



COUNTY OF KENOSHA

Department of Planning and Development

19600 - 75th Street, Post Office Box 520

Bristol, Wisconsin 53104-0520

Telephone: (262) 857-1895

Facsimile: (262) 857-1920

ZONING PERMIT APPLICATION

Owner _____ Date _____

Mailing Address _____ Phone # _____

THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO THE WORK HEREIN DESCRIBED, AND AS SHOWN ON THE REQUIRED SITE PLAN FORM OR ATTACHED REGISTERED SURVEY HEREOF, AND HEREBY AGREES THAT ALL WORK WILL BE DONE IN ACCORDANCE WITH ALL THE LAWS OF THE STATE OF WISCONSIN AND ALL THE ORDINANCES OF THE COUNTY OF KENOSHA, APPLICABLE TO THE FOLLOWING DESCRIBED PREMISES:

Parcel No. _____ Zoning District(s) _____

Property Address _____

Subdivision Name _____ CSM # _____ Lot _____ Block _____ Unit _____

STRUCTURE DESCRIPTION	TYPE OF CONSTRUCTION	SIZE (L' @ H')	SIZE (L' x W')	AREA (sq feet)	HEIGHT (feet)	# OF STORIES

Contractor _____

Address _____

Phone # _____

Agent _____

Address _____

Phone # _____

For Office Use Only

Permit No. _____

Foundation Survey Due Date _____

Waiver of Liability Due Date _____

Board Of Adjustments Approval Date _____

Conditional Use Permit Approval Date _____

Sanitation Approval _____

Receipt # _____ Check # _____

Amount _____

THIS ZONING PERMIT IS ISSUED SUBJECT TO:

1. ANY FEDERAL, STATE OR LOCAL RESTRICTIONS AND/OR DEED RESTRICTIONS.
2. EACH APPLICANT FOR A ZONING PERMIT IS CHARGED WITH KNOWLEDGE OF THE COUNTY ZONING ORDINANCE. COPIES OF THE TEXT OF THIS OR PORTIONS THEREOF AND COPIES OF THE OFFICIAL ZONING MAPS ARE AVAILABLE FOR SALE, COPYING OR INSPECTION UPON REQUEST. ANY STATEMENT MADE, SITE PLAN SUBMITTED, ASSURANCE GIVEN OR PERMIT ERRONEOUSLY ISSUED CONTRARY TO THIS ORDINANCE IS NULL AND VOID.
3. THIS PERMIT SHALL EXPIRE EIGHTEEN (18) MONTHS FROM DATE OF ISSUANCE.

4. REMARKS: _____

NOTICE: YOU ARE RESPONSIBLE FOR COMPLYING WITH STATE AND FEDERAL LAWS CONCERNING CONSTRUCTION NEAR OR ON WETLANDS, LAKES, AND STREAMS. WETLANDS THAT ARE NOT ASSOCIATED WITH OPEN WATER CAN BE DIFFICULT TO IDENTIFY. FAILURE TO COMPLY MAY RESULT IN REMOVAL OR MODIFICATION OF CONSTRUCTION THAT VIOLATES THE LAW OR OTHER PENALTIES OR COSTS. FOR MORE INFORMATION, VISIT THE DEPARTMENT OF NATURAL RESOURCES WETLANDS IDENTIFICATION WEB PAGE <http://dnr.wi.gov/wetlands/locating.html> OR CONTACT A DEPARTMENT OF NATURAL RESOURCES SERVICE CENTER (262) 884-2300.

Date Permit Issued _____

THE UNDERSIGNED HEREBY ATTESTS THAT THE ABOVE INFORMATION IS TRUE, ACCURATE AND HAS RECEIVED THE ABOVE NOTICE.

Director of Planning Operations _____

Owner/Agent _____ Date _____

PLAT OF SURVEY

PROPERTY ADDRESS: 1111 xxxxxxxxx Trail, xxxxxxxxx, Wisconsin

LEGAL DESCRIPTION: Lot 15 Block 8 in xxxxxxxxx, being a subdivision of part of the NE 1/4 of Section xx, Town x North, Range xx East, City of xxxxxxxxx, xxxxxxxxx County, Wisconsin.

