



COUNTY OF KENOSHA

Division of Planning and Development

CONDITIONAL USE PERMIT PROCEDURES

- ☐ 1. Contact the Department of Planning & Development and check with staff to determine if your proposed use is a permitted use, an accessory use or a conditional use. If it is a conditional use, then a conditional use permit must be applied for and received prior to occupying or using the site for that use. Note: If the proposed conditional use is part of a proposed land division see the Certified Survey Map Information and Procedures. If the proposed conditional use is part of a proposed rezoning petition see the Rezoning Application Form.

- ☐ 2. Contact the Department of Public Works & Development and schedule a pre-conference meeting, which is required for all conditional use permit requests.

Meeting Date: July 14, 2020

- ☐ 3. Complete and submit the Kenosha County Conditional Use Permit Application by the filing deadline (see Planning, Development & Extension Education Committee Schedule handout).

- ☐ 4. Submit a copy of the date-stamped application to your local township for placement on the agenda of the Town Planning Commission and Town Board, which recommends action to the County Planning, Development & Extension Education Committee. Keep a copy for your records.

- ☐ 5. Attend the Town Planning Commission and the Town Board meetings. **NOTE:** You must attend or the Town will not be able to act on your request.

Town Planning Commission meeting date (tentative): August 17, 2020

Town Board meeting date (tentative): August 24, 2020

- ☐ 6. Attend the Planning, Development & Extension Education Committee public hearing. **NOTE:** You must attend or the Planning, Development & Extension Education Committee will not be able to act on your request. At this meeting you will be asked to brief the Committee on your request.

Kenosha County Planning, Development & Extension Education Committee meeting date: September 9, 2020
(tentative)

- ☐ 7. If denied by the Kenosha County Planning, Development & Extension Education Committee you have thirty (30) days to file an appeal with circuit court.

- ☐ 8. If approved you may proceed with obtaining site plan approval (site plan layout, stormwater, landscaping, lighting, parking/paving etc...).

- ☐ 9. Apply for and obtain any necessary zoning permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with the Kenosha County Department of Planning and Development.

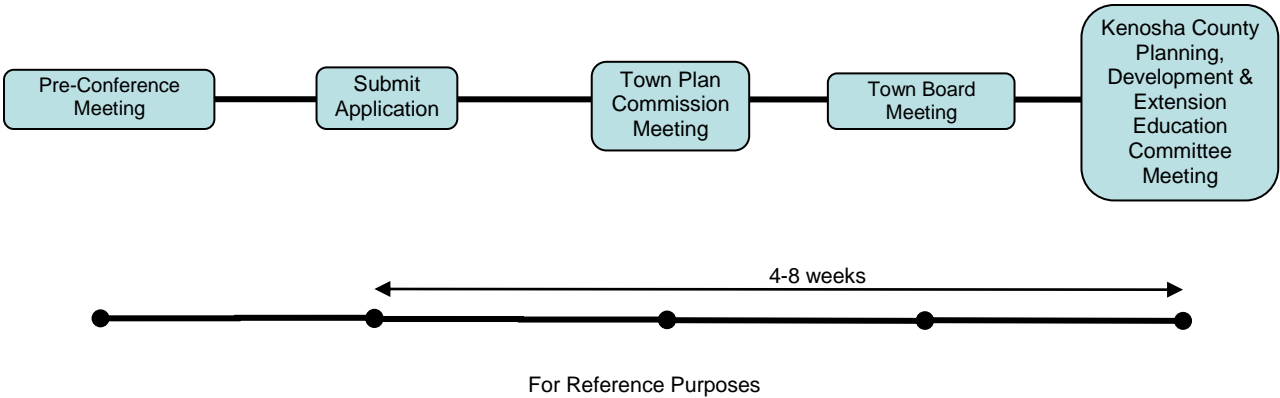
- ☐ 10. Apply for any obtain any necessary building permit(s) for construction (i.e. new buildings, building additions, signage, fencing, etc...) with you respective township.

- ☐ 11. Complete any obligations for foundation survey, waiver of liability of foundation survey, stormwater as-built requirement and/or certificate of occupancy.

IMPORTANT TELEPHONE NUMBERS

Kenosha County Center	
Department of Public Works & Development Services	
19600 - 75 th Street, Suite 185-3	
Bristol, Wisconsin 53104-9772	
Division of Planning & Development (including Sanitation & Land Conservation)	857-1895
Facsimile #.....	857-1920
Public Works Division of Highways	857-1870
Administration Building	
Division of Land Information.....	653-2622
Brighton, Town of	878-2218
Paris, Town of	859-3006
Randall, Town of.....	877-2165
Somers, Town of	859-2822
Wheatland, Town of.....	537-4340
Wisconsin Department of Natural Resources - Sturtevant Office	884-2300
Wisconsin Department of Transportation - Waukesha Office	548-8722

Conditional Use Permit Timeline





COUNTY OF KENOSHA

June 2017

RECEIVED Division of Planning and Development

RECEIVED

AUG 6 2020

AUG 6 2020

CONDITIONAL USE PERMIT APPLICATION

Kenosha County
Deputy County Clerk

Kenosha County
Planning and Development

(a) Property Owner's Name:

Kenosha Beef International/Birchwood Foods

Print Name: Dennis Vignieri

Signature: *Dennis Vignieri*

Mailing Address: PO Box 639

City: Kenosha

State: WI

Zip: 53141

Phone Number: (262)859-2272

E-mail (optional): dvignieri@bwfoods.com

Note: Unless the property owner's signature can be obtained in the above space, a letter of agent status signed by the legal property owner must be submitted if you are a tenant, leaseholder, or authorized agent representing the legal owner, allowing you to act on their behalf.

(b) Agent's Name (if applicable):

Print Name: _____

Signature: _____

Business Name: _____

Mailing Address: _____

City: _____

State: _____

Zip: _____

Phone Number: _____

E-mail (optional): _____

(c) Architect's Name (if applicable):

Print Name: Mark A. Molinaro Jr.

Signature: *Mark A. Molinaro Jr.*

Business Name: Partners in Design Architects

Mailing Address: 600 52nd Street, Suite 220

City: Kenosha

State: WI

Zip: 53140

Phone Number: (262)652-2800

E-mail (optional): markm@pidarchitects.com

(d) Engineer's Name (if applicable):

Print Name: Mark Eberle

Signature: _____

Business Name: Nielsen, Madsen & Barber

Mailing Address: 1458 Horizon Blvd, Suite 200

City: Racine

State: WI

Zip: 53406

Phone Number: (262)634-5588

E-mail (optional): meberle@nmbasc.net

CONDITIONAL USE PERMIT APPLICATION

(e) Tax key number(s) of subject site:

45-4-221-233-0400

Address of the subject site:

3111 152nd Avenue

(f) Plan of Operation (or attach separate plan of operation)

Type of structure:

Steel frame and masonry veneer addition. All finishes will match existing office building architecture.

Proposed operation or use of the structure or site:

Primary use of the proposed addition is to accommodate upgraded and expanded employee welfare areas to include lunch rooms and locker rooms. Additional project scope to include renovated office and staff support areas.

Number of employees (by shift): 1st/180; 2nd/159; 3rd/30 (this reflects no change to existing operations)

Hours of Operation: 24 hrs 5 days/week - weekends when needed. Third shift is sanitation. (no change to existing operations)

Any outdoor entertainment? If so, please explain: N/A

Any outdoor storage? If so, please explain: N/A

Zoning district of the property: M2

(g) Attach a plat of survey prepared by a land surveyor registered by the State of Wisconsin or site plan drawn to scale and approved by the Department of Planning & Development showing all of the information required under section 12.05-1(h)3 for a zoning permit. In addition, the plat of survey or site plan layout shall show the location, elevation and use of any abutting lands and the location and foundation elevations of structures within 50 feet of the subject site; soil mapping unit lines; ordinary high water mark, historic high water marks and floodlands on or within 50 feet of the subject premises, and existing and proposed landscaping.

