATIONS

12.08-1 USES ALLOWED

Only the following uses, structures and their essential services shall be allowed in any district:

(a) Principal uses and structures specified for a district and permitted as a matter of right.

(b) Accessory uses and structures are permitted as a matter of right in any district but not until their principal structure is present or under construction. Uses accessory to residential district developments shall not involve the conduct of any business, trade or industry except as may be provided in sections 12.09-1 and 12.09-2 of this ordinance. No accessory structure shall be occupied as a separate dwelling unit. Accessory uses and structures are further regulated by section 12.08-2 of this Ordinance. (6/2/92)

(c) Conditional uses, as defined in section 12.29-1 and their accessory uses may be permitted only in specified districts after review, public hearing and approval by the Kenosha County Planning, Development & Extension Education Committee in accordance with procedures and standards established in this ordinance. (11/5/84)

(d) Stipulated Shoreland Uses, as may be provided for section 12.18-9 of this ordinance.

(e) Temporary uses and structures, as may be provided for under this ordinance.

12.08-2 SITE PLAN REVIEW

PURPOSE AND INTENT

The purpose of this section is to provide an integrated approach toward site and building development and a process to review and approve Site Plans for land uses which are subject to a Zoning Permit for any principle use or conditional use in any district except the A-1, A-2, and A-4 agricultural districts, the R-1, R-2, R-3, R-4, R-5, R-6, R-7 and R-8 residential districts. The intent is to promote compatible development, stability of property values, and to prevent impairment or depreciation of property values of development, changes or additions to existing structures and redevelopment

PROCESS AND SUBMITTALS

The Department of Planning and Development shall review and approve the following plans as applicable:

Building Plan
Site Plan
Parking Plan
Landscape Plan
Lighting Plan (including photometrics)
Storm Water Management Plan
Utility Plan
Traffic Impact Analysis (TIA) Plan Not applicable
Natural Resource Protection Plan Not applicable

Such plans are necessary to identify existing and proposed structures, architectural plans, building construction plans, neighboring uses, parking areas, driveway locations, loading and unloading, highway access, traffic generation and circulation, drainage, sewerage and water systems, location and type of lighting, type, size and location of signs, utilization of landscaping and open space, emergency vehicle accessibility, and the proposed operation for all development classified as a principal or accessory use . (8/6/02)

(a) STANDARDS AND PRINCIPLES

The following principles are established to implement and define the purpose and intent set forth above,

1 Building Design and Architecture

No building shall be permitted in which the design or exterior appearance is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards or is so identical with those adjoining as to create excessive monotony or drabness.

Buildings shall avoid a “box like” appearance having horizontal and vertical articulation. Integration of features like cornices, staggered parapet walls, wall offsets, recessed or extended windows and entries, covered arcades or similar design elements shall be used. Building additions shall be designed to be consistent with the existing building(s) in conjunction with the principles of this section.

2 Building Facades

No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties by a mixture of materials, banding, textures and colors. Buildings shall have four-sided architecture.

3 Building Materials

A minimum of 50 percent of a façade facing an existing or future street or a façade that is visible by the general public shall be finished with a combination of windows, brick, native or manufactured stone, textured concrete block, decorative masonry material or

decorative precast concrete panels. Smooth face concrete block is only permitted as an accent band. Additions to existing buildings shall be permitted to maintain the appearance and materials of the existing façade so as to maintain a consistent appearance.

4 Building Scale and Mass.
The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

5 Building Rooflines and Roof Shapes.
The visual continuity of roofs and their contributing elements (parapet walls, coping, and cornices) shall be maintained in building development and redevelopment.

6 Equipment and Mechanicals.
Roof-mounted equipment and mechanicals shall be screened from public view, when viewed from grade level as measured from the lot lines and abutting street centerlines, in a manner matching the architectural style and materials of the building. A professional line-of-sight study may be required verifying this provision. Roof-mounted equipment and mechanicals added to an existing building shall comply with this provision. Roof drains, leaders and downspouts shall be integrated into the exterior design of the building.

Ground Equipment and mechanicals shall be screened from public view with a combination of solid fencing or walls and landscaping as deemed appropriate.

7 Colors
Since the selection of building colors has a significant impact upon the public and neighboring properties, color shall be selected in general harmony with existing neighborhood buildings.

a Frequent changes in material or color shall be avoided.
b The use of bold, primary colors should not be used for building facades except for accent elements.
c The use of bright colors, including but not limited to fluorescent, “hot”, and “dayglow” colors is prohibited.

8 Location and Orientation
No building or sign shall be permitted to be sited on the property in a manner which would unnecessarily destroy or substantially damage the natural beauty of the area, particularly insofar as it would adversely affect values incident to ownership of land in that area, or which would unnecessarily have an adverse effect on the beauty and general enjoyment of existing structures on adjoining properties.

9 Erosion Control and Storm Water
Appropriate erosion control and storm water management measures shall be utilized in all new development. Buildings and uses shall maintain existing topography, drainage patterns, and vegetative cover insofar as is practical. Storm water management ponds and open drainage ways shall be designed to be visual amenities. The Department of

Planning and Development or the Planning, Development and Extension Education Committee may require that drainage easements be executed.

10 Traffic Circulation
Buildings and uses shall provide for safe traffic circulation and safe driveway locations. Clear and identifiable patterns of circulation shall be designed to minimize conflicts between pedestrian, automobile and truck traffic.

11 Site Access and Parking
Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead doors shall face upon a street right-of-way without approval of the Department of Planning and Development. Site cross-access lanes and associated easements shall be provided where deemed necessary by the Department of Planning and Development and shall be a minimum of 24 feet wide. Subject to the requirements as set forth in Section 12.13-2a Dimensions of Parking and Section 12.13-3 Parking Requirements.

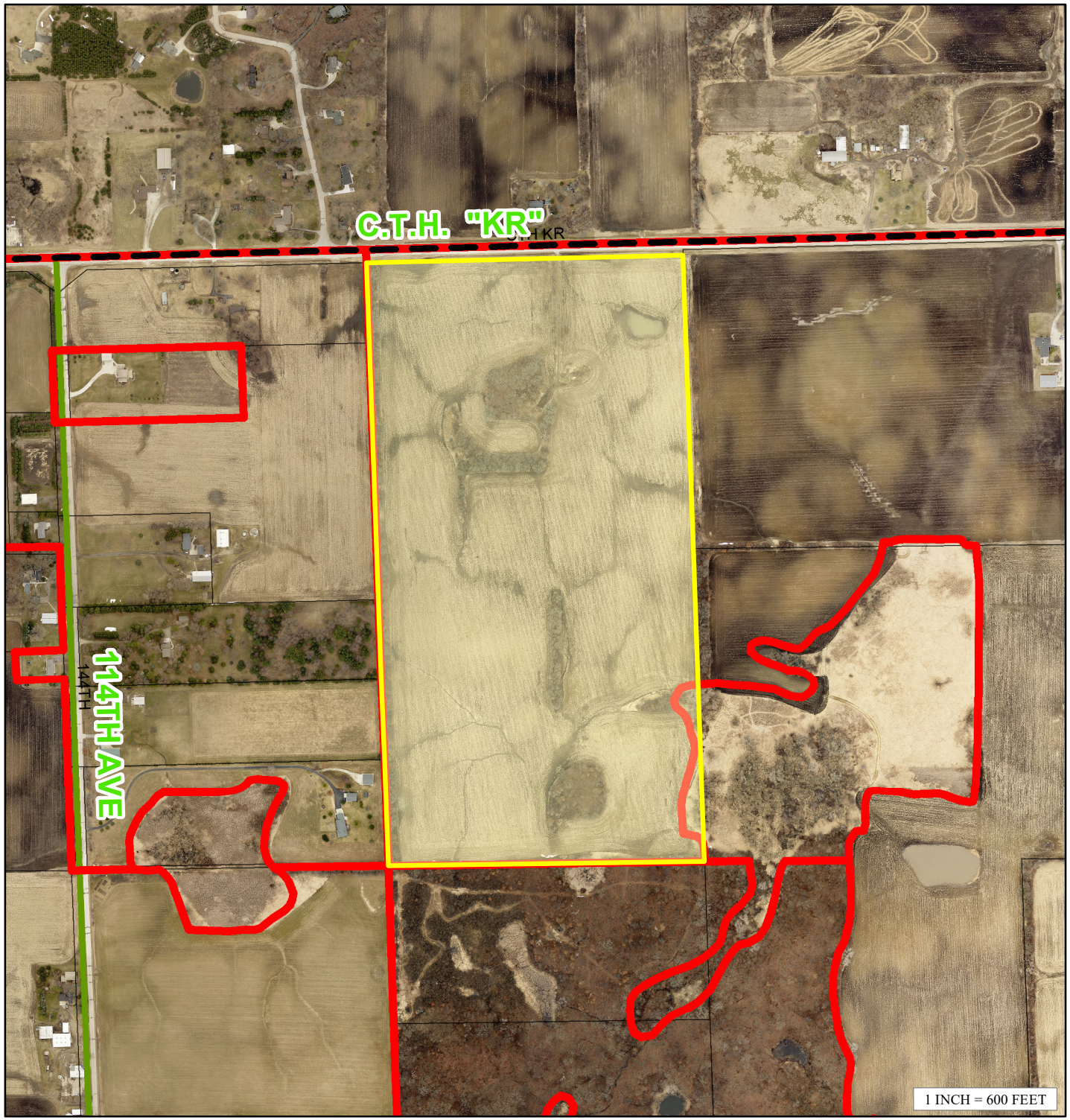
12 Public Services and Utilities
Buildings and uses shall be provided with adequate public services as approved by the appropriate utility.

13 Lighting
Subject to the requirements as set forth in Section 12.12-4 (da) Exterior Lighting Standards and 12.13-3(o) Lighting.

14 Buffers and Screening
Appropriate buffers shall be provided between dissimilar uses. Dumpsters and other trash receptacles shall be screened from view with solid fencing or walls as deemed appropriate by the Department of Planning and Development.

15 Landscaping and Open Space
Buildings and uses shall make appropriate use of open spaces. Subject to the requirements as set forth in Section 12.12-11 Landscaping. The development applicant shall commit, in writing, to maintain all required landscaping.