August 18, 2011

Survey No. 11012

Prepared For: xxxxxxxxxxxxxxxx

Legend

●

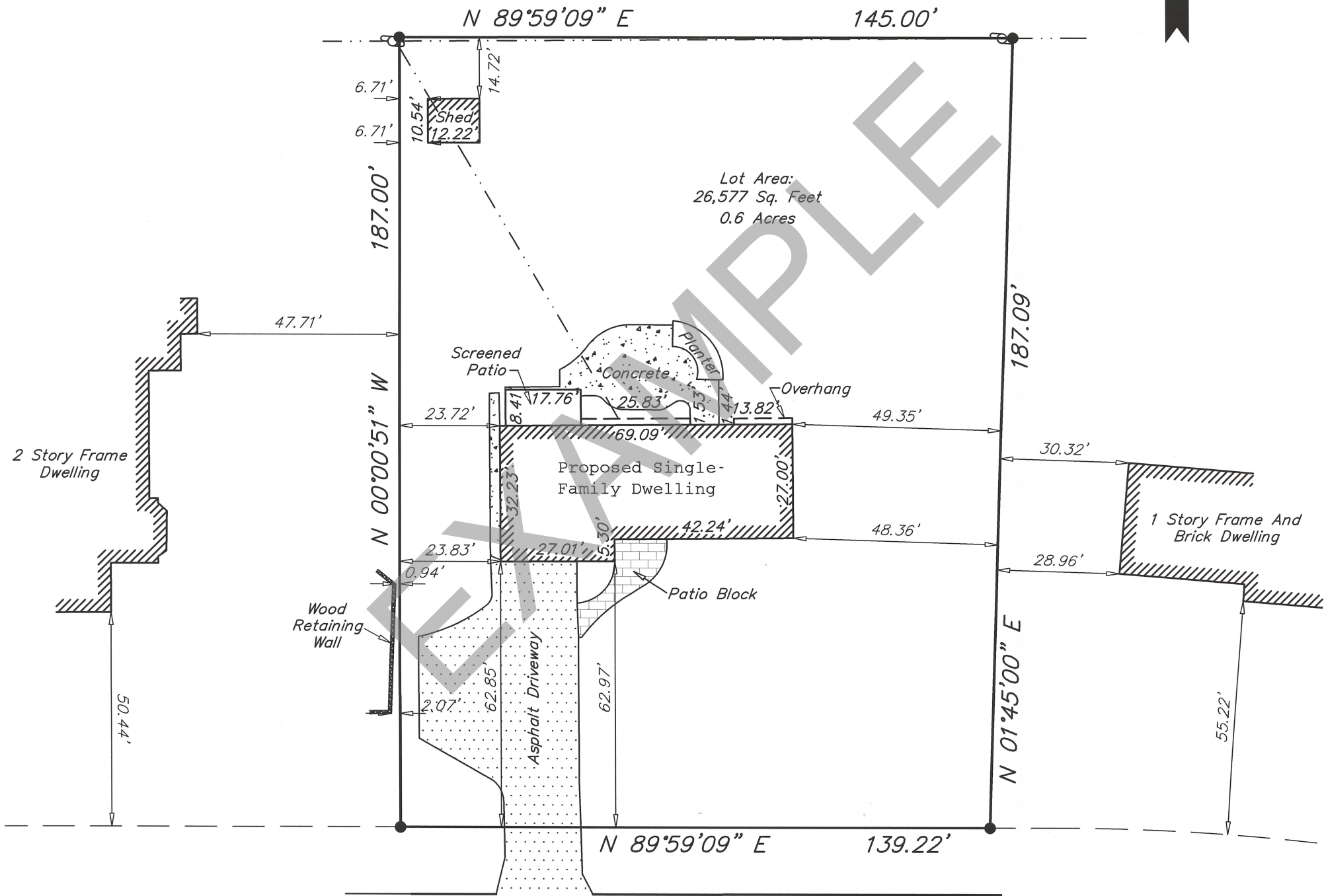
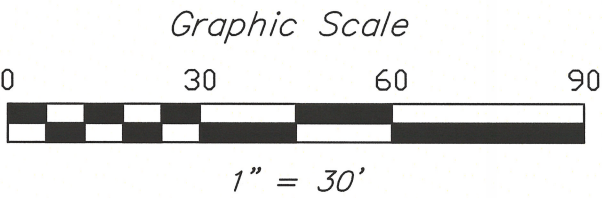
= Found Iron Pipe

⊕

= Power Pole

- - -

= Overhead Wires



Cumberland Trail
(60' R.O.W.)