CONDITIONAL USE PERMIT APPLICATION

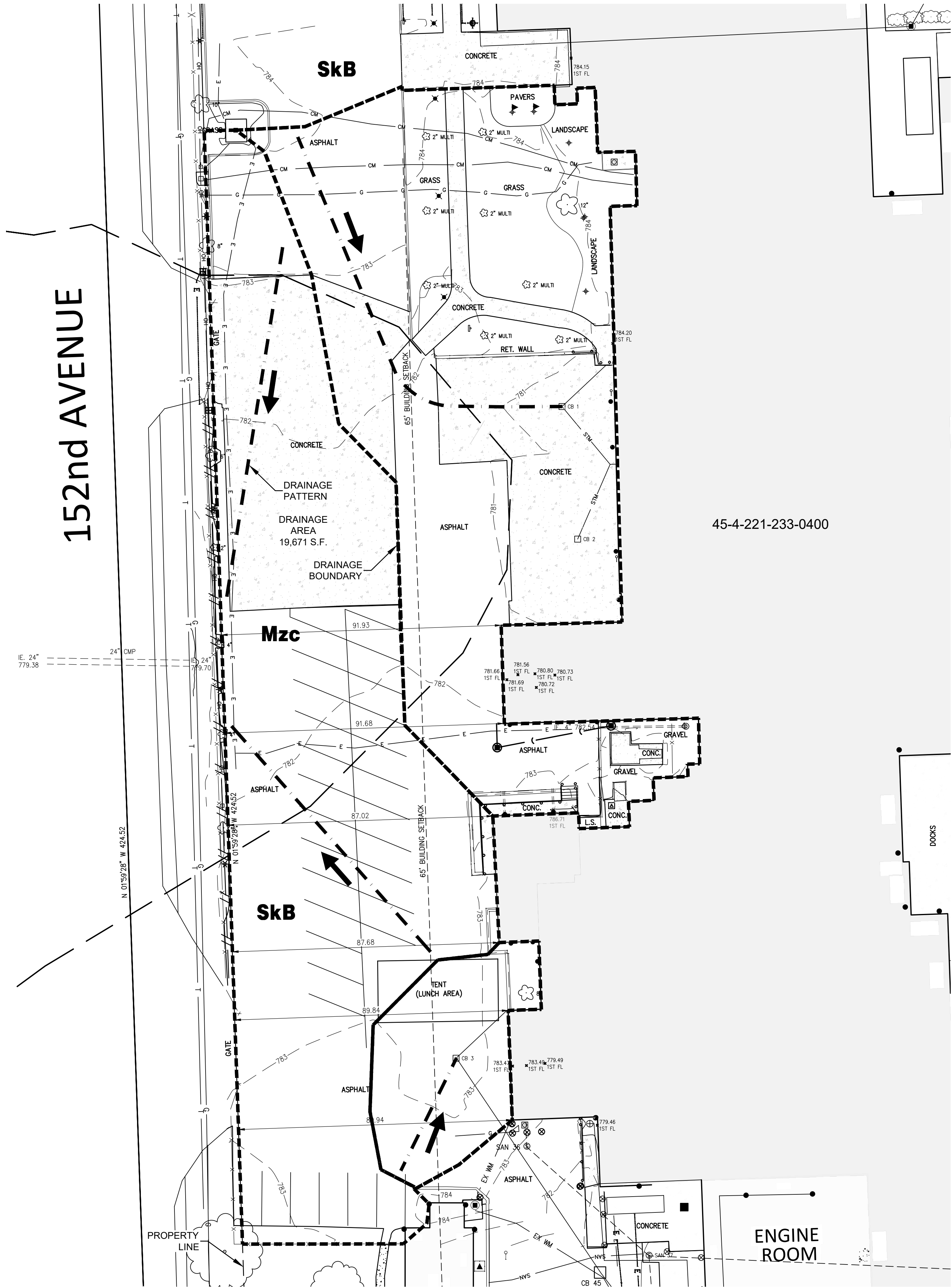
For conditional use permit applications that are made within shoreland and floodland areas, such description shall also include information that is necessary for the County Planning, Development & Extension Education Committee to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human, animal or aquatic life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing existing and proposed elevations or contours of the ground; fill or storage elevation; basement and first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets water supply and sanitary facilities; aerial photographs, and photographs showing existing surrounding land uses and vegetation upstream and downstream; soil types and any other pertinent information required by either the Planning, Development & Extension Education Committee or the Office of Planning and Zoning Administration:

(h) The Kenosha County Department of Planning & Development may ask for additional information.

(i) The fee specified in Section 12.05-8 of this ordinance.

Request for Conditional Use Permit \$780.00

(For other fees see the Fee Schedule)



LEGAL DESCRIPTION

That part of the Southwest ¼ of Section 23 and the Northwest ¼ of Section 26, all in Township 2 North, Range 21 East in the Town of Paris, Kenosha County, Wisconsin, bounded as follows: Begin at the Southwest corner of said Section 23; run thence N01°49'05"W 1413.68 feet along the West line of said Section 23; thence N89°08'19"E 1271.93 feet; thence S01°36'50"E 1413.61 feet to the South line of said Section 23 and the North line of said Section 26; thence N89°08'19"E 74.28 feet along said North line; thence S01°46'44"E 607.38 feet; thence S89°08'19"W 1146.39 feet parallel with the North line of said Section 26; thence N01°46'44"W 182.89 feet; thence S89°08'19"W 193.21 feet parallel with the North line of said Section 26 to the West line of said Section 26; thence N01°59'28"W 424.52 feet along said West line to the point of beginning. Containing 59.064 acres. SUBJECT TO the rights of the public in and to the West 33 feet thereof for road purposes (CTH "MB"). Includes the 14.887 acre proposed property acquisition to the north.

HYDRIC SOILS PRESENT

MONTGOMERY SILTY CLAY (Mzc)

EXISTING UTILITY DATA

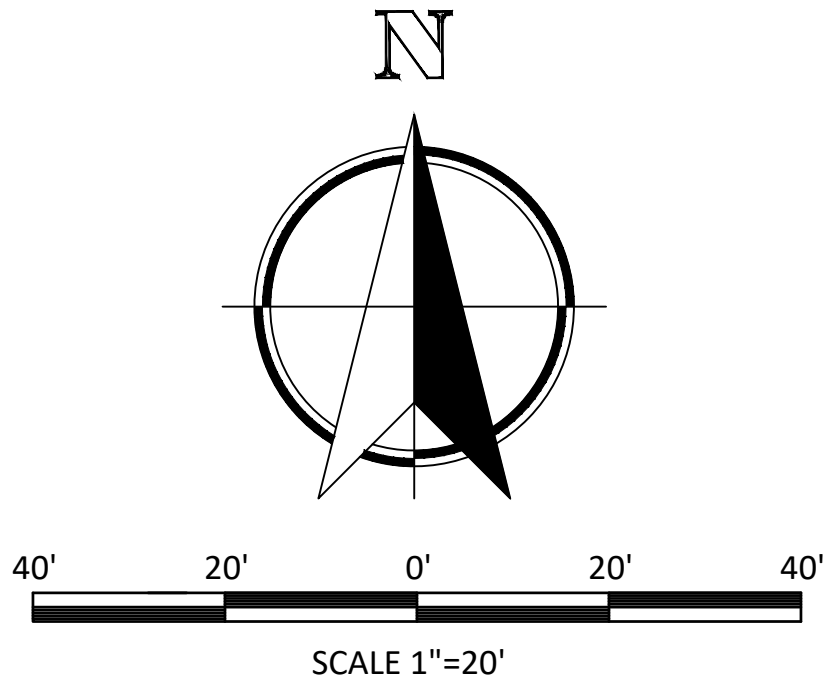
CB 1 RIM 780.56 IE. 6" NE 778.86 IE. 6" SE 778.76	CB 2 RIM 780.35 IE. 6" NE 779.05	CB 3 RIM 782.41 IE. 6" NE 778.61 IE. 8" SE 778.26
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BEARING BASE: GRID NORTH, WISCONSIN
COORDINATE SYSTEM, SOUTH ZONE.

ALL ELEVATIONS REFER TO NATIONAL
GEODETIC DATUM OF 1929.

