COUNTY OF KENOSHA
Department of Planning and Development

A MULTI-JURISDICTIONAL COMPREHENSIVE PLAN FOR KENOSHA COUNTY: 2035 AMENDMENT PROCEDURES

☐ **1.** Read the section entitled "Procedure for Amending the Multi-Jurisdictional Comprehensive Plan" of Chapter XV of the Kenosha County comprehensive plan, entitled "A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035".

☐ **2.** Contact the Kenosha County Department of Planning and Development to determine if your proposed land use change requires an amendment of the Kenosha County comprehensive plan map (Map 65 Land Use Plan Map for Kenosha County: 2035).

☐ **3.** Contact Kenosha County Department of Planning and Development to schedule a joint pre-conference meeting with your town and Kenosha County Department of Planning and Development staff; this is required for all comprehensive plan map amendment requests.

Meeting Date: 1/10/2020

☐ **4.** Complete the comprehensive plan map amendment application form (A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035 Map Amendment Application) as well as any other necessary applications; such as the Kenosha County Zoning Map Amendment Application, Kenosha County Conditional Use Permit Application, or Kenosha County Land Division Application.

☐ **5.** Submit your completed comprehensive plan map amendment application form (A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035 Map Amendment Application) and all associated documents to the Kenosha County Department of Planning and Development. Your application must receive a date stamp from the Kenosha County Department of Planning and Development prior to moving on to step six below. After you have received a date stamp from the Kenosha County Department of Planning and Development, you will be provided with two copies of your application documents.

Note: Any petitioner has the right to simultaneously file any other necessary applications (such as the Kenosha County Zoning Map Amendment Application, Kenosha County Conditional Use Permit Application and/or Kenosha County Land Division Application) in conjunction with the proposed comprehensive plan map amendment, however let it be known that should the comprehensive plan map amendment petition be denied or withdrawn, refunds for the additional formal petitions will not be issued.

☐ **6.** Keep one copy of the completed application for your records and deliver the second copy to your local town clerk for notice of public hearing (per section 66.1001(4)(d) of Wisconsin State Statutes) and placement on the Town Planning Commission and Town Board meeting agendas. Note: **The town may not accept/process your application unless it has been stamped received by the Kenosha County Department of Planning and Development**. The town clerk will provide you with the three following dates. Note: these meetings may be held on the same or different days, depending on your respective town's meeting schedule.

Town Plan Commission Meeting/Public Hearing Date: sept 2 2020

Town Board Meeting Date: sept 7 2020

Attend the Town Plan Commission/Public Hearing and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request. If you fail to attend these required meetings, your approval process may be delayed.

☐ **7.** Submit to the Kenosha County Department of Planning and Development a copy (original newspaper page or certified copy from the Town) of the notice of public hearing (per section 66.1001(4)(d) of Wisconsin State Statutes) that was published by your Town at least 30 days before the public hearing is held.

Note: See item (i) on the comprehensive plan map amendment application form (A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035 Map Amendment Application).

☐ **8.** Submit to the Kenosha County Department of Planning and Development a copy of the enacted town resolution and ordinance (per section 66.1001(4)(b) and (c) of Wisconsin State Statutes) adopting the amendment to the Kenosha County comprehensive plan map.

Note: See item (j) on the comprehensive plan map amendment application form (A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035 Map Amendment Application).

☐ **9.** Attend the Kenosha County Planning, Development & Extension Education Committee meeting/Public Hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request. The Planning, Development & Extension Education Committee cannot act on your application until a recommendation is received from the Town Board.

Kenosha County Planning, Development & Extension Education Committee meeting date: 9-9-2020

☐ **10.** Planning, Development & Extension Education Committee recommends either approval and adopts a resolution or denial and transmits recommendation to the Kenosha County Board of Supervisors. No action is required from the applicant at this time.

☐ **11.** The Kenosha County Board of Supervisors either approves or denies the amendment.

If approved, County Board enacts an ordinance that adopts the amendment.

If denied by the Kenosha County Board of Supervisors you have thirty (30) days to file an appeal with circuit court if you so choose.