(b) Appeals. Any person or persons aggrieved by any decisions of the Zoning Administrator or the Land Use Committee related to plan review may appeal the decision to the Zoning Board of Adjustments pursuant to section 12.36-5 of this Ordinance.



Walas CUP.mxd

CONDITIONAL USE SITE MAP

PETITIONER(S):

Thomas C. Walas (Owner),
Maria Koerner (Agent)

LOCATION:

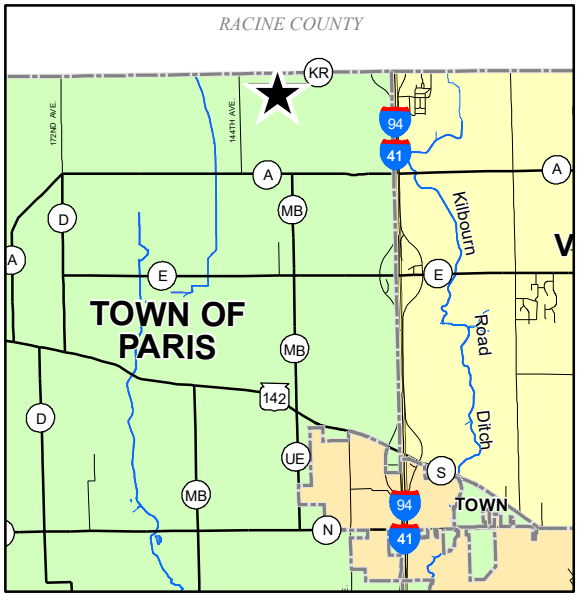
NE 1/4 of Section 2
Town of Paris

TAX PARCEL(S):

#45-4-221-021-0100

REQUEST:

Requesting a conditional use permit to allow a utility substation in the I-1 Institutional Dist.



January 2013

COUNTY OF KENOSHA
Department of Planning and Development

RECEIVED

JUN 24 2020

Kenosha County
Planning and Development

RECEIVED

JUN 24 2020

Kenosha County
Deputy County Clerk

A MULTI-JURISDICTIONAL COMPREHENSIVE PLAN FOR KENOSHA COUNTY: 2035
MAP AMENDMENT APPLICATION

(a) Property Owner's Name:

Jeffrey Schmeckel x _____ Signature

Mailing Address:

275 248th Avenue

City: Kansasville State: WI Zip: 53139-9627

Phone Number: 262-210-2302 E-mail (optional): N/A

Note: If the property owner's signature cannot be obtained in the above space, a "letter of agent status" signed by the property owner must be submitted if you are an applicant (tenant, leaseholder, or authorized agent representing the legal owner) acting on their behalf.

Applicant's Name (if applicable): Agent

HENRY FLECK x _____ Signature

Mailing Address:

P.O. Box 610

City: KANSASVILLE State: WI Zip: 53139

Phone Number: 262-496-9647 E-mail (optional): henry.fleck@gmail.com

(b) Existing planned land use category as shown on Map 65 of the Kenosha County comprehensive plan:

"Farmland Protection" and "PEC"

(c) Proposed land use category (must be a land use category included in the legend for Map 65 of the Kenosha County comprehensive plan):

"Farmland Protection", "Rural Residential" and "PEC"

(d) Proposed use (a statement of intended use and/or the type, extent, area, etc. of any development project):

Land Division
Continued Agriculture use

(e) Compatibility with the Kenosha County comprehensive plan (address the following questions in detail):

(e-1) Is the proposed amendment consistent with the goals, objectives, policies, and programs of this plan? Explain:

Continued Agriculture use

(e-2) Is the proposed amendment compatible with surrounding land uses? Explain its compatibility with both existing and planned land uses:

Yes
Continued Agriculture use

(e-3) Will the proposed amendment have any detrimental environmental effects? Explain:

None

(e-4) Has a substantial public benefit been demonstrated by the proposed plan amendment? Explain:

No

(e-5) Are public roads, services, and utilities available, or planned to be available in the near future, to serve the proposed development? Explain:

No planned requirement

(e-6) Are existing or planned facilities and services adequate to serve the type of development associated with the amendment? Explain:

yes - No planned changes

(e-7) Any additional data or information as requested by the Department of Planning and Development:

N/A

(f) Attach a legal description and provide the tax key number(s) below of property to be amended on the Kenosha County comprehensive plan:

30-4-220-022-0200

(g) Attach plot plan or survey plat of property to be amended on the comprehensive plan (showing location, dimensions, planned land use of adjacent properties, existing uses and buildings of adjacent properties—drawn to scale).

(h) The name of the County Supervisor of the district wherein the property is located:

Supervisory District Number: 19 County Board Supervisor: Sandra Beth

(i) Attach a copy (original newspaper clipping or certified copy from the Town) of the notice of public hearing (per section 66.1001(4)(d) of Wisconsin State Statutes) that is published by your Town at least 30 days before the public hearing is held. Include the date of publication with the copy of the notice of public hearing.

Note: Your application will not be processed by Kenosha County until a copy of the notice of public hearing and town approval letter is received by the Kenosha County Department of Planning and Development.

(j) Attach a copy of the enacted town resolution and ordinance (per section 66.1001(4)(c) of Wisconsin State Statutes) adopting the amendment to the Kenosha County comprehensive plan map.

Note: Your application will not be processed by Kenosha County until a copy of the enacted town resolution and ordinance adopting the amendment is received by the Kenosha County Department of Planning and Development.

(k) The fee specified in Section 12.05-8 of this ordinance.
Request for Land Use Plan Map Amendment ..... $250.00 payable to "Kenosha County"

(For other fees see the Fee Schedule)

IMPORTANT TELEPHONE NUMBERS

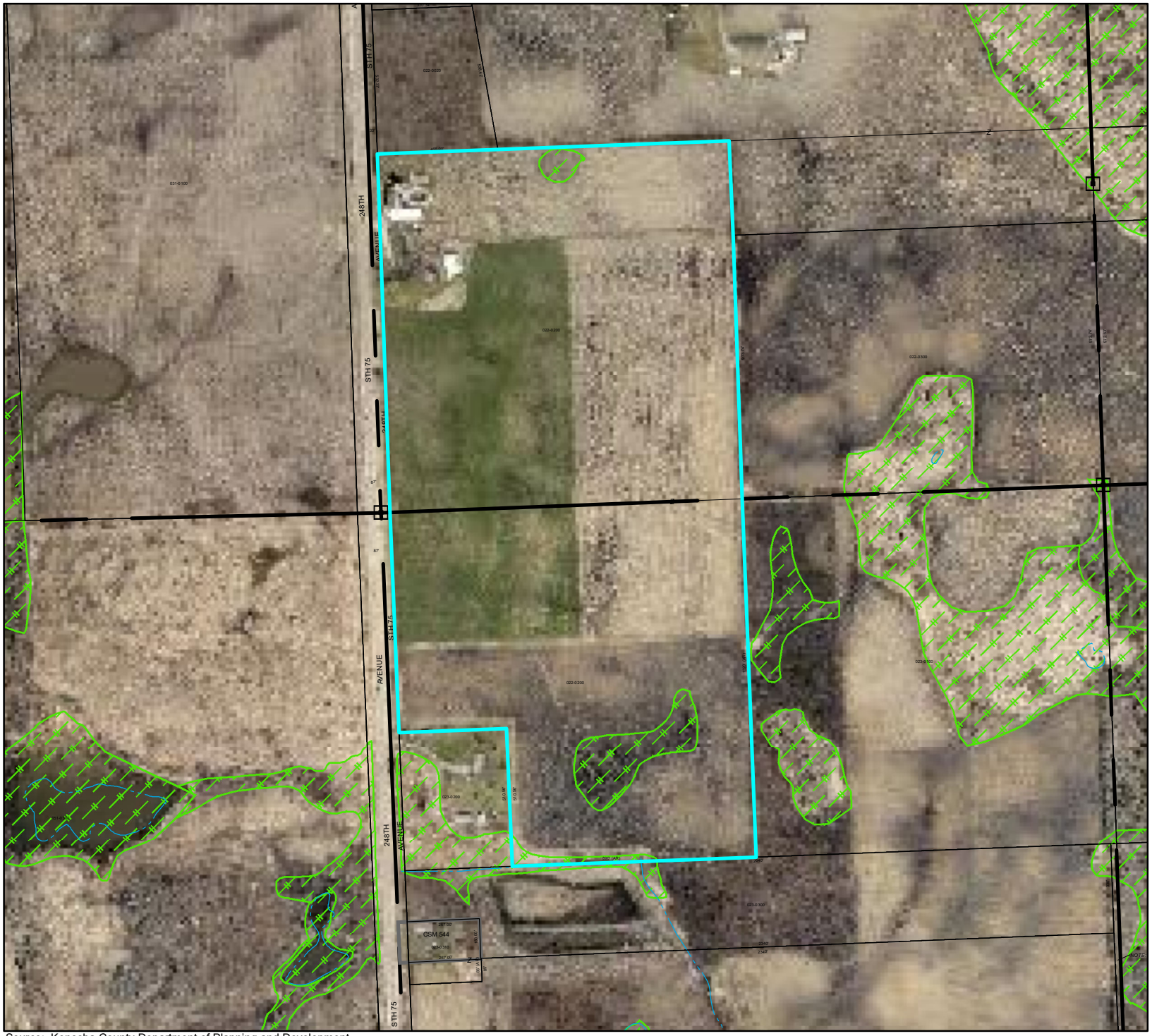
Kenosha County Center
Department of Planning & Development
19600 - 75th Street, Post Office Box 520
Bristol, Wisconsin 53104-0520

Division of County Development (including Sanitation & Land Conservation) **857-1895**
Facsimile # 857-1920

Public Works Division of Highways 857-1870

Administration Building
Division of Land Information 653-2622

Brighton, Town of 878-2218
Paris, Town of 859-3006
Randall, Town of 877-2165
Salem, Town of 843-2313
Utility District 862-2371
Somers Town of 859-2822
Wheatland, Town of 537-4340
Wisconsin Department of Natural Resources - Sturtevant Office 884-2300
Wisconsin Department of Transportation - Waukesha Office 548-8722