LEGEND:

Ⓢ SANITARY MANHOLE	■ PAD MOUNT TRANSFORMER	—G— GAS MAIN
Ⓜ CLEAN OUT	—OH— OVERHEAD WIRES	Ⓜ GAS METER
□ CATCH BASIN	□ COMMUNICATION BOX	Ⓜ GEAR BOX
—STM— STORM SEWER	—CM— COMMUNICATION LINE	► FLAG POLE
● DOWNSPOUT	⊕ FLOOD LIGHT	—X— FENCE
—E— ELECTRIC LINE	⊙ LIGHT POLE	—O— GUARD RAIL
Ⓜ POWER POLE	⊗ YARD LIGHT	ATA SOIL CLASSIFICATION
⊙ DECIDUOUS TREE	⊙ GUARD POST	— SOIL UNIT BOUNDARY
⊙ CONIFEROUS TREE	Ⓜ SIGN	— EXISTING DRAINAGE PATTERN
		--- DRAINAGE BOUNDARY



BWF KENOSHA EMPLOYEE WELFARE EXPANSION
3111 152nd Avenue, Town of Paris, Wisconsin
EXISTING CONDITIONS

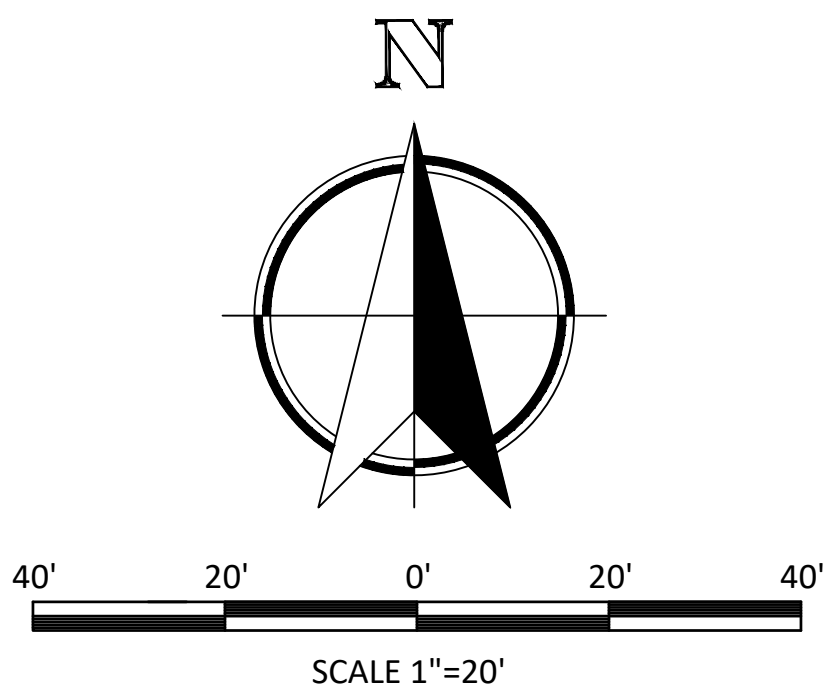
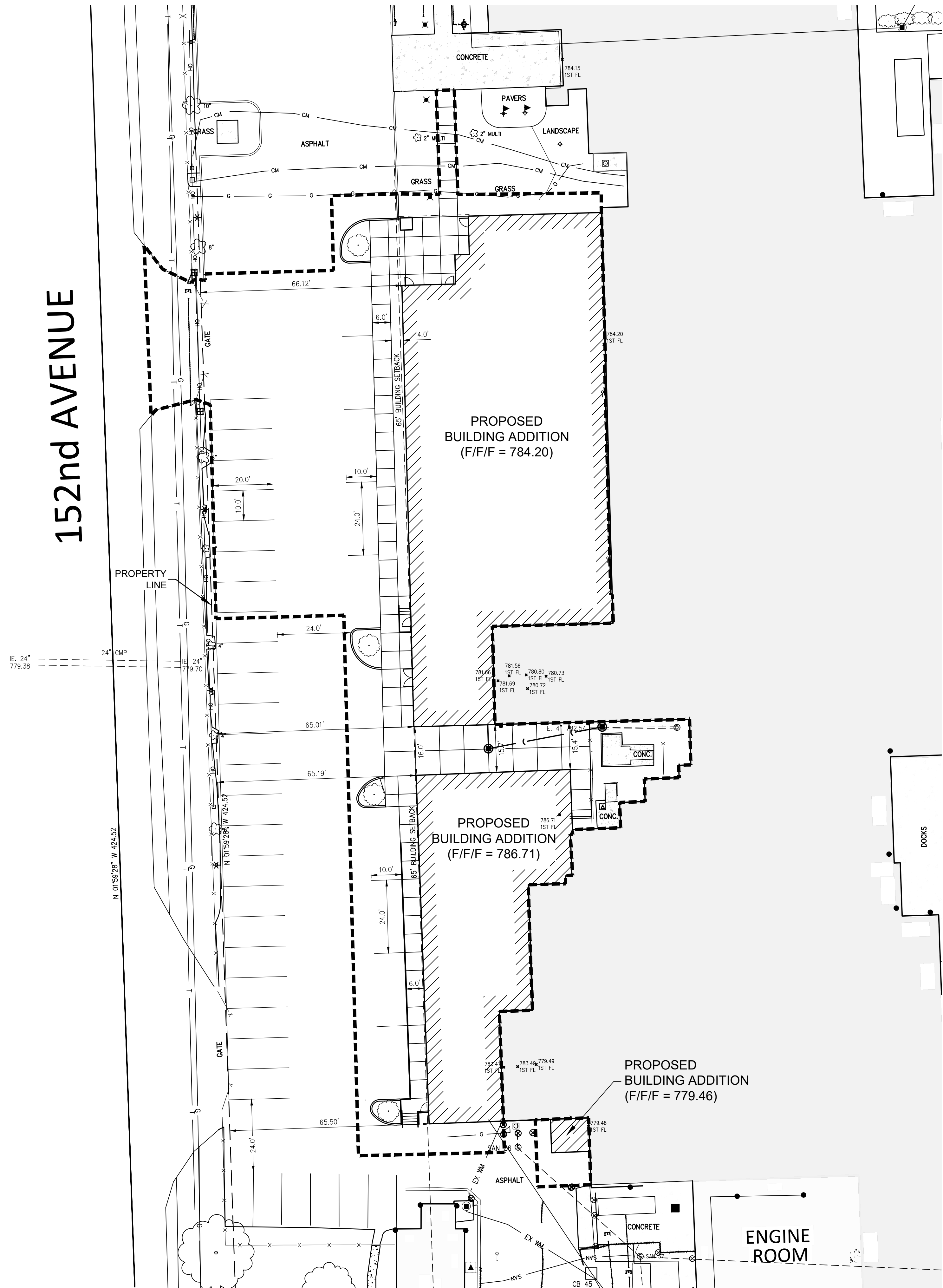


Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd, Suite 200, Racine, WI, 53406
Tel: (262)634-5588 Website: www.nmbssc.net

PROJECT NO.:
2004.0116.14
DRAWN BY: JJC CHECKED BY: MDE
DATE: 08.06.20
SHEET NO.:

C1.0

152nd AVENUE



SITE DATA

TOTAL DISTURBED AREA:	0.68 ACRES
EXISTING IMPERVIOUS AREA:	0.61 ACRES (89.7%)
EXISTING GREEN SPACE:	0.07 ACRES (10.3%)
PROPOSED IMPERVIOUS AREA:	0.66 ACRES (97.1%)
PROPOSED BUILDING AREA:	0.32 ACRES (47.1%)
PROPOSED PAVEMENT AREA:	0.34 ACRES (50.0%)
PROPOSED GREEN AREA:	0.02 ACRES (2.9%)

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.