☐ **12.** After the County Executive has signed the official Ordinance document amending the Kenosha County comprehensive plan (A Multi-Jurisdictional Comprehensive Plan for Kenosha County: 2035), you will be notified in writing. You may then follow through with filing any other required paperwork such as but not limited to:

Kenosha County Zoning Map Amendment – Filing, review, approval.
Minor Land Divisions – Filing, review, approval and recordation of certified survey map document.
Major Land Divisions – Filing, review, approval and recordation of subdivision plat document.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
Department of Planning & Development
19600 - 75th Street, Post Office Box 520
Bristol, Wisconsin 53104-0520

Division of County Development (including Sanitation & Land Conservation) **857-1895**
Facsimile #..... 857-1920

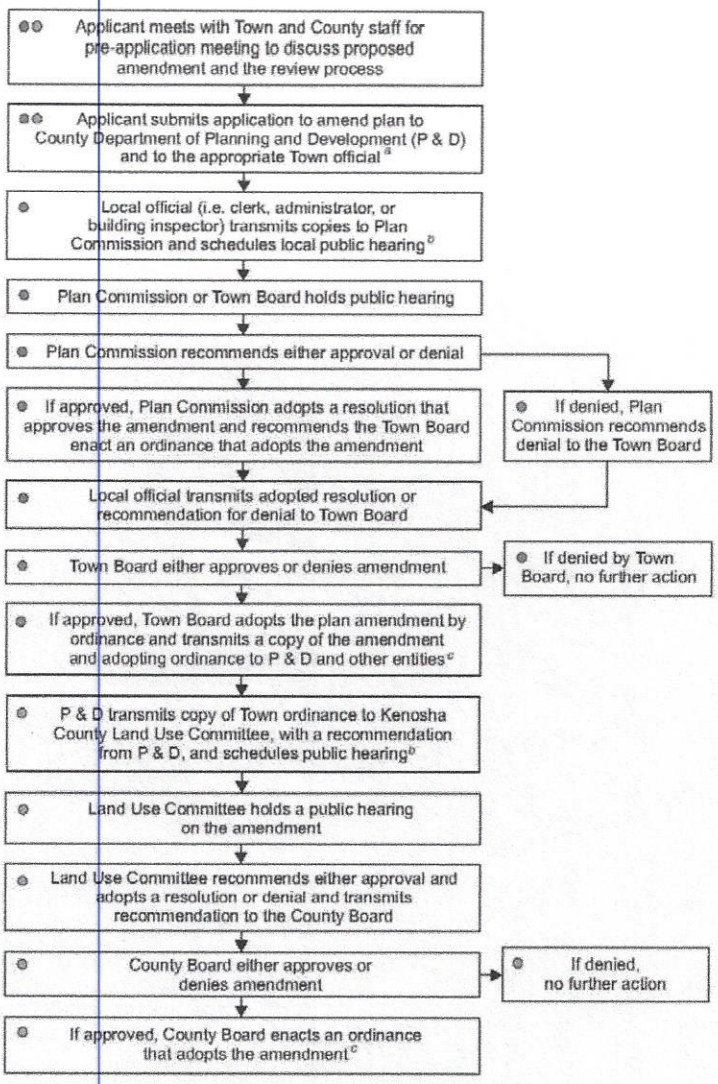
Public Works Division of Highways..... 857-1870

Administration Building
Division of Land Information 653-2622

Brighton, Town of..... 878-2218
Paris, Town of 859-3006
Randall, Town of 877-2165
Salem, Town of 843-2313
Utility District 862-2371
Somers Town of..... 859-2822
Wheatland, Town of 537-4340
Wisconsin Department of Natural Resources - Sturtevant Office 884-2300
Wisconsin Department of Transportation - Waukesha Office 548-8722

Figure XV-1

KENOSHA COUNTY MULTI-JURISDICTIONAL COMPREHENSIVE PLAN AMENDMENT PROCESS FOR TOWNS



[a] *If Town has adopted a separate Town comprehensive plan, applicant files an application to amend the Town plan. If Town has adopted the multi-jurisdictional comprehensive plan, applicant files application for Town Board approval of amendment to the multi-jurisdictional plan.*

[b] *A notice of public hearing must be published and distributed in accordance with Section 66.1001(4) of the* Wisconsin Statutes *and the community or County public participation plan.*

[c] *A copy of the amendment and adopting ordinance must be distributed in accordance with Section 66.1001(4) of the* Wisconsin Statutes *and the community or County public participation plan.*

Source: Kenosha County and SEWRPC.

January 2013

COUNTY OF KENOSHA

Department of Planning and Development

RECEIVED
JUL 28 2020
Kenosha County
Deputy County Clerk

RECEIVED
JUL 28 2020
Kenosha County
Planning and Development

A MULTI-JURISDICTIONAL COMPREHENSIVE PLAN FOR KENOSHA COUNTY: 2035
MAP AMENDMENT APPLICATION

(a) Property Owner's Name:

HCP2 LLC x _____
Signature

Mailing Address:

1412 - 136th Avenue

City: Union Grove State: WI Zip: 53182

Phone Number: 262-206-4433 E-mail (optional): jeff@grassmaninc.com

Note: If the property owner's signature cannot be obtained in the above space, a "letter of agent status" signed by the property owner must be submitted if you are an applicant (tenant, leaseholder, or authorized agent representing the legal owner) acting on their behalf.