John's Surveying LLC
John Doe, Registered Land Surveyor
10001 Measurement Dr.
Anytown, WI 54321
Phone: 608-555-1234



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

Signed _____
John Doe
Registered Land Surveyor

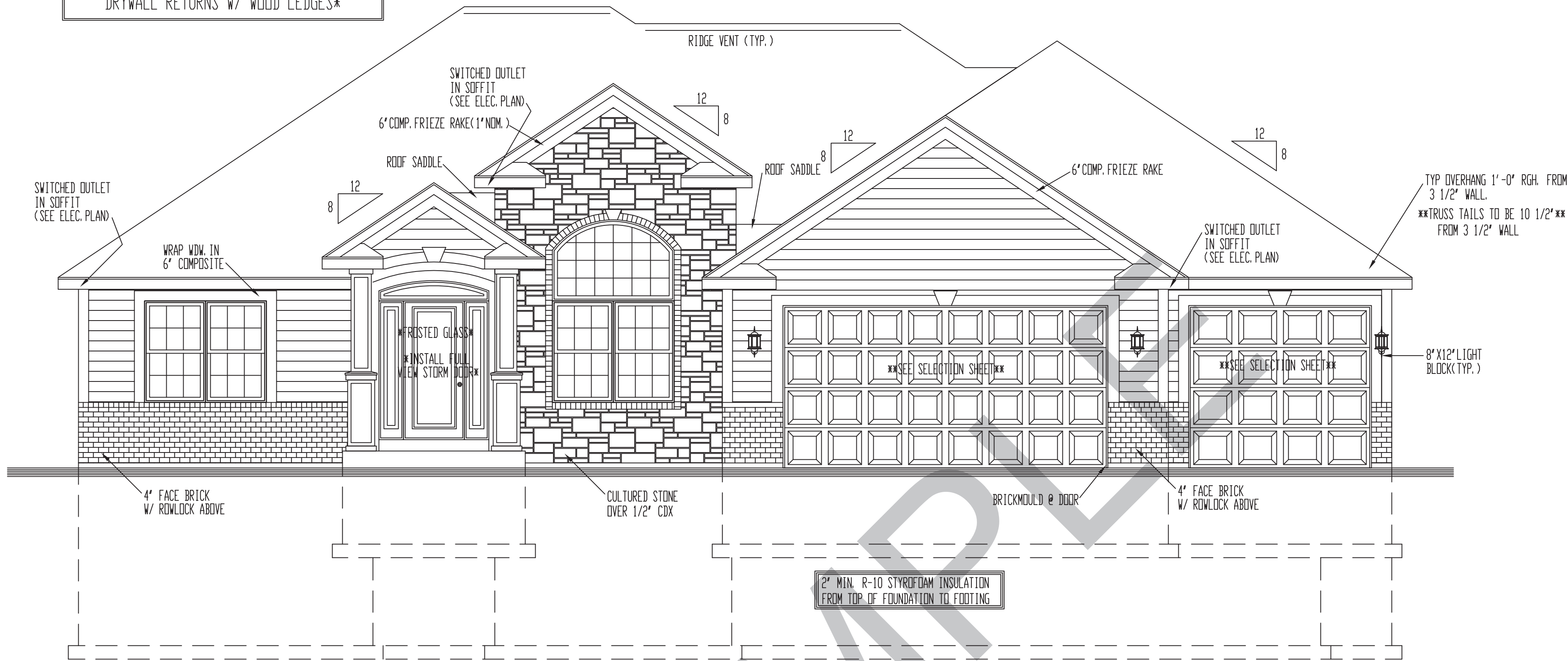
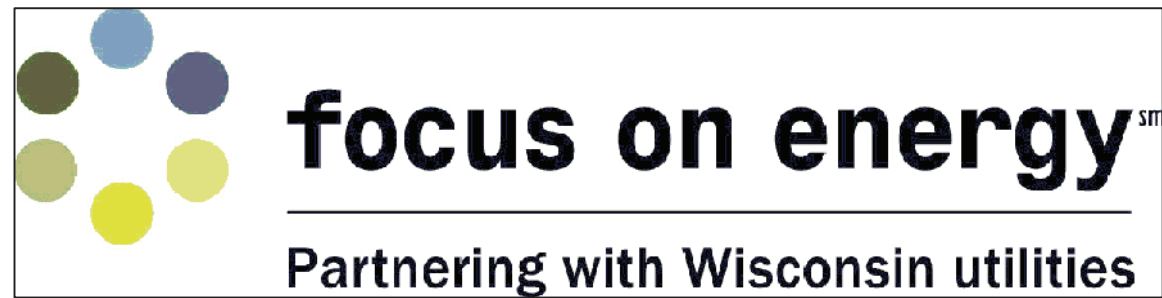
****KNOCKDOWN DRYWALL FINISH W/ ROUNDED CORNERS****