Source: Kenosha County Department of Planning and Development

Kenosha County

KENOSHA COUNTY WISCONSIN
Established 1850

SUBJECT PROPERTY

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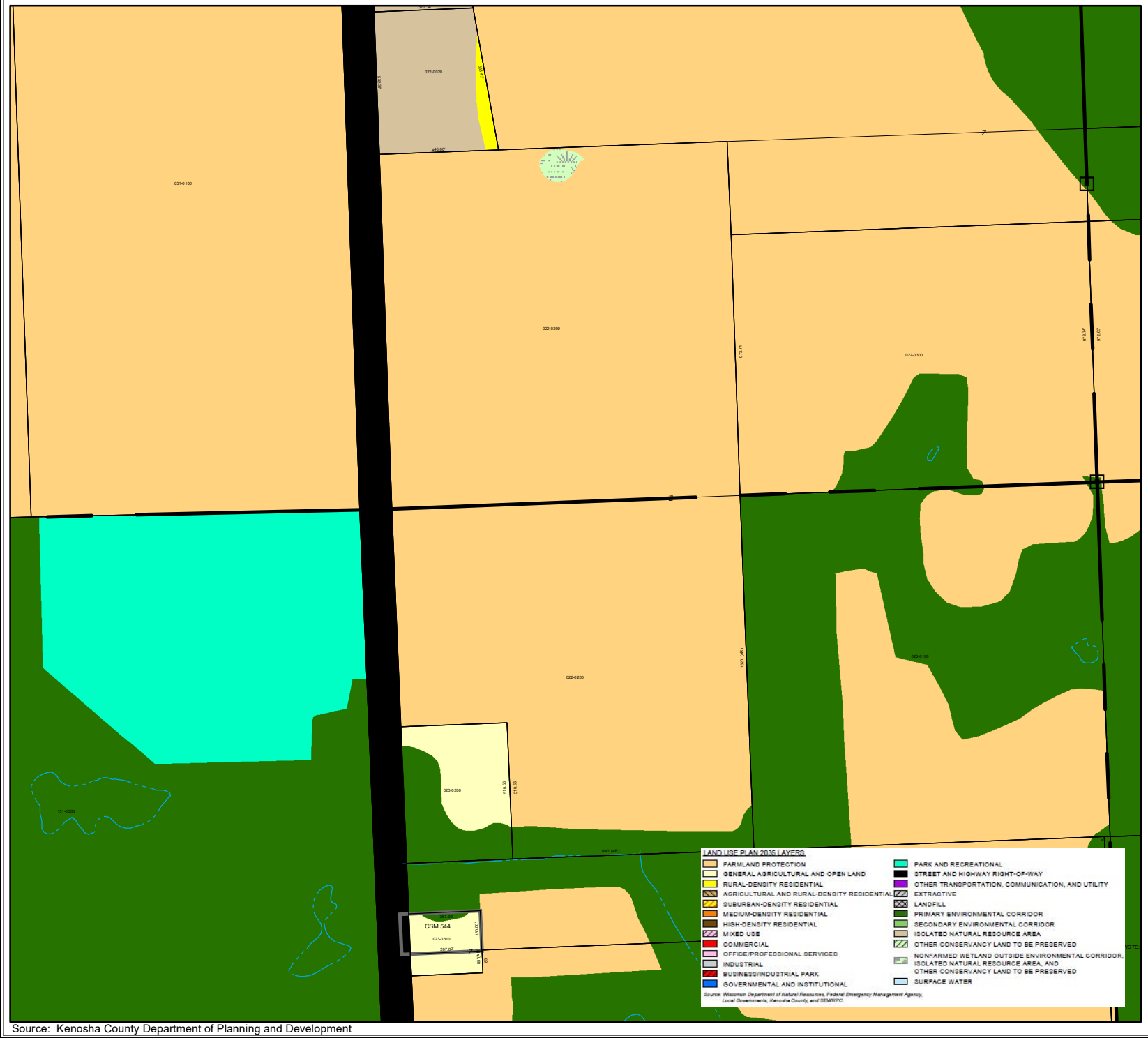
1 inch = 500 feet

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INNACURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT KENOSHA COUNTY.

Kenosha County

CURRENT LAND USE PLAN MAP DESIGNATIONS



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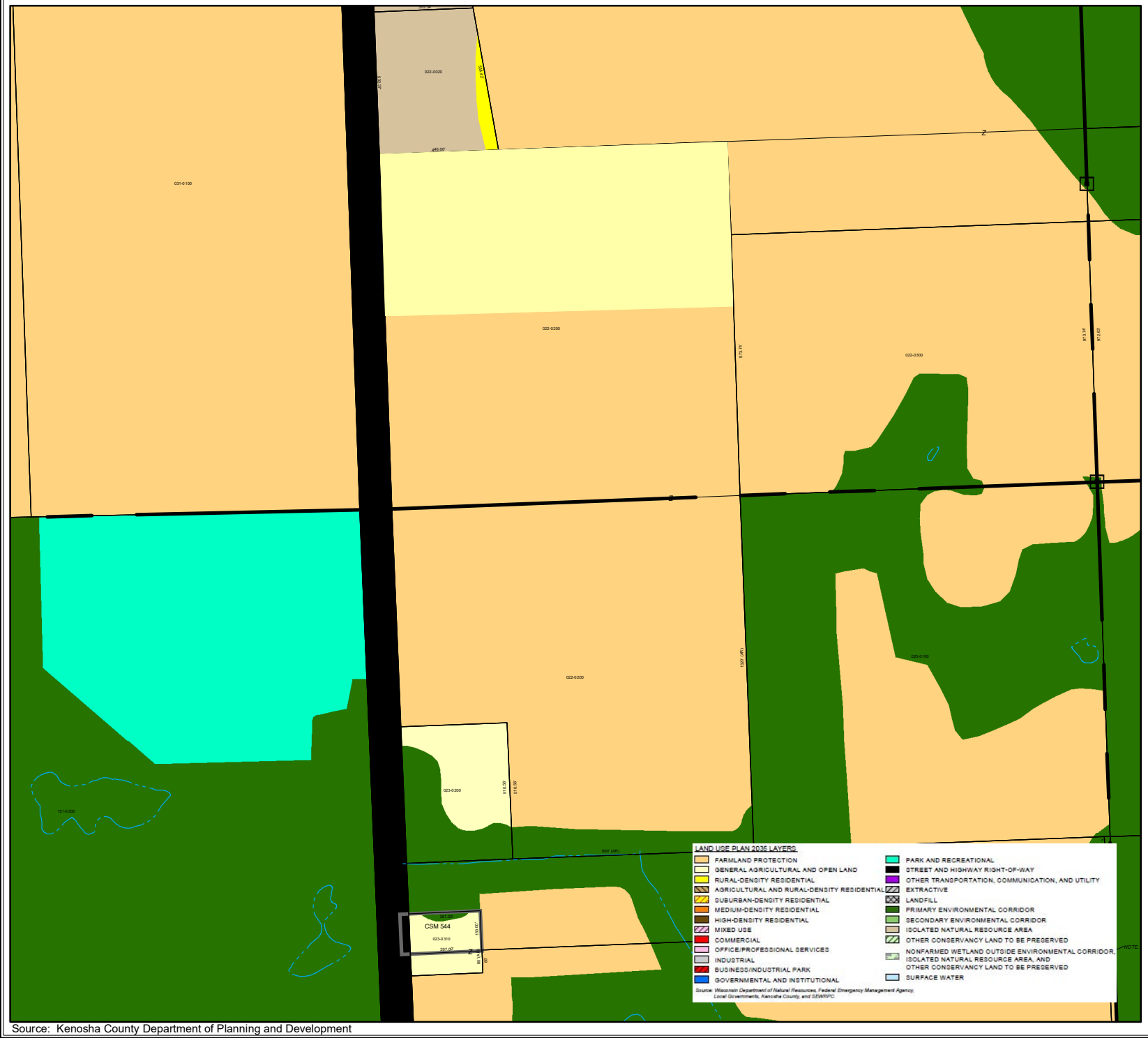
Source: Kenosha County Department of Planning and Development