Applicant's Name (if applicable):

_____ x _____
Signature

Mailing Address:

_____

City: _____ State: _____ Zip: _____

Phone Number: _____ E-mail (optional): _____

(b) Existing planned land use category as shown on Map 65 of the Kenosha County comprehensive plan:

Farmland Protection and Secondary Environmental Corridor

(c) Proposed land use category (must be a land use category included in the legend for Map 65 of the Kenosha County comprehensive plan):

General Ag and Open Land, Rural Density Residential, & Secondary Environmental Corridor

(d) Proposed use (a statement of intended use and/or the type, extent, area, etc. of any development project):
The proposed amendment would support the development of a rural cluster. 60 acres would be developed into a rural cluster served by a single land access street/culdesac about 1200 feet in length. Buildable parcels within the rural cluster will account for 20 acres with 40 acres dedicated to preserved home owner's association land. In addition to the rural cluster, much of the proposed parcel would include naturally wooded and prairie preservation area and tillable farmland.

(e) Compatibility with the Kenosha County comprehensive plan (address the following questions in detail):

(e-1) Is the proposed amendment consistent with the goals, objectives, policies, and programs of this plan? Explain:
This proposal maintains the rural characteristics of the area while supporting the development of a small rural community. A large portion of the subject parcels ~65%, is intended to preserve the existing farmland, woodlands, and natural habitats. Approximately 35% of the subject parcels will be developed into residential build-able lots.

(e-2) Is the proposed amendment compatible with surrounding land uses? Explain its compatibility with both existing and planned land uses:

The portion of proposed rural residential land use borders on existing suburban density residential land to the South. General agriculture and open land, farmland protection, and secondary environmental corridors land use can be found within or bordering the subject parcel.

(e-3) Will the proposed amendment have any detrimental environmental effects? Explain:

No. Storm water management will be designed to meet the demands of the suburban density residential development area. The proposed environmental corridor will provide an additional area to protect the existing naturally occurring habitat within and bordering the subject parcel.

(e-4) Has a substantial public benefit been demonstrated by the proposed plan amendment? Explain:

Based on the 2019 Kenosha County assessment statement in Brighton, agriculture land has an assessed value of ~$225 per acre and residential land assessed value of ~$22,500 per acre. The proposed rural cluster includes 20 acres of residential land with an assessment increment in excess of ~$445,500. Additional tax base will be gained when homes are built.

(e-5) Are public roads, services, and utilities available, or planned to be available in the near future, to serve the proposed development? Explain:

A single ~1200 feet public land access street/culdesac is planned to serve the rural cluster.

The residential development will be served by private onsite waste treatment systems and wells. WE Energies gas and electric as well as telecommunications is planned to be available at the ROW for each residential parcel.

(e-6) Are existing or planned facilities and services adequate to serve the type of development associated with the amendment? Explain:

Adequate services will be professionally designed to meet the needs of the residences within the rural cluster.

(e-7) Any additional data or information as requested by the Department of Planning and Development:

N/A

(f) Attach a legal description and provide the tax key number(s) below of property to be amended on the Kenosha County comprehensive plan:

30-4-220-324-0100

Attached

(g) Attach plot plan or survey plat of property to be amended on the comprehensive plan (showing location, dimensions, planned land use of adjacent properties, existing uses and buildings of adjacent properties—drawn to scale).

(h) The name of the County Supervisor of the district wherein the property is located:

Supervisory District Number: 22 County Board Supervisor: Erin Decker

(i) Attach a copy (original newspaper clipping or certified copy from the Town) of the notice of public hearing (per section 66.1001(4)(d) of Wisconsin State Statutes) that is published by your Town at least 30 days before the public hearing is held. Include the date of publication with the copy of the notice of public hearing.

Note: Your application will not be processed by Kenosha County until a copy of the notice of public hearing and town approval letter is received by the Kenosha County Department of Planning and Development.

(j) Attach a copy of the enacted town resolution and ordinance (per section 66.1001(4)(c) of Wisconsin State Statutes) adopting the amendment to the Kenosha County comprehensive plan map.

Note: Your application will not be processed by Kenosha County until a copy of the enacted town resolution and ordinance adopting the amendment is received by the Kenosha County Department of Planning and Development.

(k) The fee specified in Section 12.05-8 of this ordinance.