DIGGERS HOTLINE
Call 811 or (800) 242-8511
www.DiggersHotline.com

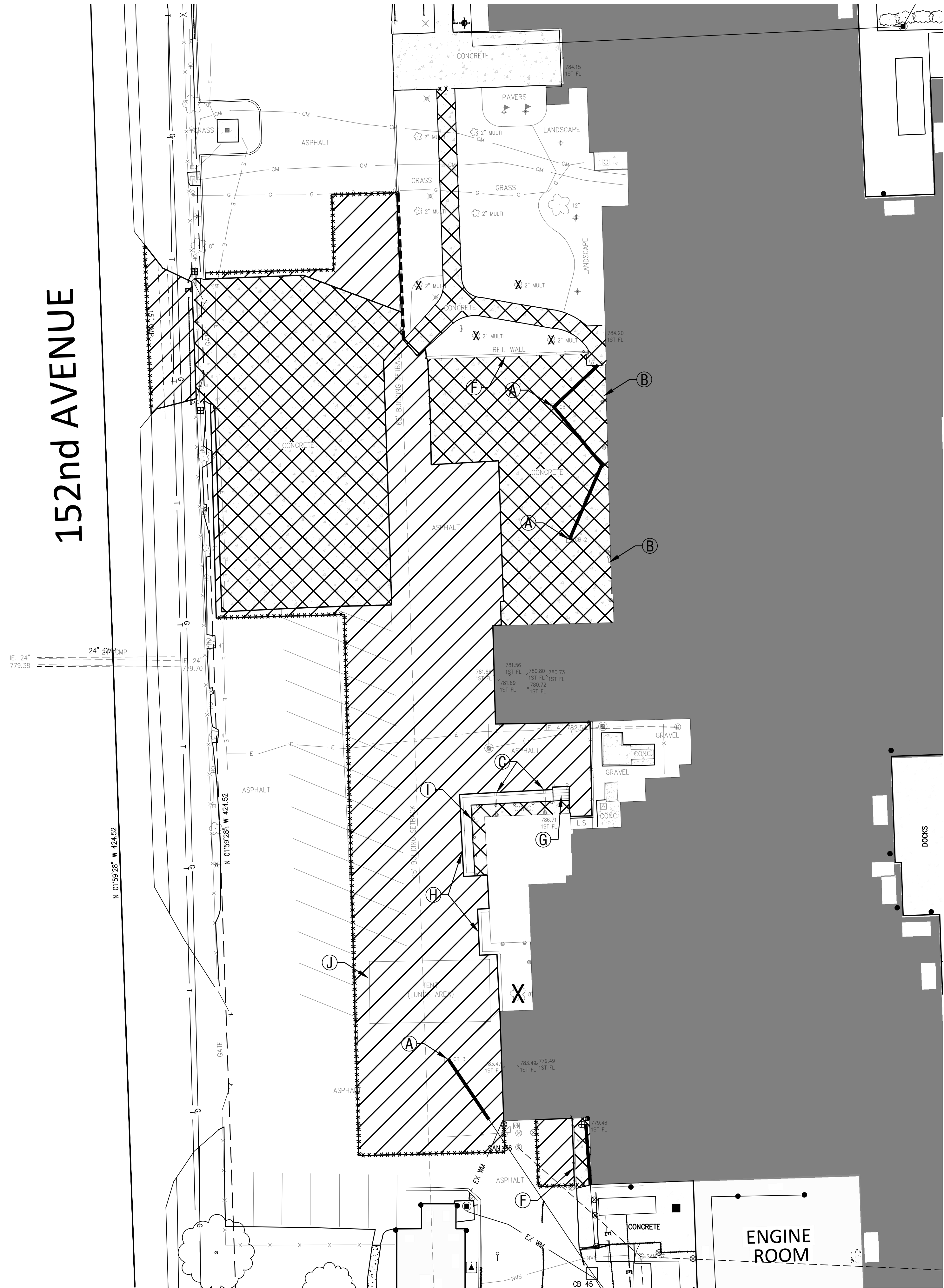
BWF KENOSHA EMPLOYEE WELFARE EXPANSION
3111 152nd Avenue, Town of Paris, Wisconsin
DIMENSIONED SITE PLAN

Nielsen Madsen + Barber
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PROJECT NO:
20040116.14
DRAWN BY:
JC
CHECKED BY:
MDE
DATE:
08.06.20
SHEET NO:

C2.0

152nd AVENUE



SITE DEMOLITION LEGEND

- REMOVE CONCRETE PAVEMENT & BASE
- REMOVE ASPHALT PAVEMENT & BASE
- SAW CUT PAVEMENT (FULL DEPTH)
- REMOVE CURB & GUTTER
- REMOVE STORM SEWER
- CLEAR & GRUB ISOLATED TREES

- REMOVE STORM SEWER STRUCTURE
- REMOVE CLEANOUT
- REMOVE CULVERT
- REMOVE BOLLARD LIGHT
- REMOVE SIGN & POST (SALVAGE TO OWNER)
- DEMOLISH CONCRETE RETAINING WALL, FOUNDATION & RAILINGS.
- DEMOLISH CONCRETE STAIRS, FOUNDATION & RAILINGS.
- REMOVE LANDSCAPING WALL
- REMOVE RAILING
- REMOVE TEMPORARY TENT (BY OWNER)

DEMOLITION NOTES

THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL AT A LOCATION APPROVED (BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.

THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION (OR MODIFICATION) OF THE BUILDINGS.

ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

ALL SANITARY SEWER LATERALS TO BE REMOVED OR ABANDONED IN PLACE SHALL BE CAPPED AT THE MAIN.

ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-8511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.

PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE DISTRICT.

PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE DISTRICT.

CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS WHERE IT IS NECESSARY AS SHOWN ON THESE CONSTRUCTION PLANS. CONCRETE SIDEWALK AND CURB & GUTTER IS TO BE REMOVED TO NEAREST JOINT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE DISTRICT.

DEMOLITION WORK WILL OCCUR IN MULTIPLE PHASES OF THE PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PHASING PLAN AND UNDERSTAND THE TIMING OF THE DEMOLITION WORK.

IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.

TEMPORARY OFFSITE STORAGE OF SOIL MATERIAL MAY BE NECESSARY. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

ASPHALT PAVEMENT AND BASE SHOWN TO BE "PULVERIZED AND RESHAPED" SHALL MEET THE GRADATION REQUIREMENTS OF SECTION 325.3 OF THE STATE SPECIFICATIONS:

- A. MATERIAL SHALL BE CONTINUOUSLY PULVERIZED UNTIL 97% OR MORE WILL PASS THE 2" SIEVE.
- B. THE PULVERIZING OPERATION SHALL INCORPORATE AS MUCH OF THE UNDERLYING AGGREGATE BASE AS POSSIBLE WITHOUT INCORPORATING ANY OF THE SUB-GRADE.
- C. PULVERIZED ASPHALT PAVEMENT CAN BE USED AS AGGREGATE BASE COURSE FOR THE LOWER HALF OF PROPOSED PAVEMENT BASE COURSE SECTIONS.
- D. AT THE COMPLETION OF THE PROJECT, ALL EXCESS PULVERIZED MATERIAL SHALL BE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE PROJECT SITE.

SEE ELECTRICAL PLANS FOR SITE LIGHTING DEMOLITION.

UTILITY NOTE

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REVISIONS

BWF KENOSHA EMPLOYEE WELFARE EXPANSION
3111 152nd Avenue, Town of Paris, Wisconsin