Kenosha County

PROPOSED LAND USE PLAN MAP DESIGNATIONS



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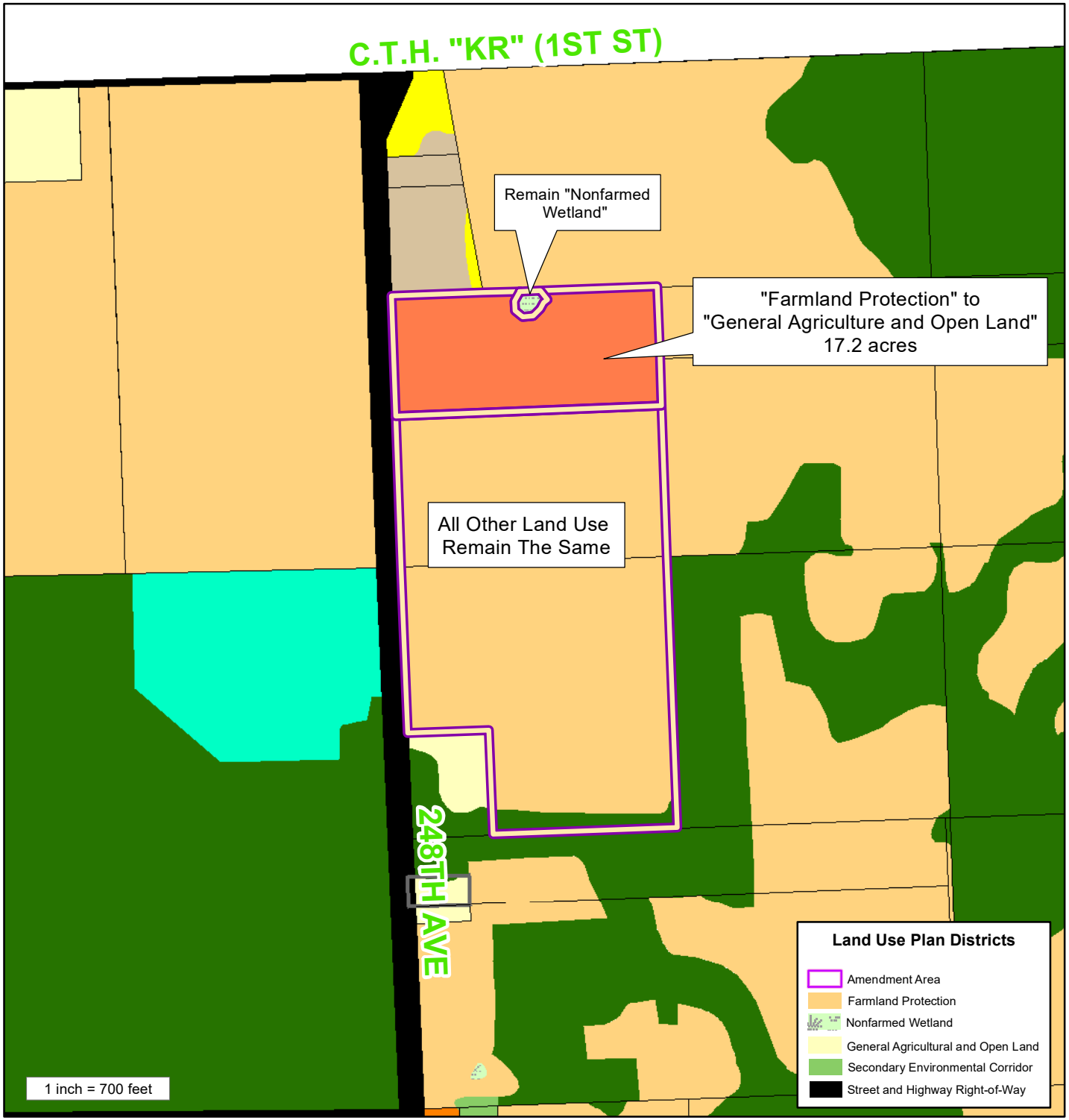
Source: Kenosha County Department of Planning and Development

KENOSHA COUNTY PLANNING, DEVELOPMENT & EXTENSION EDUCATION COMMITTEE



08122020 Schmeckel Comp Plan.mxd

COMPREHENSIVE PLAN AMENDMENT SITE MAP

PETITIONER(S):

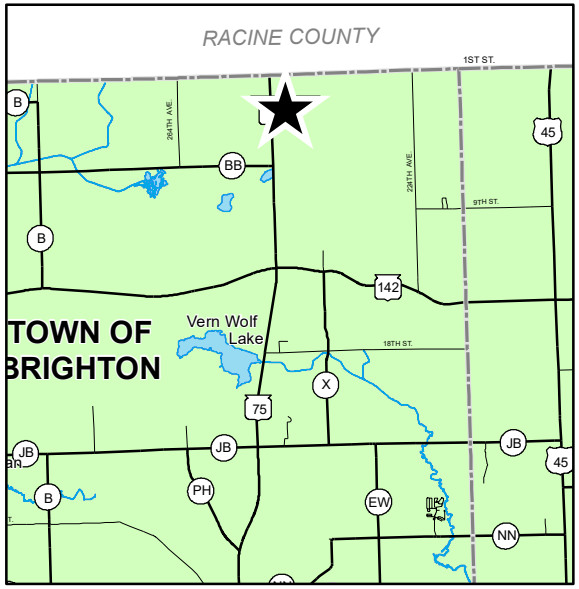
Jeffery Schmeckel (Owner)

LOCATION: W 1/2 of Section 2
Town of Brighton

TAX PARCEL(S): #30-4-220-022-0200

REQUEST:

Requests an amendment to the Adopted Land Use Plan map for Kenosha County: 2035 (map 65 of the comprehensive plan) from "Farmland Protection" & "PEC" to "Farmland Protection", "General Agricultural and Open Land" & "PEC".



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JUN 24 2020

Kenosha County
Deputy County Clerk

COUNTY OF KENOSHA
Department of Planning and Development

RECEIVED

REZONING APPLICATION

JUN 24 2020

Kenosha County
Planning and Development

(a) Property Owner's Name:

Jeffrey Schmeckel

Print Name: Jeffrey Schmeckel Signature:

Mailing Address: 275 248th Avenue

City: Kansasville State: WI Zip: 53139-9627

Phone Number: 262-210-2302 E-mail (optional): N/A

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status **signed** by the legal property owner **must** be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: HENRY FLECK Signature: Henry Fleck

Business Name: N/A

Mailing Address: P.O. Box 610

City: KANSASVILLE State: WI Zip: 53139

Phone Number: 262-496-9647 E-mail (optional): henry.fleck@gmail.com

(c) Tax key number(s) of property to be rezoned:

30-4-220-022-0200

Property Address of property to be rezoned:

275 248th Avenue

(d) Proposed use (a statement of the type, extent, area, etc. of any development project):

Continued Agriculture use

(e) Check the box next to any and all of the **existing** zoning district classifications present on the subject property:

☑ A-1 Agricultural Preservation District	☐ TCO Town Center Overlay District
☐ A-2 General Agricultural District	☐ B-1 Neighborhood Business District
☐ A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	☐ B-2 Community Business District
☐ A-4 Agricultural Land Holding District	☐ B-3 Highway Business District
☐ AE-1 Agricultural Equestrian Cluster Single-Family District	☐ B-4 Planned Business District
☐ R-1 Rural Residential District	☐ B-5 Wholesale Trade and Warehousing District
☐ R-2 Suburban Single-Family Residential District	☐ BP-1 Business Park District
☐ R-3 Urban Single-Family Residential District	☐ B-94 Interstate Highway 94 Special Use Business District
☐ R-4 Urban Single-Family Residential District	☐ M-1 Limited Manufacturing District
☐ R-5 Urban Single-Family Residential District	☐ M-2 Heavy Manufacturing District
☐ R-6 Urban Single-Family Residential District	☐ M-3 Mineral Extraction District
☐ R-7 Suburban Two-Family and Three-Family Residential District	☐ M-4 Sanitary Landfill and Hazardous Waste Disposal District
☐ R-8 Urban Two-Family Residential District	☐ I-1 Institutional District
☐ R-9 Multiple-Family Residential District	☐ PR-1 Park-Recreational District
☐ R-10 Multiple-Family Residential District	☑ C-1 Lowland Resource Conservancy District
☐ R-11 Multiple-Family Residential District	☐ C-2 Upland Resource Conservancy District
☐ R-12 Mobile Home/Manufactured Home Park-Subdivision District	☐ FPO Floodplain Overlay District
☐ HO Historical Overlay District	☐ FWO Camp Lake/Center Lake Floodway Overlay District
☐ PUD Planned Unit Development Overlay District	☐ FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
☐ AO Airport Overlay District	
☐ RC Rural Cluster Development Overlay District	

(f) Check the box next to any and all of the **proposed** zoning district classifications proposed for the subject property:

☑ A-1 Agricultural Preservation District	☐ TCO Town Center Overlay District
☑ A-2 General Agricultural District	☐ B-1 Neighborhood Business District
☐ A-3 Agricultural Related Manufacturing, Warehousing and Marketing District	☐ B-2 Community Business District
☐ A-4 Agricultural Land Holding District	☐ B-3 Highway Business District
☐ AE-1 Agricultural Equestrian Cluster Single-Family District	☐ B-4 Planned Business District
☐ R-1 Rural Residential District	☐ B-5 Wholesale Trade and Warehousing District
☐ R-2 Suburban Single-Family Residential District	☐ BP-1 Business Park District
☐ R-3 Urban Single-Family Residential District	☐ B-94 Interstate Highway 94 Special Use Business District
☐ R-4 Urban Single-Family Residential District	☐ M-1 Limited Manufacturing District
☐ R-5 Urban Single-Family Residential District	☐ M-2 Heavy Manufacturing District
☐ R-6 Urban Single-Family Residential District	☐ M-3 Mineral Extraction District
☐ R-7 Suburban Two-Family and Three-Family Residential District	☐ M-4 Sanitary Landfill and Hazardous Waste Disposal District
☐ R-8 Urban Two-Family Residential District	☐ I-1 Institutional District
☐ R-9 Multiple-Family Residential District	☐ PR-1 Park-Recreational District
☐ R-10 Multiple-Family Residential District	☑ C-1 Lowland Resource Conservancy District
☐ R-11 Multiple-Family Residential District	☐ C-2 Upland Resource Conservancy District
☐ R-12 Mobile Home/Manufactured Home Park-Subdivision District	☐ FPO Floodplain Overlay District
☐ HO Historical Overlay District	☐ FWO Camp Lake/Center Lake Floodway Overlay District
☐ PUD Planned Unit Development Overlay District	☐ FFO Camp Lake/Center Lake Floodplain Fringe Overlay District
☐ AO Airport Overlay District	
☐ RC Rural Cluster Development Overlay District	

(g) Your request must be consistent with the existing planned land use category as shown on Map 65 of the adopted "Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035".

The existing planned land use category for the subject property is:

☑ Farmland Protection	☐ Governmental and Institutional
☐ General Agricultural and Open Land	☐ Park and Recreational
☐ Rural-Density Residential	☐ Street and Highway Right-of-Way
☐ Agricultural and Rural Density Residential	☐ Other Transportation, Communication, and Utility
☐ Suburban-Density Residential	☐ Extractive
☐ Medium-Density Residential	☐ Landfill
☐ High-Density Residential	☑ Primary Environmental Corridor
☐ Mixed Use	☐ Secondary Environmental Corridor
☐ Commercial	☐ Isolated Natural Resource Area
☐ Office/Professional Services	☐ Other Conservancy Land to be Preserved
☐ Industrial	☐ Nonfarmed Wetland
☐ Business/Industrial Park	☐ Surface Water

(h) Attach a plot plan or survey plat of property to be rezoned (showing location, dimensions, zoning of adjacent properties, existing uses and buildings of adjacent properties, floodways and floodplains)—drawn to scale.

(i) The Kenosha County Department of Planning and Development may ask for additional information.