Request for Land Use Plan Map Amendment ..... $250.00 payable to "Kenosha County"

(For other fees see the Fee Schedule)

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center
Department of Planning & Development
19600 - 75th Street, Post Office Box 520
Bristol, Wisconsin 53104-0520

Division of County Development (including Sanitation & Land Conservation) **857-1895**
Facsimile #..... 857-1920

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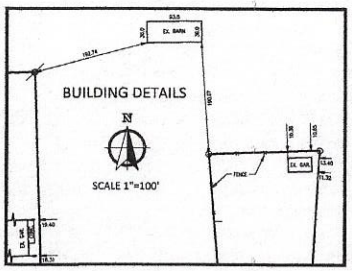
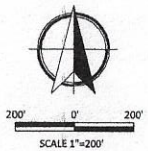
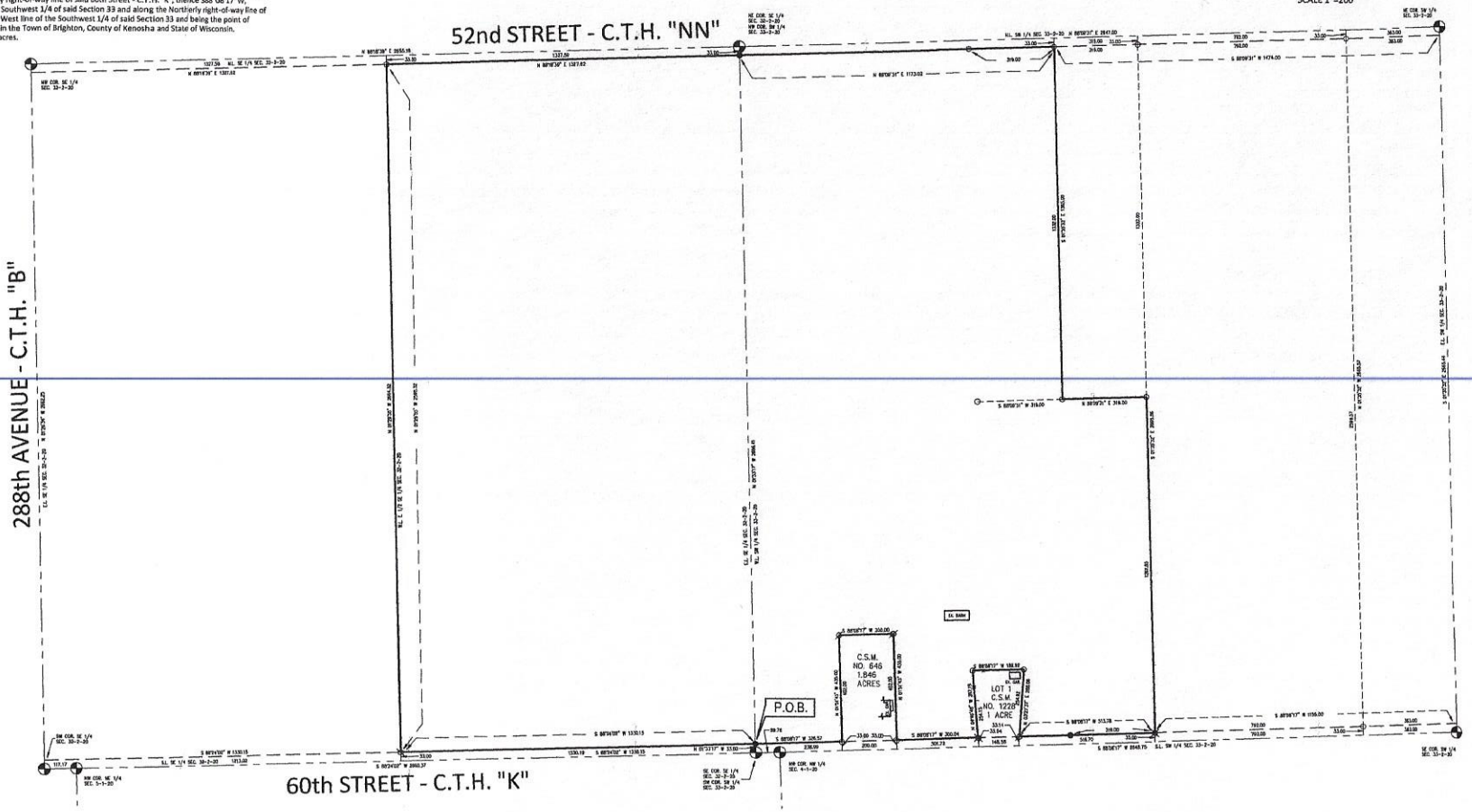
Somers Town of..... 859-2822
Wheatland, Town of 537-4340
Wisconsin Department of Natural Resources - Sturtevant Office 884-2300
Wisconsin Department of Transportation - Waukesha Office 548-8722