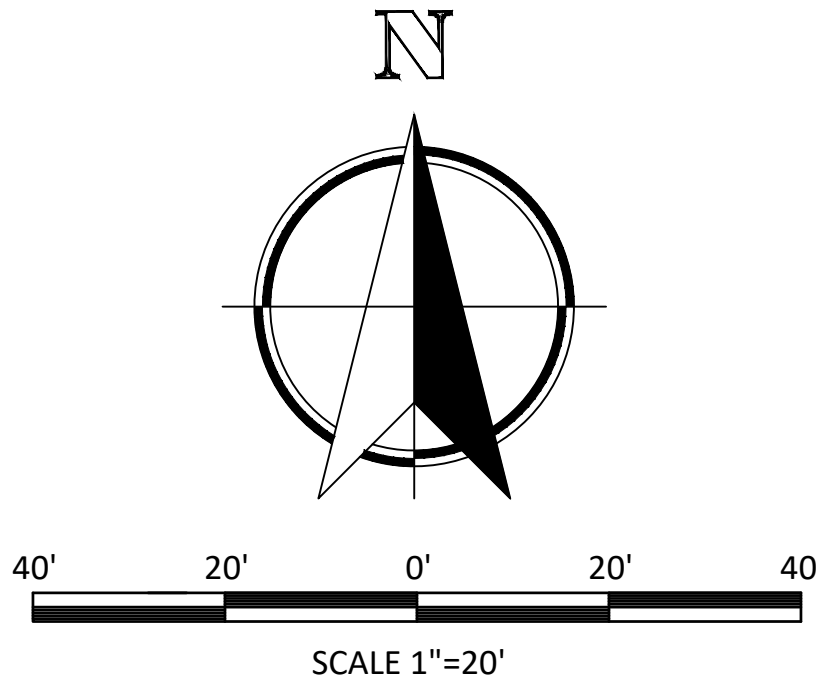
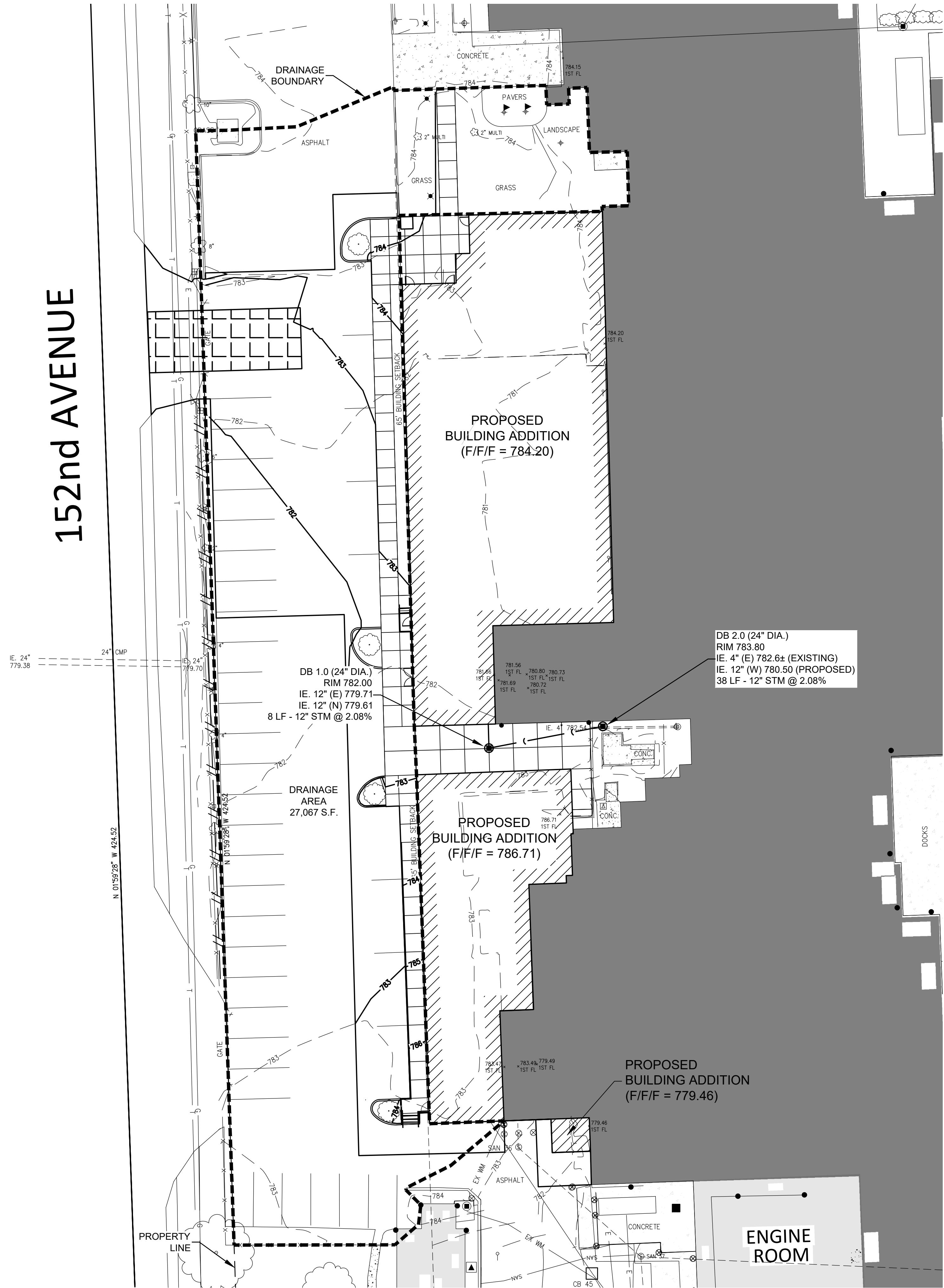
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PROJECT NO.: 20040116.14
DRAWN BY: JJC CHECKED BY: MDE
DATE: 08.06.10
SHEET NO.:

C3.0

SITE DEMOLITION PLAN

152nd AVENUE



SITE GRADING & EROSION CONTROL LEGEND

- 692 — EXISTING CONTOURS
- 702 — PROPOSED CONTOURS
- STONE TRACKING PAD
- SILT FENCE
- DRAINAGE BOUNDARY
- PROPOSED LANDSCAPE TREE

EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE CONSTRUCTION SEQUENCING AND/OR EROSION CONTROL PLANS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE TOWN OF PARIS.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND TOWN OF PARIS ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE TOWN OF PARIS AND WDNR EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 360.21) AND MAINTAINED PER SPS 360.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED:

- A. AT LEAST WEEKLY.
- B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE TOWN OF PARIS OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

INSTALL SILT FENCE PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD).

EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

- A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- C. ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE DISCHARGED INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 AND BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR SIMILAR DEVICES. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES, OTHER THAN SHOWN ON THE PLANS, MUST HAVE PRIOR APPROVAL BY THE TOWN OF PARIS.

DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.

ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059.

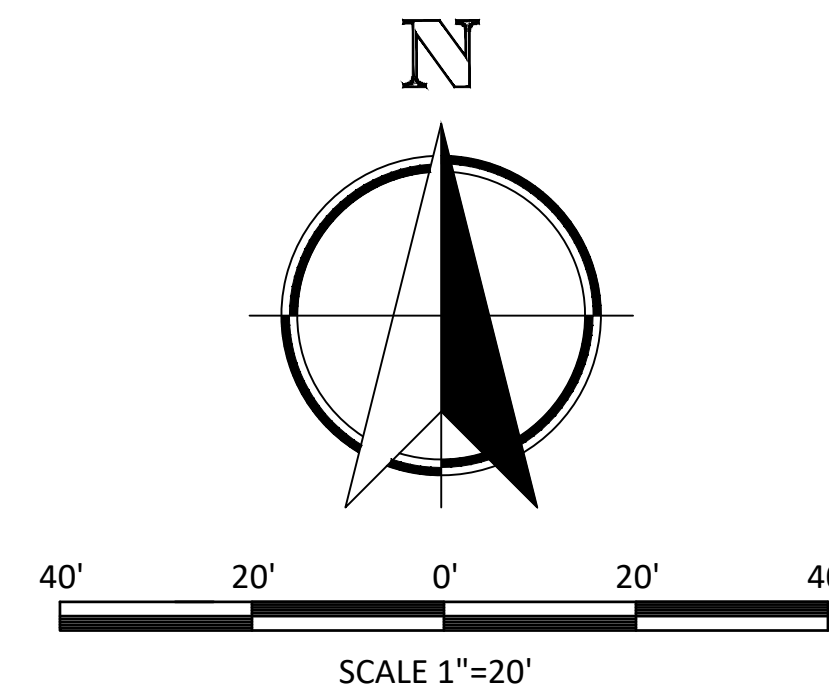
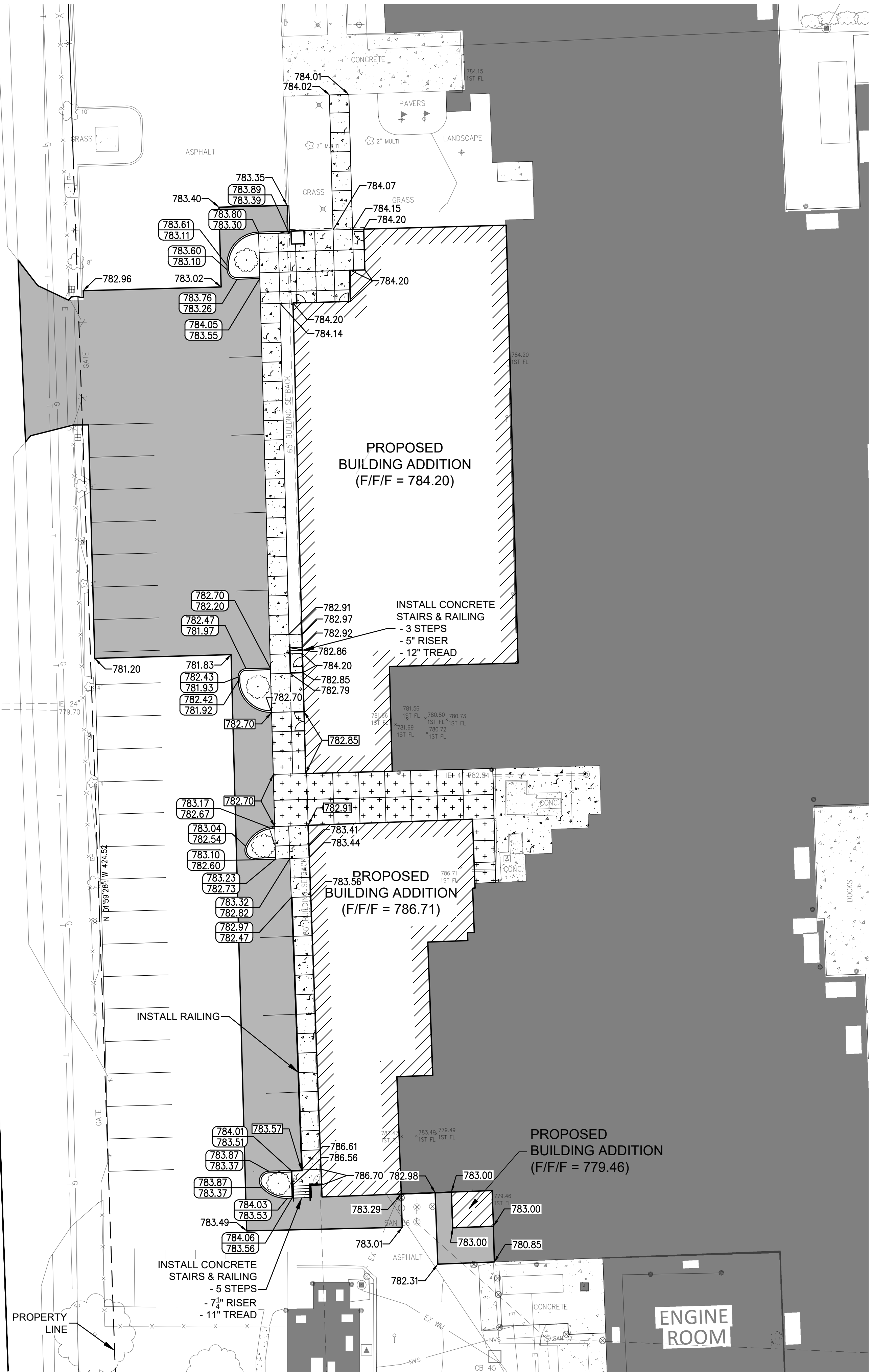
ALL DISTURBED AREAS SHALL BE STABILIZED WITH CLASS I, TYPE A EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE TOWN OF PARIS.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