(1) Is this property located within the shoreland area?

Shoreland area is defined as the following: All land, water and air located within the following distances from the ordinary high water mark of navigable waters as defined in section 144.26(2)(d) of the Wisconsin Statutes: 1,000 feet from a lake, pond or flowage; 300 feet from a river or stream or to the landward side of the floodplain, whichever distance is greater. If the navigable water is a glacial pothole lake, the distance shall be measured from the high water mark thereof.

☐ Yes ☑ No

(2) Is this property located within the City of Kenosha Airport affected area as defined in s. 62.23 (6) (am) 1. b.?

☐ Yes ☑ No

(j) The name of the County Supervisor of the district wherein the property is located (District Map):

Supervisory District Number: 19 County Board Supervisor: Sandra Beth

(k) The fee specified in Section 12.05-8 of this ordinance.

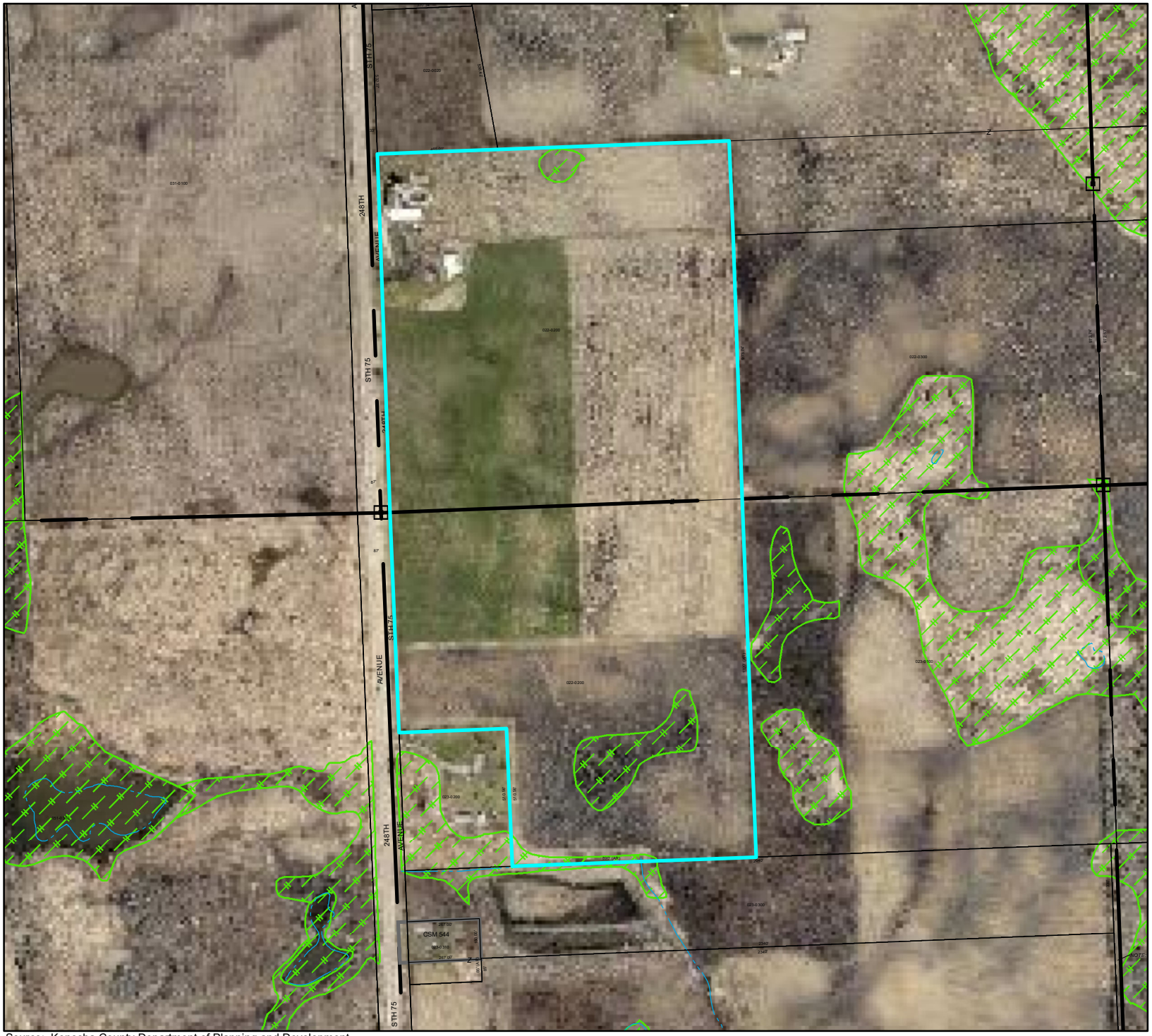
Request for Rezoning Petition $750.00

(For other fees see the Fee Schedule)

Note: Agricultural Use Conversion Charge

The use value assessment system values agricultural land based on the income that would be generated from its rental for agricultural use rather than its fair market value. When a person converts agricultural land to a non-agricultural use (e.g. residential or commercial development), that person may owe a conversion charge. To obtain more information about the use value law or conversion charge, contact the Wisconsin Department of Revenue's Equalization Section at 608-266-2149 or visit http://www.revenue.wi.gov/faqs/slf/useassmt.html.

Note that the act of rezoning property from an agricultural zoning district to a non-agricultural zoning district does not necessarily trigger the agricultural use conversion charge. It is when the use of the property changes from agricultural that the conversion charge is assessed.



Source: Kenosha County Department of Planning and Development

Kenosha County

KENOSHA COUNTY WISCONSIN
Established 1850

SUBJECT PROPERTY

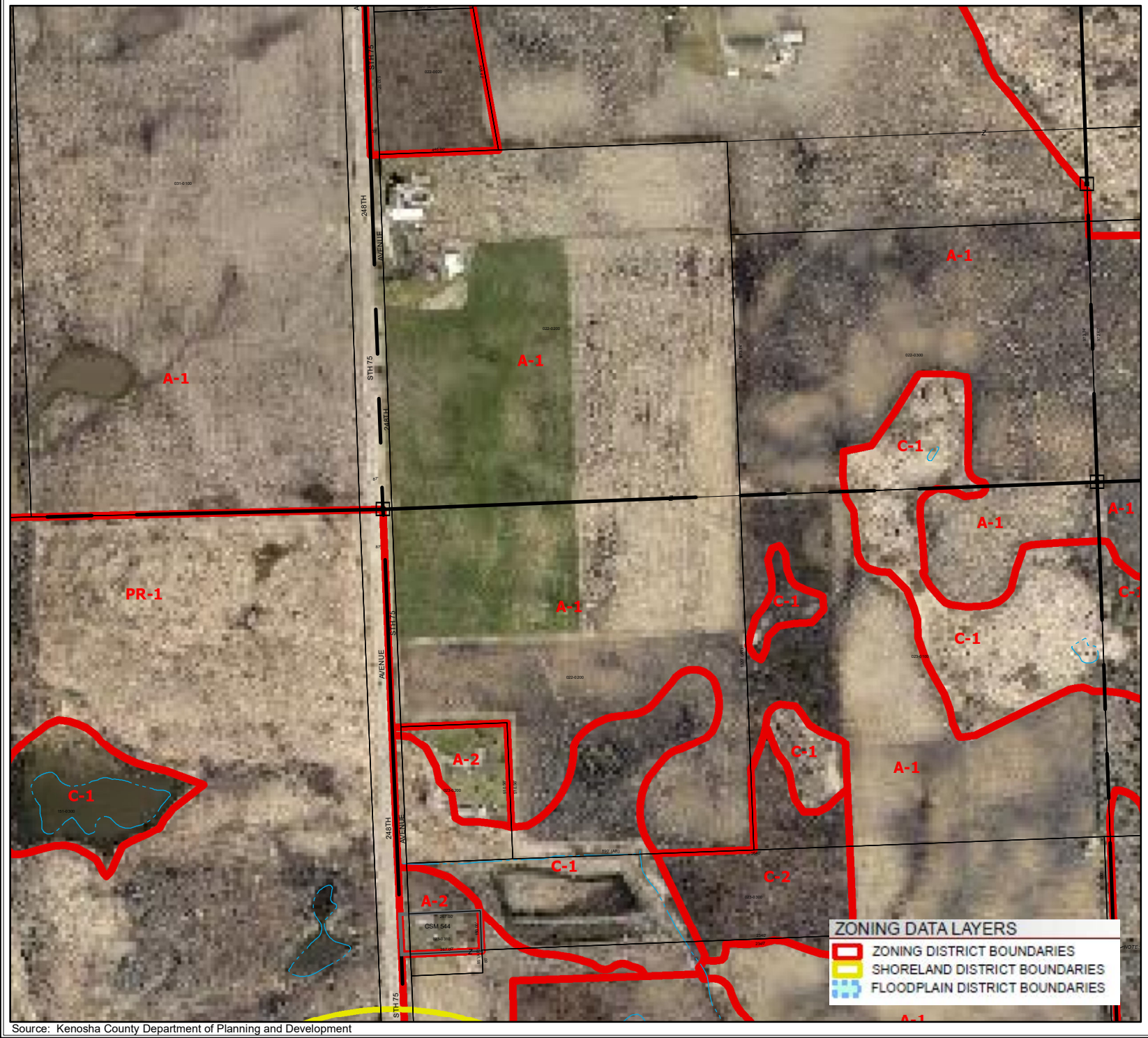
N
W E
S

1 inch = 500 feet

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INNACURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT KENOSHA COUNTY.