Exhibit Drawing for Jeff Badtke of: Part of the Southeast 1/4 of Section 32 and part of the Southwest 1/4 of Section 33, both being of Township 2 North, Range 20 East of the Fourth Principal Meridian, bounded and described as follows:
Commencing at the Southeast corner of the Southeast 1/4 of said Section 32; thence N01°33'17"W, 33.00 feet along the East line of the Southeast 1/4 of said Section 32 to a point that is 33.00 feet Northerly of, as measured normal to, the South line of the Southeast 1/4 of said Section 32, said point being on the Northerly right-of-way line of 60th Street - County Trunk Highway "K" (C.T.H. "K"), and said point also being the point of beginning of this description; run thence S88°24'02"W, 1330.15 feet parallel with the South line of the Southeast 1/4 of said Section 32 and along the Northerly right-of-way line of said 60th Street - C.T.H. "K" to a point on the West line of the East 1/2 of the Southeast 1/4 of said Section 32; thence N01°29'55"W, 2598.32 feet along the West line of the East 1/2 of the Southeast 1/4 of said Section 32 to a point that is 33.00 feet Southerly of, as measured normal to, the North line of the Southeast 1/4 of said Section 32 and being the Southerly right-of-way line of 52nd Street - County Trunk Highway "NN" (C.T.H. "NN"); thence N88°18'39"E, 1327.62 feet parallel with the North line of the Southeast 1/4 of said Section 32 and along the Southerly right-of-way line of said 52nd Street - C.T.H. "NN" to a point on the East line of the Southeast 1/4 of said Section 32; thence N88°09'31"E, 1173.02 feet parallel with the North line of the Southwest 1/4 of said Section 33 and along the Southerly right-of-way line of said 52nd Street - C.T.H. "NN" to a point that is 1474.00 feet Westerly of, as measured along the Southerly right-of-way line of said 52nd Street - C.T.H. "NN", the East line of the Southwest 1/4 of said Section 33; thence South 01°35'32"E, 1332.00 feet parallel with the East line of the Southwest 1/4 of said Section 33; thence N88°09'31"E, 319.00 feet parallel with the North line of the Southwest 1/4 of said Section 33; thence South 01°35'32"E, 1,267.85 feet parallel with the East line of the Southwest 1/4 of said Section 33 to a point that is 33.00 feet Northerly of, as measured normal to, the South line of the Southwest 1/4 of said Section 33, said point being on the Northerly right-of-way line of said 60th Street - C.T.H. "K", and said point also being 1155.00 feet Westerly of, as measured along the Northerly right-of-way line of said 60th Street - C.T.H. "K", the East line of the Southwest 1/4 of said Section 33; thence S88°08'17"W, 513.78 feet parallel with the South line of the Southwest 1/4 of said Section 33 and along the Northerly right-of-way line of said 60th Street - C.T.H. "K" to the Southeast corner of Lot 1 of Certified Survey Map No. 1228 (C.S.M. No. 1228), a map recorded in the office of the Register of Deeds for Kenosha County, Wisconsin on October 10, 1988 as Document No. 809838; thence N03°27'37"E, 254.92 feet along the East line of Lot 1 of said C.S.M. No. 1228 to the Northeast corner of Lot 1 of said C.S.M. No. 1228; thence S88°08'17"W, 189.92 feet parallel with the South line of the Southwest 1/4 of said Section 33 and along the North line of Lot 1 of said C.S.M. No. 1228 to the Northwest corner of Lot 1 of said C.S.M. No. 1228; thence S04°46'48"E, 254.15 feet along the West line of Lot 1 of said C.S.M. No. 1228 to the Southwest corner of Lot 1 of said C.S.M. No. 1228 and a point on the Northerly right-of-way line of said 60th Street - C.T.H. "K"; thence S88°08'17"W, 300.04 feet parallel with the South line of the Southwest 1/4 of said Section 33 and along the Northerly right-of-way line of said 60th Street - C.T.H. "K" to a point on the East line of Certified Survey Map No. 646 (C.S.M. No. 646), a map recorded in the office of the Register of Deeds for Kenosha County, Wisconsin on February 15, 1978 as Document No. 648335; thence N01°51'43"W, 402.00 feet perpendicular to the South line of the Southwest 1/4 of said Section 33, and along the East line of said C.S.M. No. 646 to the Northeast corner of said C.S.M. No. 646; thence S88°08'17"W, 200.00 feet parallel with the South line of the Southwest 1/4 of said Section 33, and along the North line of said C.S.M. No. 646 to the Northwest corner of said C.S.M. No. 646; thence S01°51'43"E, 402.00 feet perpendicular to the South line of the Southwest 1/4 of said Section 33, and along the West line of said C.S.M. No. 646 to a point on the Northerly right-of-way line of said 60th Street - C.T.H. "K"; thence S88°08'17"W, 326.57 feet parallel with the South line of the Southwest 1/4 of said Section 33 and along the Northerly right-of-way line of said 60th Street - C.T.H. "K", to a point on the West line of the Southwest 1/4 of said Section 33 and being the point of beginning of this description. Said land being in the Town of Brighton, County of Kenosha and State of Wisconsin.
Containing 6,786,994 square feet or 155.808 acres.