152nd AVENUE

IE 24"
779.38
24" CMP
EL 24"
779.70
N 0°59'28" W 424.52
N 1°59'28" W 424.53



PAVEMENT GRADING LEGEND

- FINISHED ASPHALT GRADES
- EXISTING PAVEMENT GRADE
- FINISHED T.O.C. GRADES
FINISHED FLANGE GRADES
- 6" BARRIER CURB
- MEDIUM DUTY ASPHALT PAVEMENT
- LIGHT DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT

REVISIONS

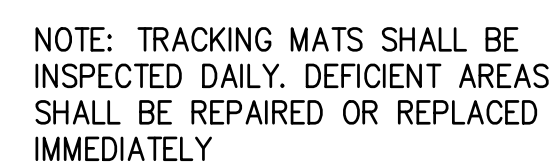
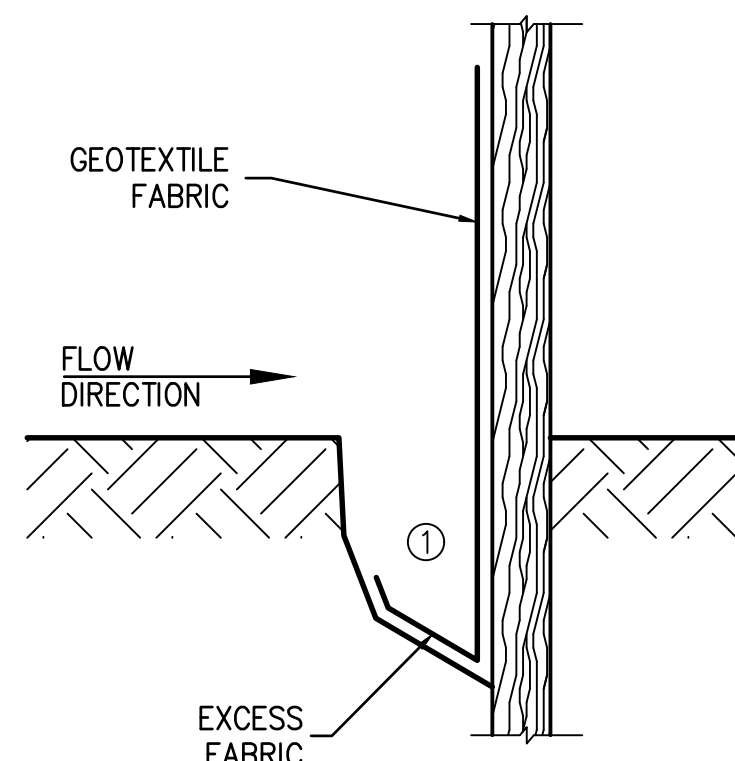
BWF KENOSHA EMPLOYEE WELFARE EXPANSION
3111 152nd Avenue, Town of Paris, Wisconsin
PAVEMENT GRADING PLAN



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd., Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

PROJECT NO.:
2004.0116.14
DRAWN BY: JJC
CHECKED BY: MDE
DATE: 08.06.20
SHEET NO.:

C5.0



NOT TO SCALE



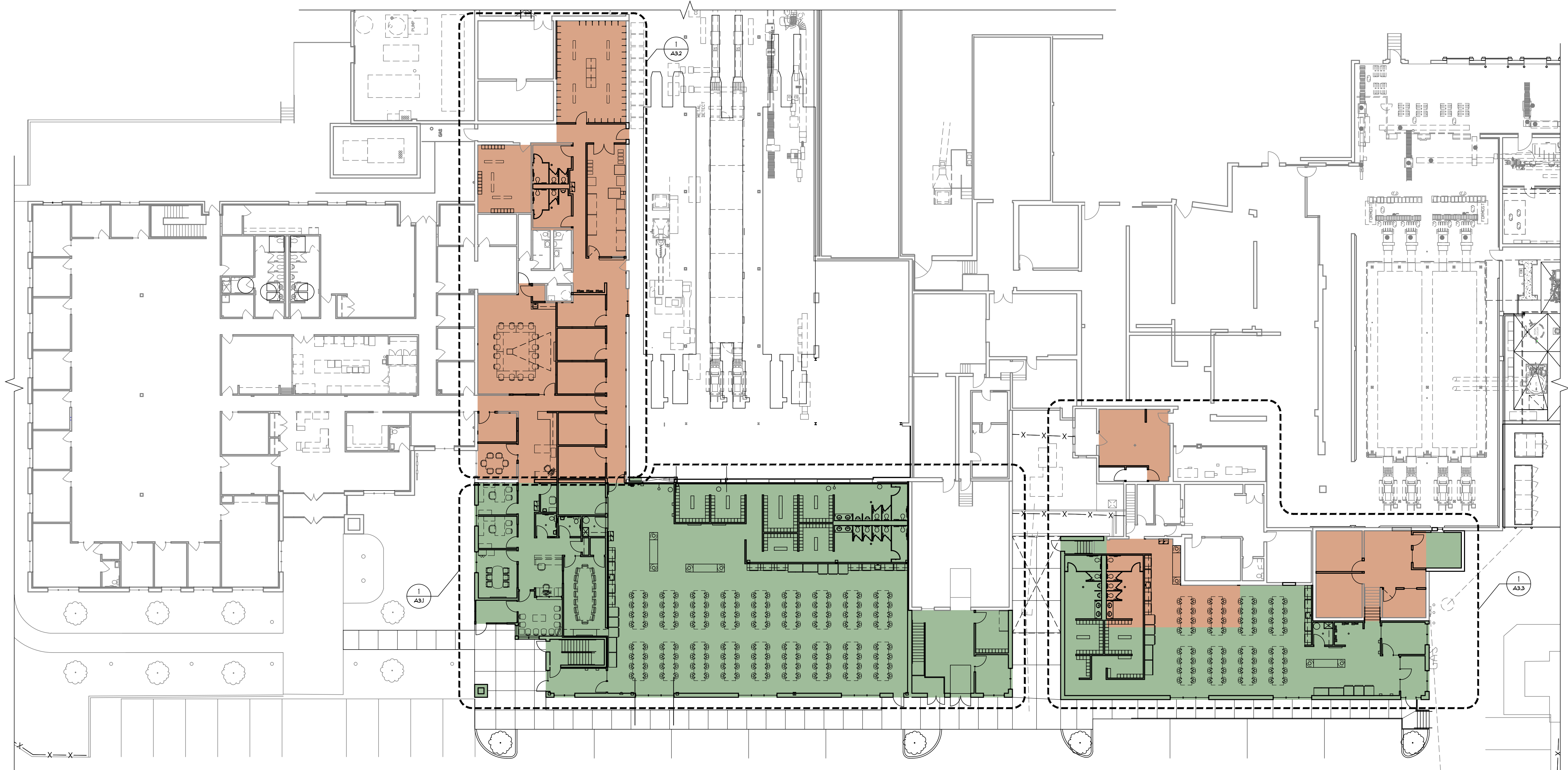
1. PROVIDE CONTROL JOINTS AT AN INTERVAL MATCHING THE SIDEWALK WIDTH BUT NO GREATER THAN A 10'X10' GRID.
2. PROVIDE EXPANSION JOINTS AT INTERVAL NO GREATER THAN 100 LINEAR FEET. EXPANSION JOINT FILLER MATERIAL SHALL BE ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL AND SHALL BE 1/2 INCH THICK.