Kenosha County

CURRENT
ZONING MAP
CLASSIFCATIONS



N
W E
S

1 inch = 500 feet

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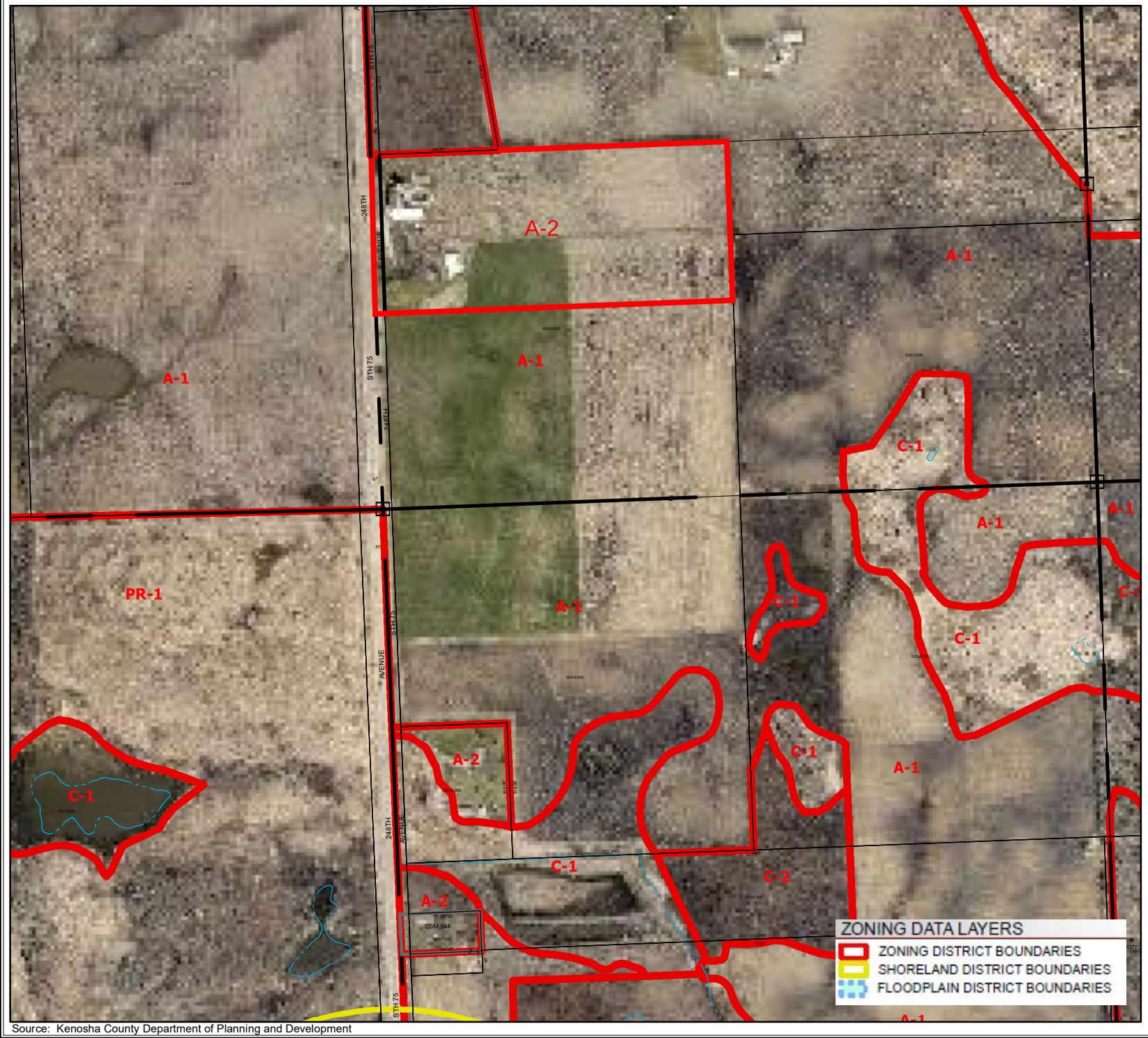
Source: Kenosha County Department of Planning and Development

Kenosha County

KENOSHA COUNTY WISCONSIN
Established 1850

PROPOSED ZONING MAP CLASSIFCATIONS



N
W E
S

1 inch = 500 feet

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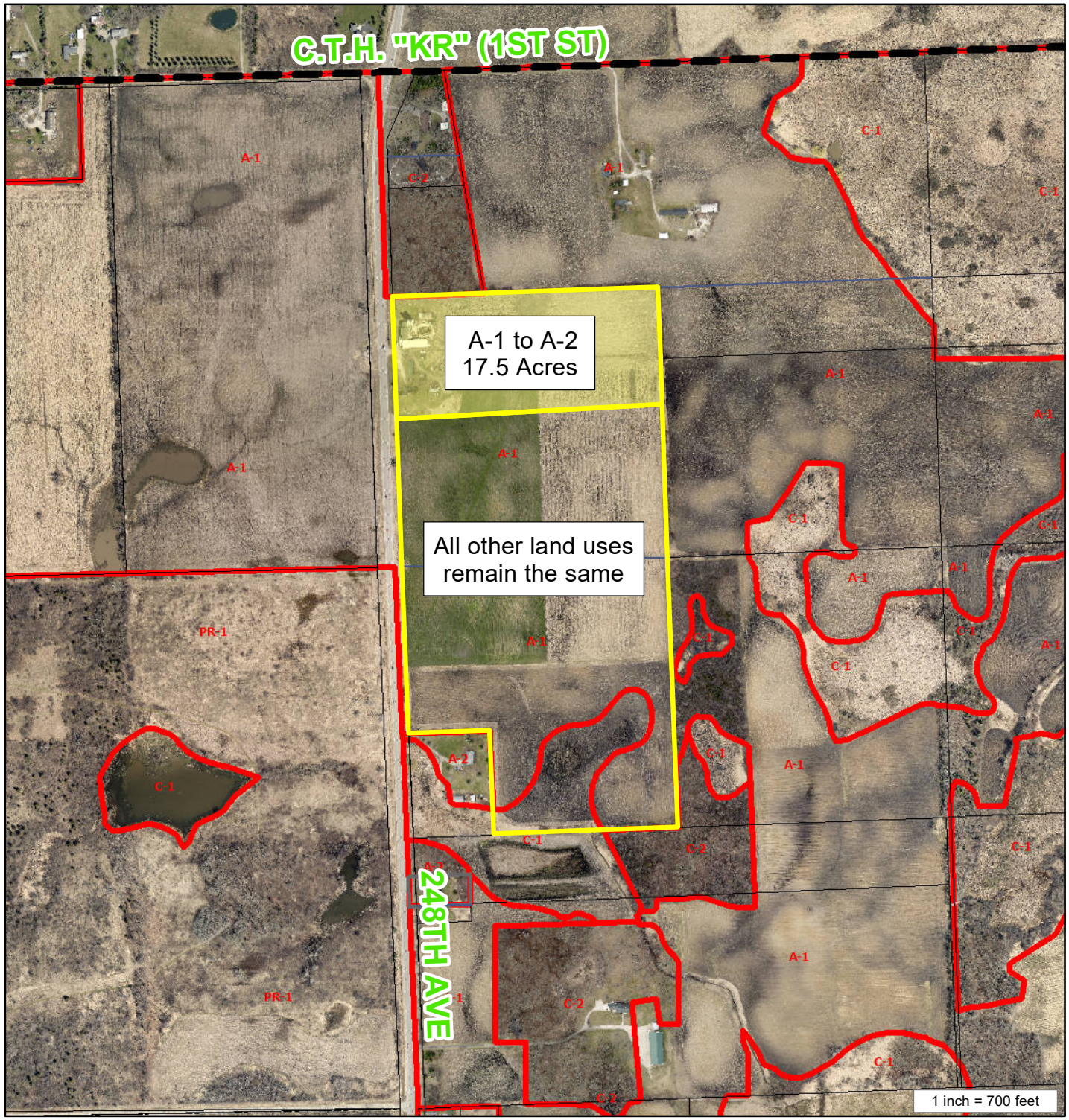
Source: Kenosha County Department of Planning and Development

KENOSHA COUNTY PLANNING, DEVELOPMENT & EXTENSION EDUCATION COMMITTEE



08122020 Jeffery Schmeckel_Rezoning.mxd

REZONING SITE MAP

PETITIONER(S):

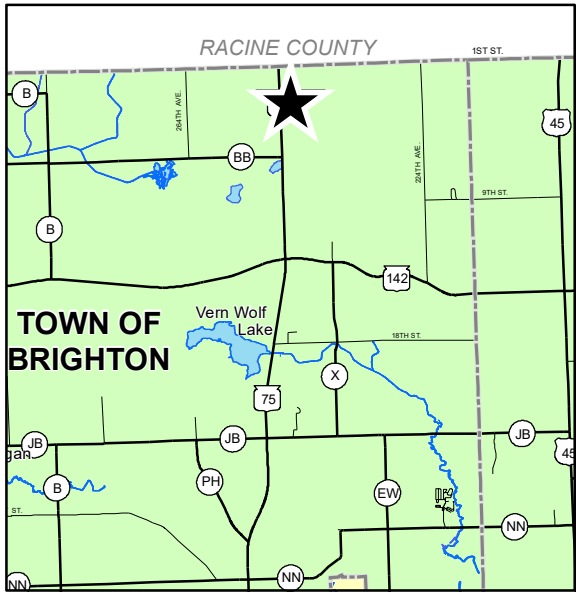
Jeffery Schmeckel (Owner)

LOCATION: W 1/2 of Section 2
Town of Brighton

TAX PARCEL(S): #30-4-220-022-0200

REQUEST:

Requesting a rezoning from A-1 Agricultural Preservation Dist. & C-1 Lowland Resource Conservancy Dist. to A-1 Agricultural Preservation Dist., A-2 General Agricultural Dist. & C-1 Lowland Resource Conservancy Dist.



KENOSHA COUNTY
CONSERVATION · PLANNING · DEVELOPMENT

January 2013

COUNTY OF KENOSHA
Department of Planning and Development

RECEIVED
JUN 24 2020
Kenosha County
Planning and Development

RECEIVED
JUN 24 2020
Kenosha County
Deputy County Clerk

LAND DIVISION APPLICATION

Prior to order for applications to be processed, all information, drawings, application signatures, and fees required shall be submitted at time of application.

Please check the appropriate box below for the type of application being submitted:

- [x] Certified Survey Map
- [ ] Subdivision Preliminary Plat
- [ ] Subdivision Final Plat
- [ ] Condominium Plat

Applicant is: [x] Property Owner [ ] Subdivider [ ] Other _____

Applicant Name: Jeffrey Schmeckel Date 5-29-2020

Mailing Address: 275 248th Avenue Phone # 262-210-2302

Kansasville WI 53139-9627 Phone # _____

Tax Parcel Number(s): 30-4-220-022-0200

Acreage of Project: Appx. 18 acres

Location of Property (including legal description):

See attached draft certified survey map document.