WORKING EXHIBIT DRAWING
INITIAL FIELD WORK COMPLETED
DRAWING DATE 03-04-2020







NOTES
BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE, BASED UPON NAD 1983 / 2011.

LEGEND
= FOUND 1-1/4" IRON ROD
= FOUND 1-1/4" IRON PIPE
= FOUND 3/4" REBAR
= FOUND 5/8" REBAR
= SET 3/4" REBAR

Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbsc.net

PT. SW 1/4 33-2-20
AND PT. SE 1/4 32-2-20
EXHIBIT DRAWING ONLY
FOR
JEFF BADTKE
TOWN OF BRIGHTON, COUNTY OF KENOSHA, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MRM
DRAFTED: ETH
DATE: 03-04-2020
CHECKED: ...
DATE: ...

2020.0025.01

SHEET 1 OF 1

Wednesday, March 04, 2020 9:21:15 AM

Source: Kenosha County Department of Planning and Development

Kenosha County

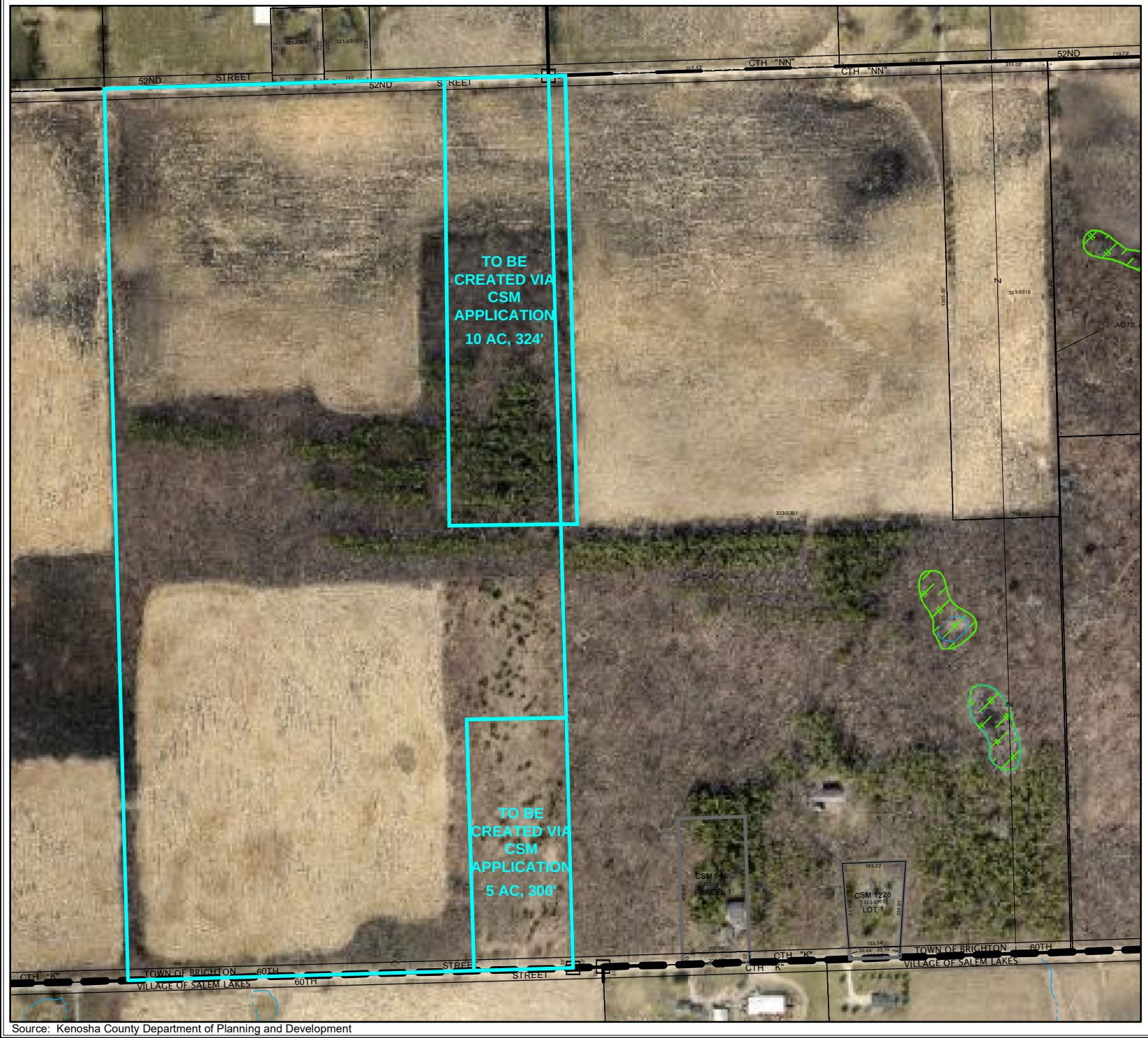
KENOSHA COUNTY WISCONSIN
Established 1850