NOT TO SCALE



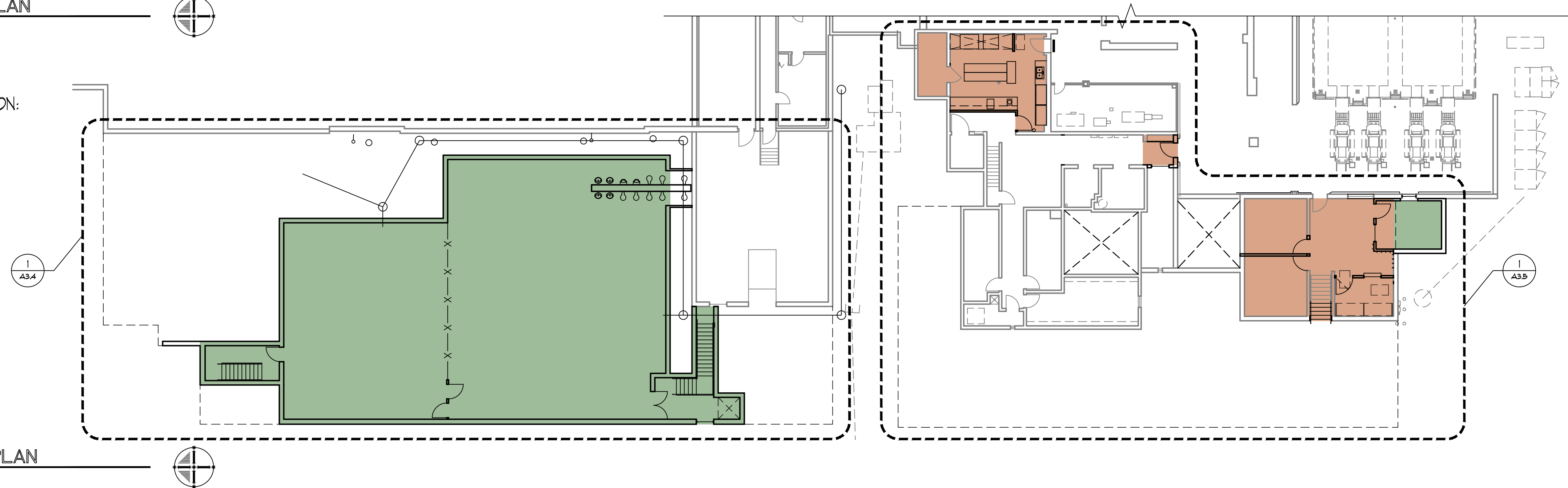
NOT TO SCALE





1 OVERALL UPPER LEVEL PLAN
A3.0 1/16"=1'-0"

NEW CONSTRUCTION:
RENOVATION:



2 OVERALL LOWER LEVEL PLAN
A3.0 1/16"=1'-0"

REVISIONS:

600 Fifty-Second Street
Suite 220
Kenosha, WI 53142
Ph: (262)652-2800
Fax: (262)652-2812

PartnersinDesign

ARCHITECTS

PROJECT NO:

36620078

DRAWN BY:

DAC

CHECKED BY:

MAM

DATE:

08.06.20

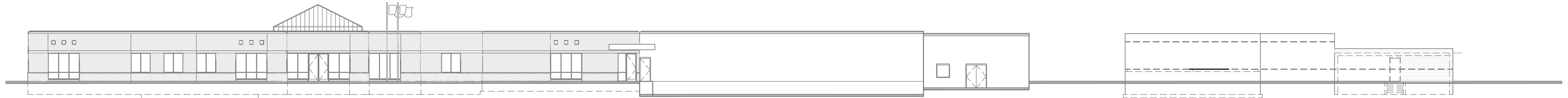
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A3.0