Subdivision/Development Name (if applicable): Not applicable.

Existing Zoning: A-1 & C-1 Proposed Zoning: A-1, A-2 & C-1

Town Land Use Plan District Designation(s) (if applicable):

Present "Farmland Protection" and "PEC"

Proposed "Farmland Protection", "Rural Residential" and "PEC"

Present Use(s) of Property: FARMING

Proposed Use(s) of Property: FARMING

The subdivision abuts or adjoins a state trunk highway.....Yes (✔) No ( )

The subdivision will be served by public sewer .....Yes ( ) No (✔)

The subdivision abuts a county trunk highway .....Yes ( ) No (✔)

The subdivision contains shoreland/floodplain areas .....Yes ( ) No (✔)

The subdivision lies within the extra-territorial plat (ETP) authority area of a nearby Village or City .....Yes ( ) No (✔)

*Applicant is responsible for submitting to the ETP authority any fees and documentation needed to obtain a recommendation.

REQUIRED SIGNATURE(S) FOR ALL APPLICATIONS:

Jeff Schubert — 5-29-2020

Property Owner's Signature — Date

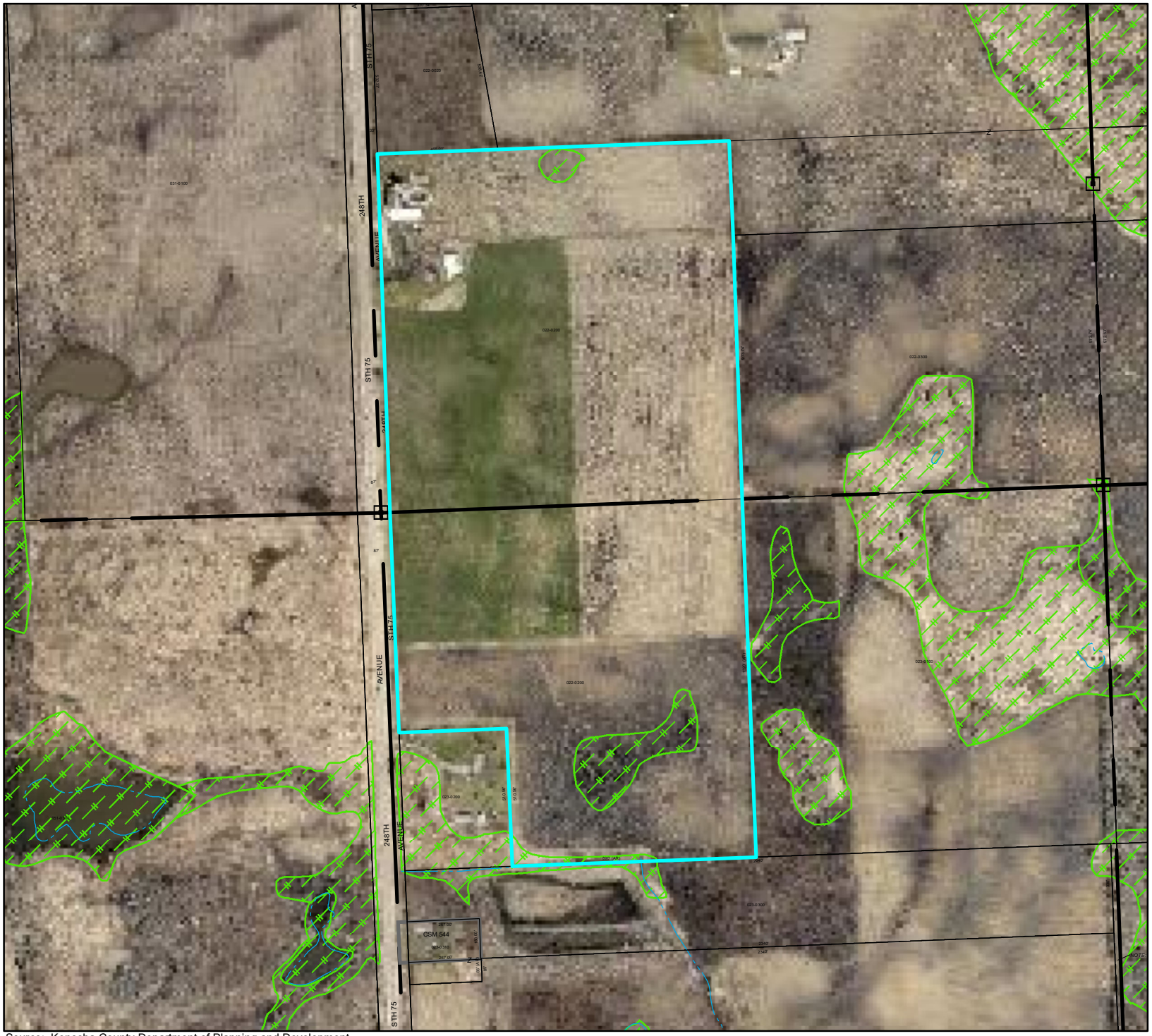
Property Owner's Signature — Date

REQUIRED APPLICABLE SIGNATURES:

Henry Flud — 5/-29/2020

Applicant's Signature — Date

Developer's Signature — Date



Source: Kenosha County Department of Planning and Development

Kenosha County

KENOSHA COUNTY WISCONSIN
Established 1850

CURRENT LOT LAYOUT

N
W E
S

1 inch = 500 feet

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INNACURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT KENOSHA COUNTY.

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 2 NORTH, RANGE 20 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWN OF BRIGHTON, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

NORTHWEST CORNER
SECTION 2-2-20
N. = 249,723.37
E. = 2,508,162.34
CONCRETE MONUMENT WITH BRASS CAP

LEGEND

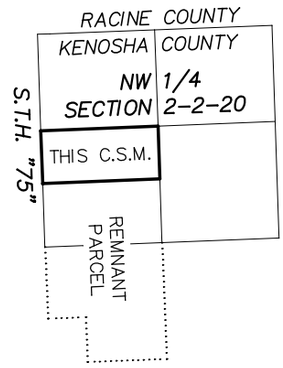
- ● FOUND 1" O.D. IRON PIPE
- ○ SET 1-5/16" O.D. x 18" LONG IRON PIPE WEIGHING NOT LESS THAN 1.68 POUNDS PER LINEAL FOOT.
- ▲ SOIL BORING

PROPERTY OWNER:
JEFFREY SCHMECKEL
275 248th AVENUE
KANSASVILLE, WI 53139

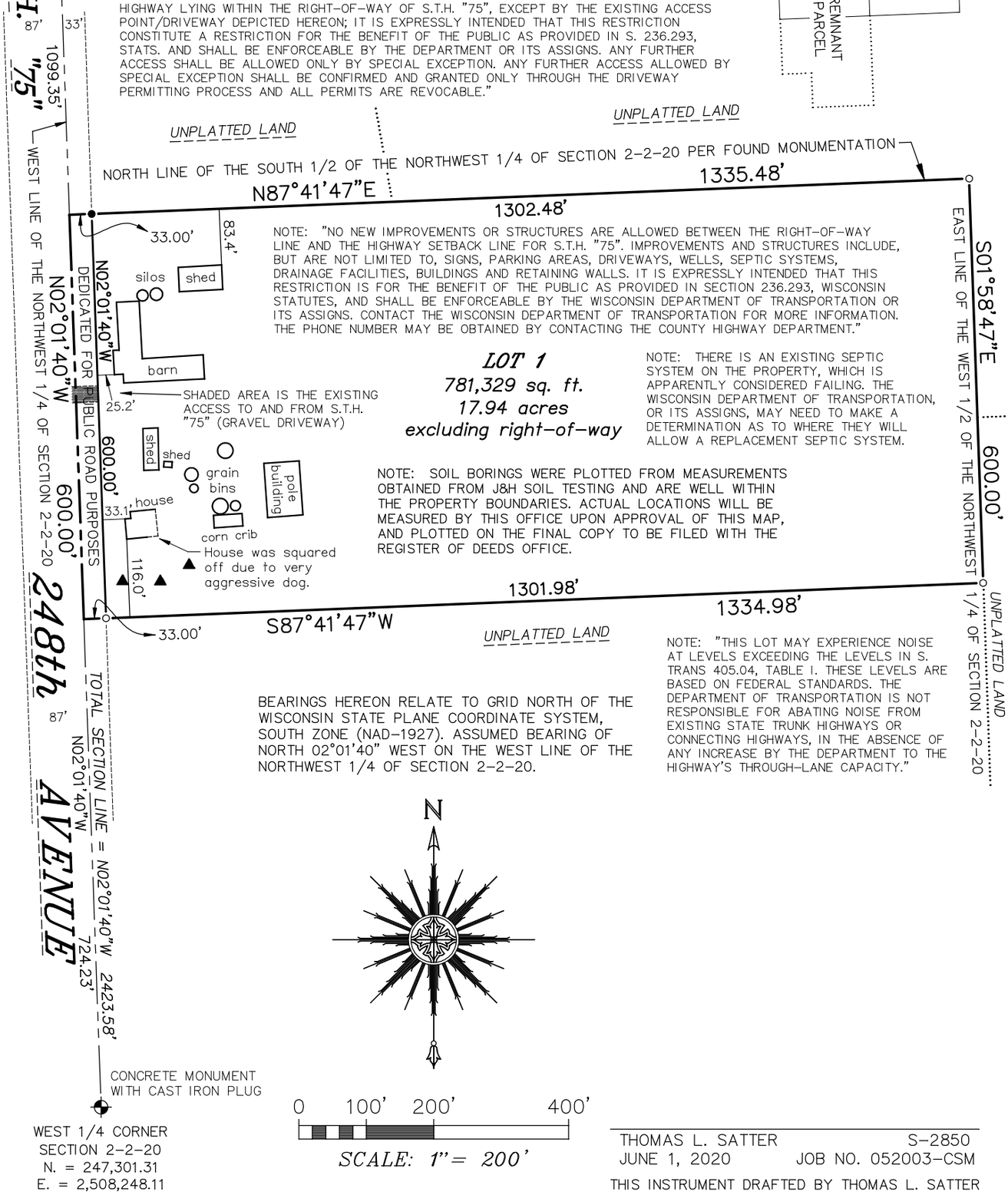
PREPARED BY:
SATTER SURVEYING LLC
272 ORIGEN STREET
BURLINGTON, WI 53105

LOCATION MAP

SCALE: 1' = 2000'