SUBJECT PROPERTY

N
W E
S

1 inch = 400 feet

THIS MAP IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, DATA AND INFORMATION LOCATED IN VARIOUS STATE, COUNTY AND MUNICIPAL OFFICES AND OTHER SOURCES AFFECTING THE AREA SHOWN AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. KENOSHA COUNTY IS NOT RESPONSIBLE FOR ANY INNACURACIES HEREIN CONTAINED. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT KENOSHA COUNTY.



Source: Kenosha County Department of Planning and Development

Kenosha County

KENOSHA COUNTY WISCONSIN
Established 1850

SUBJECT PROPERTY - SHOWING PLANNED DIVISIONS

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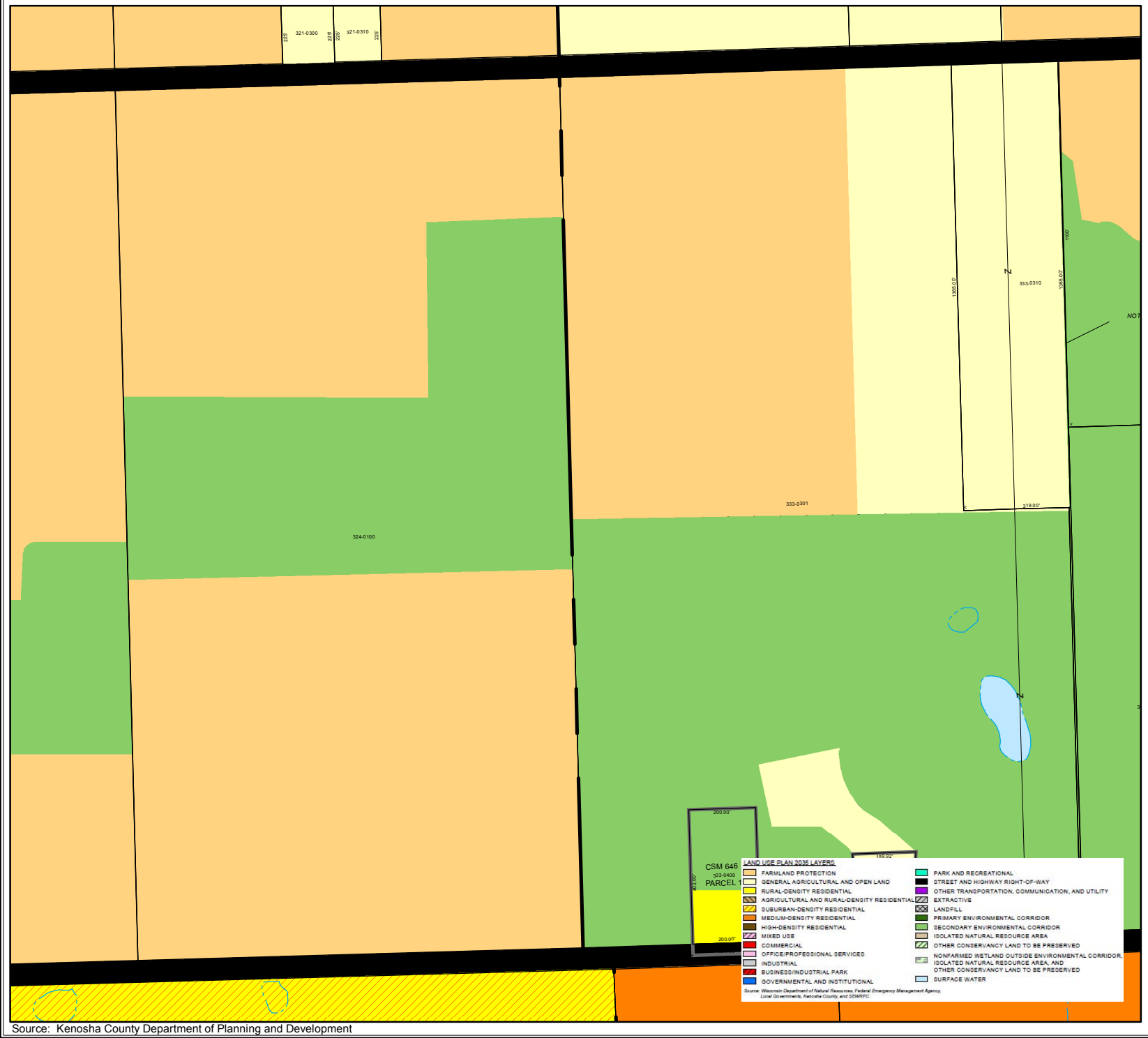