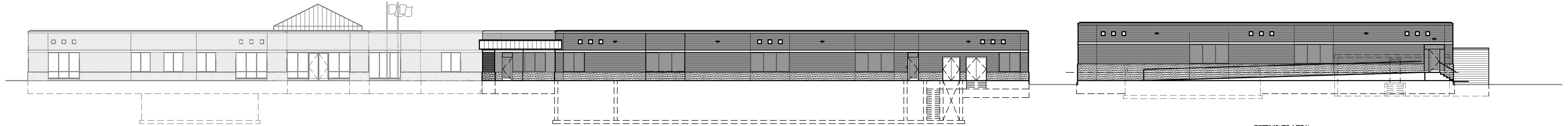
BWF KENOSHA EMPLOYEE WELFARE EXPANSION

3111 152nd Avenue, Town of Paris, Wisconsin

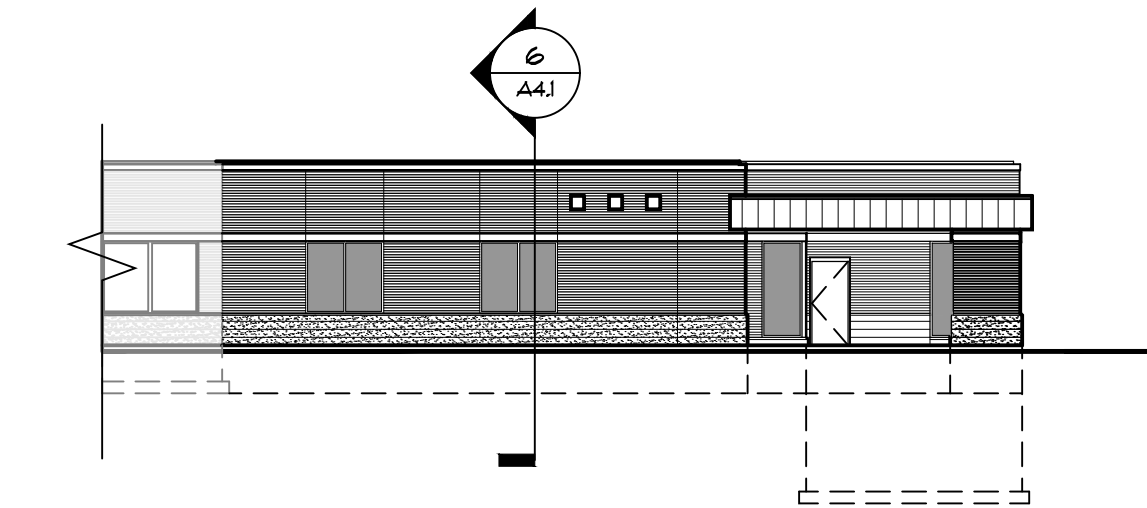
OVERALL FLOOR PLAN



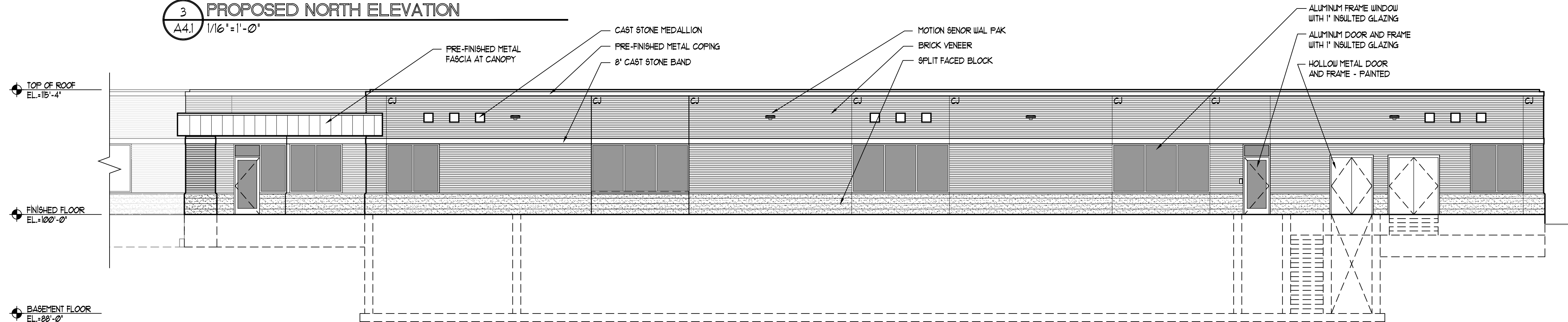
1 EXISTING WEST ELEVATION
A4.1 1/16"=1'-0"



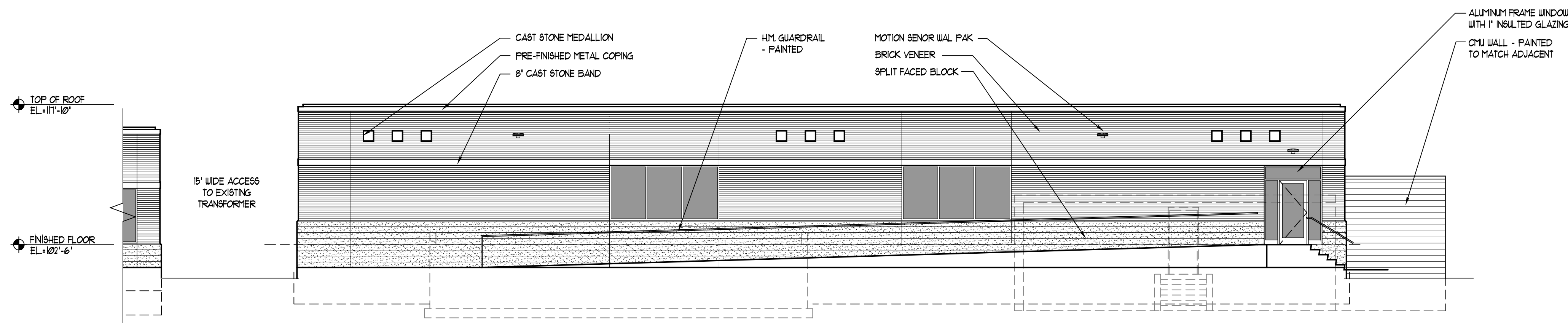
2 PROPOSED WEST ELEVATION
A4.1 1/16"=1'-0"



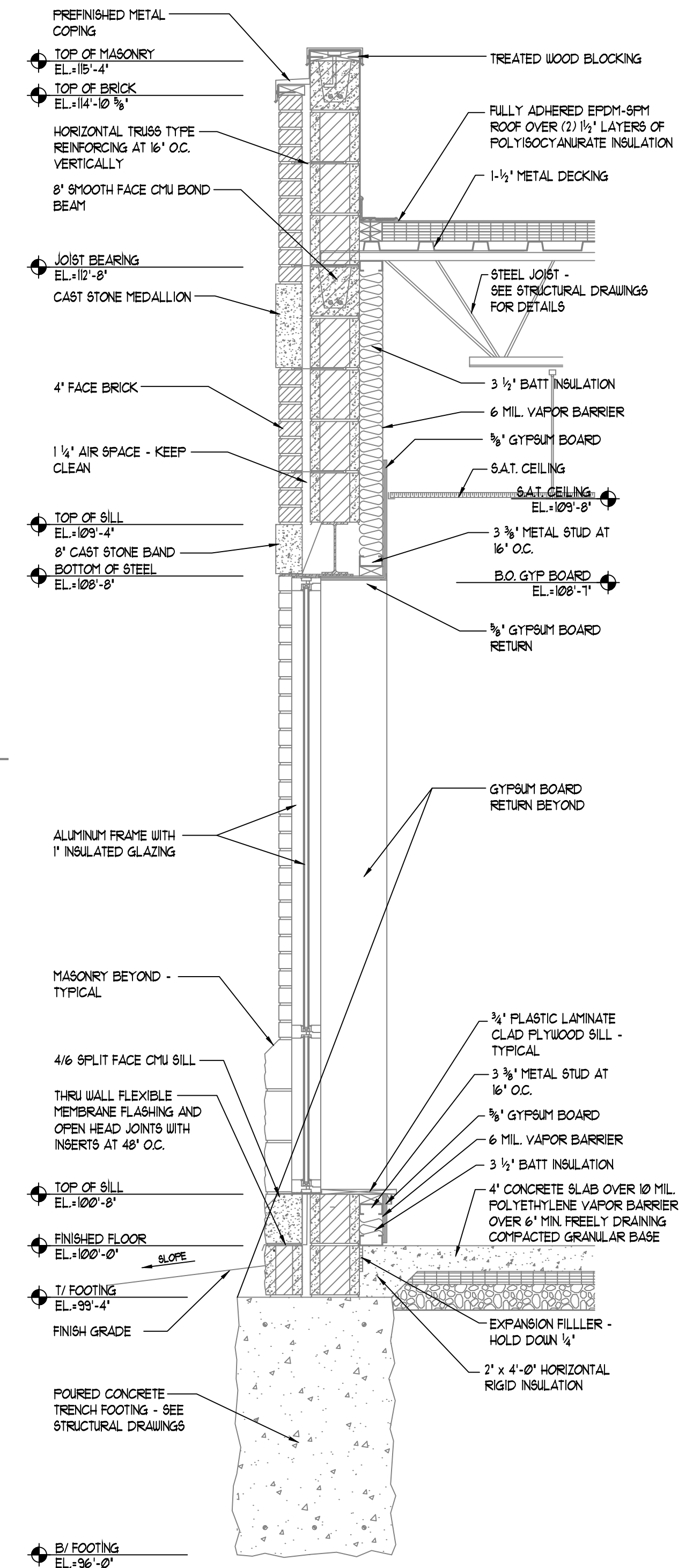
3 PROPOSED NORTH ELEVATION
A4.1 1/16"=1'-0"



4 WEST ELEVATION - NORTH BUILDING
A4.1 1/8"=1'-0"



5 WEST ELEVATION - SOUTH BUILDING
A4.1 1/8"=1'-0"



6 WALL SECTION
A4.1 3/4"=1'-0"

REVISIONS:

BWF KENOSHA EMPLOYEE WELFARE EXPANSION
3111 152nd Avenue, Town of Paris, Wisconsin
BUILDING ELEVATIONS

600 Fifty-Second Street
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ARCHITECTS



PROJECT NO.:
36620078
DRAWN BY: DAC
CHECKED BY: MAM
DATE:
08.06.20
SHEET NO.:

A4.1



BWF Kenosha Employee Welfare Expansion

North West View

BWF
07.07.20



Partners*in*Design
ARCHITECTS

262.652.2800
Kenosha, WI

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Riverwoods, IL



BWF Kenosha Employee Welfare Expansion

South West View