NOTE: THIS LOT IS HEREBY RESTRICTED SO THAT NO OWNER, POSSESSOR, USER, LICENSEE OR OTHER PERSON MAY HAVE ANY RIGHT OF DIRECT VEHICULAR INGRESS FROM OR EGRESS TO ANY HIGHWAY LYING WITHIN THE RIGHT-OF-WAY OF S.T.H. "75", EXCEPT BY THE EXISTING ACCESS POINT/DRIVEWAY DEPICTED HEREON; IT IS EXPRESSLY INTENDED THAT THIS RESTRICTION CONSTITUTE A RESTRICTION FOR THE BENEFIT OF THE PUBLIC AS PROVIDED IN S. 236.293, STATS. AND SHALL BE ENFORCEABLE BY THE DEPARTMENT OR ITS ASSIGNS. ANY FURTHER ACCESS SHALL BE ALLOWED ONLY BY SPECIAL EXCEPTION. ANY FURTHER ACCESS ALLOWED BY SPECIAL EXCEPTION SHALL BE CONFIRMED AND GRANTED ONLY THROUGH THE DRIVEWAY PERMITTING PROCESS AND ALL PERMITS ARE REVOCABLE."



NOTE: "NO NEW IMPROVEMENTS OR STRUCTURES ARE ALLOWED BETWEEN THE RIGHT-OF-WAY LINE AND THE HIGHWAY SETBACK LINE FOR S.T.H. "75". IMPROVEMENTS AND STRUCTURES INCLUDE, BUT ARE NOT LIMITED TO, SIGNS, PARKING AREAS, DRIVEWAYS, WELLS, SEPTIC SYSTEMS, DRAINAGE FACILITIES, BUILDINGS AND RETAINING WALLS. IT IS EXPRESSLY INTENDED THAT THIS RESTRICTION IS FOR THE BENEFIT OF THE PUBLIC AS PROVIDED IN SECTION 236.293, WISCONSIN STATUTES, AND SHALL BE ENFORCEABLE BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION OR ITS ASSIGNS. CONTACT THE WISCONSIN DEPARTMENT OF TRANSPORTATION FOR MORE INFORMATION. THE PHONE NUMBER MAY BE OBTAINED BY CONTACTING THE COUNTY HIGHWAY DEPARTMENT."

LOT 1
781,329 sq. ft.
17.94 acres
excluding right-of-way

NOTE: THERE IS AN EXISTING SEPTIC SYSTEM ON THE PROPERTY, WHICH IS APPARENTLY CONSIDERED FAILING. THE WISCONSIN DEPARTMENT OF TRANSPORTATION, OR ITS ASSIGNS, MAY NEED TO MAKE A DETERMINATION AS TO WHERE THEY WILL ALLOW A REPLACEMENT SEPTIC SYSTEM.

NOTE: SOIL BORINGS WERE PLOTTED FROM MEASUREMENTS OBTAINED FROM J&H SOIL TESTING AND ARE WELL WITHIN THE PROPERTY BOUNDARIES. ACTUAL LOCATIONS WILL BE MEASURED BY THIS OFFICE UPON APPROVAL OF THIS MAP, AND PLOTTED ON THE FINAL COPY TO BE FILED WITH THE REGISTER OF DEEDS OFFICE.

NOTE: "THIS LOT MAY EXPERIENCE NOISE AT LEVELS EXCEEDING THE LEVELS IN S. TRANS 405.04, TABLE I. THESE LEVELS ARE BASED ON FEDERAL STANDARDS. THE DEPARTMENT OF TRANSPORTATION IS NOT RESPONSIBLE FOR ABATING NOISE FROM EXISTING STATE TRUNK HIGHWAYS OR CONNECTING HIGHWAYS, IN THE ABSENCE OF ANY INCREASE BY THE DEPARTMENT TO THE HIGHWAY'S THROUGH-LANE CAPACITY."

BEARINGS HEREON RELATE TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-1927). ASSUMED BEARING OF NORTH 02°01'40" WEST ON THE WEST LINE OF THE NORTHWEST 1/4 OF SECTION 2-2-20.

WEST 1/4 CORNER
SECTION 2-2-20
N. = 247,301.31
E. = 2,508,248.11

THOMAS L. SATTER S-2850
JUNE 1, 2020 JOB NO. 052003-CSM
THIS INSTRUMENT DRAFTED BY THOMAS L. SATTER

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 2 NORTH, RANGE 20 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWN OF BRIGHTON, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

LEGAL DESCRIPTION

A PARCEL OF LAND BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 2 NORTH, RANGE 20 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWN OF BRIGHTON, COUNTY OF KENOSHA, STATE OF WISCONSIN AND BEING MORE PARTICULARY DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 2; THENCE NORTH 02°01'40" WEST ALONG THE WEST LINE OF SAID NORTHWEST 1/4 SECTION 724.23 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREINAFTER DESCRIBED; THENCE CONTINUE NORTH 02°01'40" WEST ALONG SAID WEST LINE 600.00 FEET; THENCE NORTH 87°41'47" EAST, ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 2 PER FOUND MONUMENTATION, 1335.48 FEET TO A POINT ON THE EAST LINE OF THE WEST 1/2 OF SAID NORTHWEST 1/4 SECTION; THENCE SOUTH 01°58'47" EAST ALONG SAID EAST LINE 600.00 FEET; THENCE SOUTH 87°41'47" WEST 1334.98 FEET TO THE POINT OF BEGINNING. CONTAINING 18.39 ACRES OF LAND, MORE OR LESS. DEDICATING THE WEST 33 FEET THEREOF FOR PUBLIC ROAD PURPOSES (248TH AVENUE).

SURVEYOR'S CERTIFICATE

I, THOMAS L. SATTER, WISCONSIN PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT, AT THE DIRECTION OF JEFFREY SCHMECKEL, I HAVE SURVEYED THE LAND DESCRIBED HEREON AND THAT THE MAP SHOWN IS A CORRECT REPRESENTATION OF ITS EXTERIOR BOUNDARIES AND THE DIVISION THEREOF, AND THAT I HAVE FULLY COMPLIED WITH THE REQUIREMENTS OF SECTION 236.34 OF THE WISCONSIN STATUTES, THE TOWN OF BRIGHTON LAND DIVISION ORDINANCE AND THE KENOSHA COUNTY LAND DIVISION ORDINANCE.

OWNER'S CERTIFICATE

I, JEFFREY SCHMECKEL, AS OWNER, DO HEREBY CERTIFY THAT I HAVE CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED HEREON. I ALSO CERTIFY THAT THIS MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BRIGHTON AND KENOSHA COUNTY PLANNING, DEVELOPMENT AND EXTENSION EDUCATION COMMITTEE FOR APPROVAL.

_____
JEFFREY SCHMECKEL

DATED THIS _____ DAY OF _____ , 2020.

STATE OF WISCONSIN)
COUNTY OF KENOSHA) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY _____ , 2020, THE ABOVE NAMED JEFFREY SCHMECKEL, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

_____
NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES: _____

THOMAS L. SATTER S-2850
JUNE 1, 2020 JOB NO. 052003-CSM
THIS INSTRUMENT DRAFTED BY THOMAS L. SATTER

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 2 NORTH, RANGE 20 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWN OF BRIGHTON, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

CONSENT OF CORPORATE MORTGAGEE

COMPEER FINANCIAL, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE HEREIN DESCRIBED LANDS, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING, MAPPING AND DEDICATING OF THE LANDS AS DESCRIBED AND REPRESENTED ON THIS MAP AND DOES CONSENT TO THE CERTIFICATE OF JEFFREY SCHMECKEL, OWNER OF SAID LANDS.

IN WITNESS WHEREOF, THE SAID COMPEER FINANCIAL, HAS CAUSED THESE PRESENTS TO BE SIGNED BY:
_____ , AN AUTHORIZED REPRESENTATIVE, AND

COUNTERSIGNED BY _____ , AN AUTHORIZED REPRESENTATIVE, AT

_____ , WISCONSIN AND ITS CORPORATE SEAL TO BE AFFIXED HEREON

THIS _____ DAY OF _____ , 2020.

_____
AUTHORIZED REPRESENTATIVE

DATED THIS _____ DAY OF _____ , 2020.

_____
AUTHORIZED REPRESENTATIVE

DATED THIS _____ DAY OF _____ , 2020.

STATE OF WISCONSIN)
COUNTY OF KENOSHA) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY _____ , 2020, THE ABOVE NAMED AUTHORIZED REPRESENTATIVES OF COMPEER FINANCIAL, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING CERTIFICATE AND ACKNOWLEDGED THE SAME.

_____
NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES: _____

TOWN OF BRIGHTON APPROVAL

THIS CERTIFIED SURVEY MAP WAS HEREBY APPROVED BY THE TOWN BOARD OF THE TOWN OF BRIGHTON ON THE
_____ DAY OF _____ , 2020.

_____
TOWN CHAIRMAN

_____
TOWN CLERK

KENOSHA COUNTY PLANNING, DEVELOPMENT AND EXTENSION EDUCATION COMMITTEE APPROVAL

THIS CERTIFIED SURVEY MAP WAS HEREBY APPROVED BY THE KENOSHA COUNTY PLANNING, DEVELOPMENT AND EXTENSION EDUCATION COMMITTEE ON THIS _____ DAY OF _____ , 2020.

_____
COMMITTEE CHAIRPERSON

THOMAS L. SATTER S-2850
JUNE 1, 2020 JOB NO. 052003-CSM
THIS INSTRUMENT DRAFTED BY THOMAS L. SATTER