Source: Kenosha County Department of Planning and Development

Kenosha County

KENOSHA COUNTY WISCONSIN
Established 1850

CURRENT LAND USE PLAN MAP DESIGNATIONS

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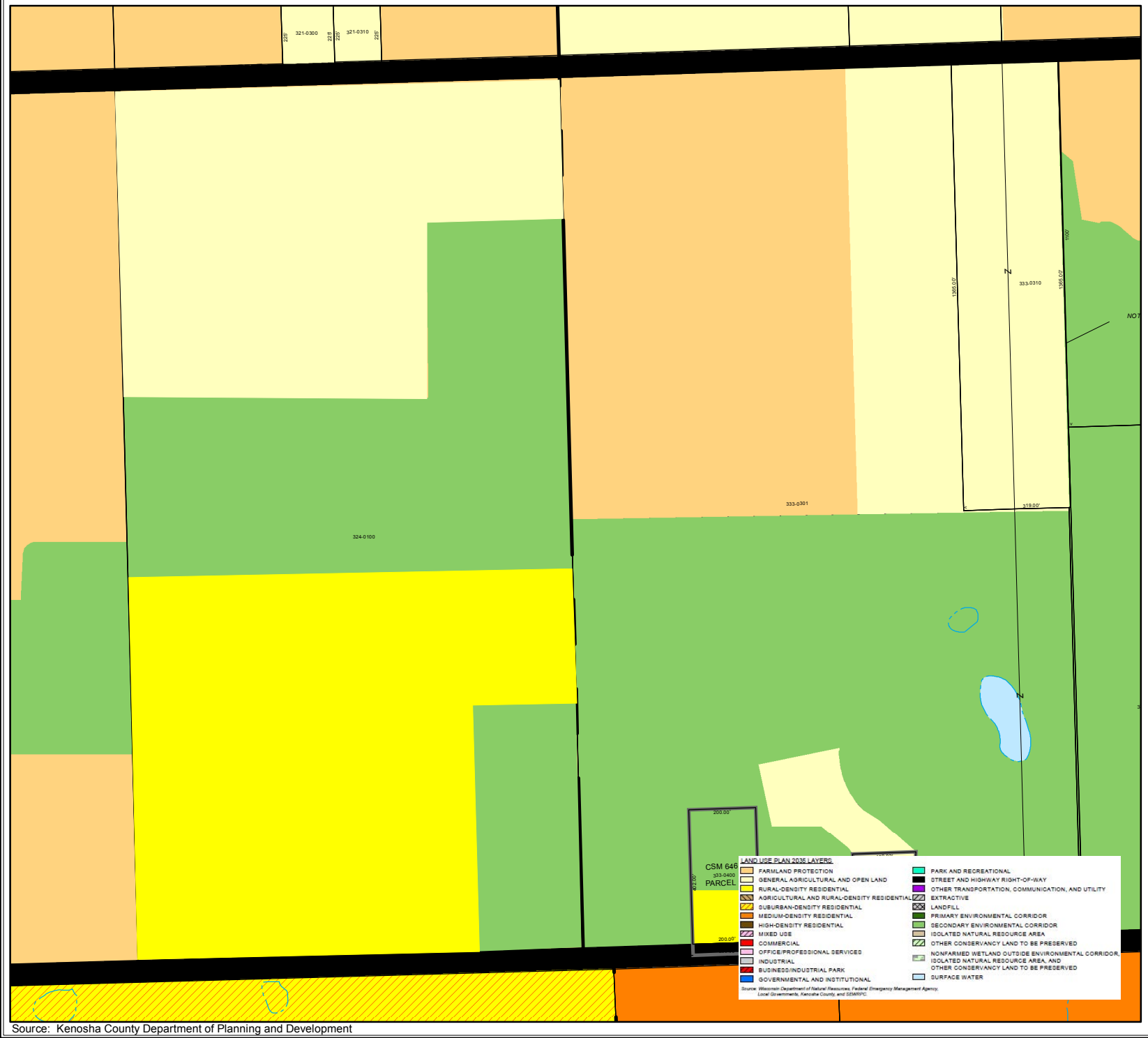
Kenosha County

PROPOSED LAND USE PLAN MAP DESIGNATIONS



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Source: Kenosha County Department of Planning and Development