****ARCHITECTURAL ROOF W/ CLOSED VALLEYS****

H. P. VINYL WINDOWS
DRYWALL RETURNS W/ WOOD LEDGES*

****HOUSEWRAP ENTIRE BUILDING****

****9' HIGH BASEMENT****



FRONT ELEVATION

SCALE: 1/4"=1'-0"

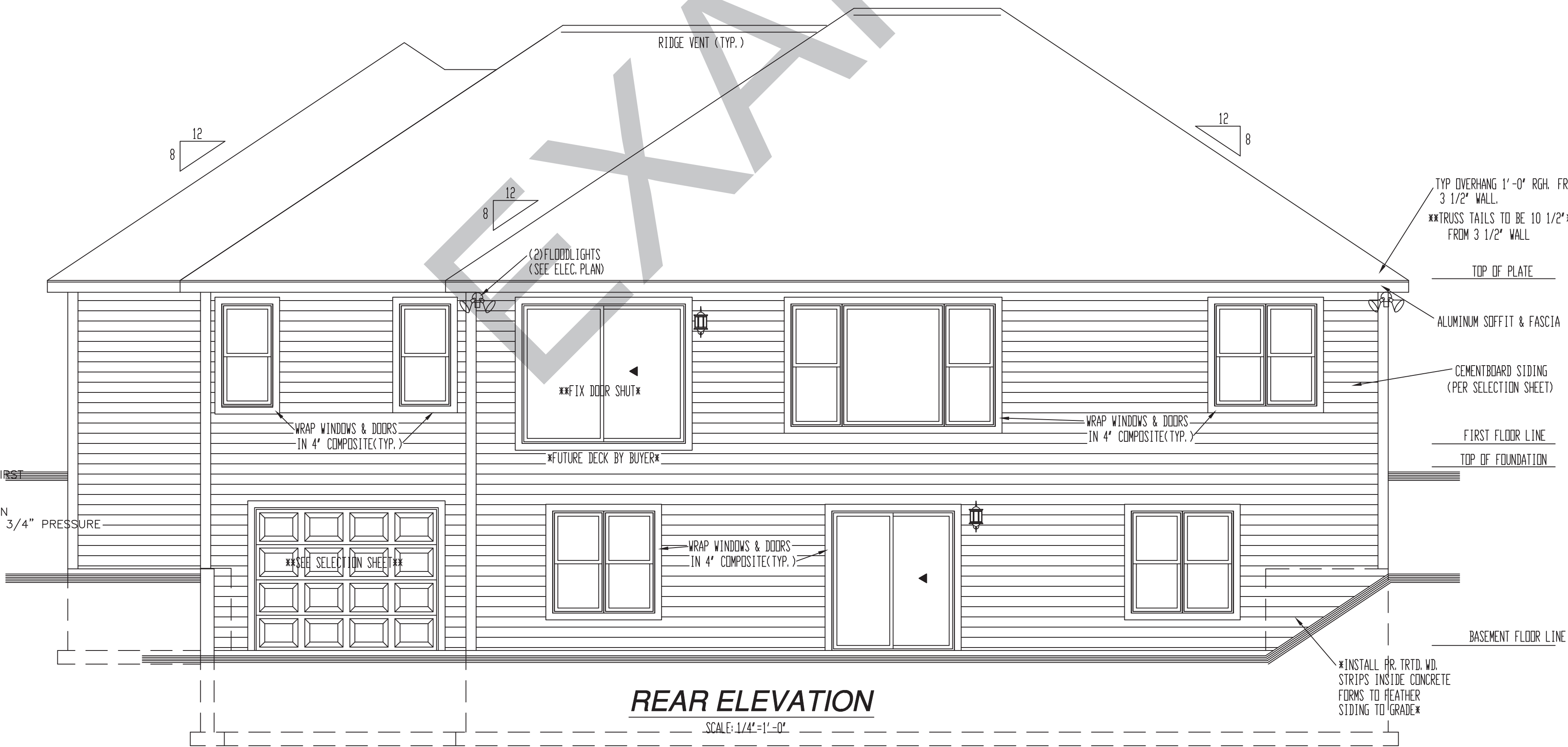
SPECIAL NOTE:

THE BUYER(S) ACKNOWLEDGE THAT IN THE COURSE OF BUILDING, BECAUSE OF JOB CONDITIONS AND DIFFERENT METHODS OF CONSTRUCTION, DEVIATIONS MAY OCCUR FROM THE PRINT. THEREFORE, THE BUILDER RESERVES THE RIGHT TO MAKE SLIGHT MODIFICATIONS TO ROOM SIZES AND PLACEMENT OF MECHANICAL FIXTURES (I.E. HVAC, PLUMBING, ELEC, AND DOWNSPOUTS.)

X _____ / /
X _____ / /

ROUGH CARPENTER NOTE:

1. NOTE LOCATION OF TOILET AND R.V. PIPE. DO NOT PLACE FLOOR JOISTS DIRECTLY IN THIS AREA. ALLOW 6" TO THE CENTER ON BOTH SIDES AND 13" FROM THE WALL FOR THE TOILET AND 5" TO THE CENTER ON BOTH SIDES OF THE R.V. PIPE.
2. ALL EXTERIOR OPENINGS (WINDOWS, DOORS, ETC.) ON THE FIRST FLOOR ARE TO BE A MINIMUM OF (2) 2"x12" HEADERS, UNLESS IT IS OTHERWISE NOTED AS SUCH ON THE PLAN. ALL EXTERIOR OPENINGS ON THE SECOND FLOOR UP TO A 6'0" SPAN ARE TO BE A MINIMUM OF (2) 2"x12" HEADERS, ANY (BEARING) OPENING ON FIRST OR SECOND FLOOR OVER 6'0" SPAN ARE TO BE A MINIMUM OF 2-PLY MICROLAM HEADERS AS NOTED PER THE PLAN.
3. 1ST FLOOR CANTILEVERS ARE TO BE INSULATED W/ R-30 BATT. INSULATION IN THE CLGS. (WHERE APPLICABLE) R-19 BATT. INSUL. IN BOX SILL, AND 3/4" PRESSURE TREATED PLYWOOD (NO R-BEARD IS TO BE USED ON 1ST FLOOR CANTILEVERS). 2ND FLOOR CANTILEVERS ARE TO BE INSULATED W/ R-19 BATT INSULATION, AND 1/2" R-BEARD PRIOR TO INSTALLATION OF FINISH FACING.
4. ALL DIMENSIONS SHOWN ON THE PLAN ARE FOR ROUGH DIMENSIONS, THESE ARE FROM THE FACE OF THE STUD TO THE FACE OF THE STUD.
5. ALL INTERIOR HEADERS ON NON-BEARING WALLS ARE TO BE LADDER HEADERS (SEE DETAIL), ALL BEARING WALLS WILL BE NOTED AS TO THE SIZE ON THE PLAN.
6. METAL WINDBRACING IS TO BE USED AT ALL EXTERIOR CORNERS WHERE SUITABLE, EXCLUDING WHERE OSB IS SUBSTITUTED, R-BEARD IS TO BE INSTALLED ON REMAINING WALLS.
7. 7/16" O.S.B. IS TO BE USED ONLY ON GARAGE EXTERIOR WALLS, ALL GABLE ENDS, FIREPLACE CHASES AND ALL HANGING WINDOW BOXES, NAILED W/ 8/CC 8" TO 10" O.C.
8. ALL HEADERS (INTERIOR BEARING AND ALL EXTERIOR) ARE TO BE NAILED WITH 16D NAILS AT 16" O.C. STAGGERED ON EACH SIDE. (ALL MICROLAM HEADERS ARE TO BE NAILED W/ 16D NAILS @ 12" O.C. STAGGERED ON EACH SIDE AND GLUED).



REAR ELEVATION

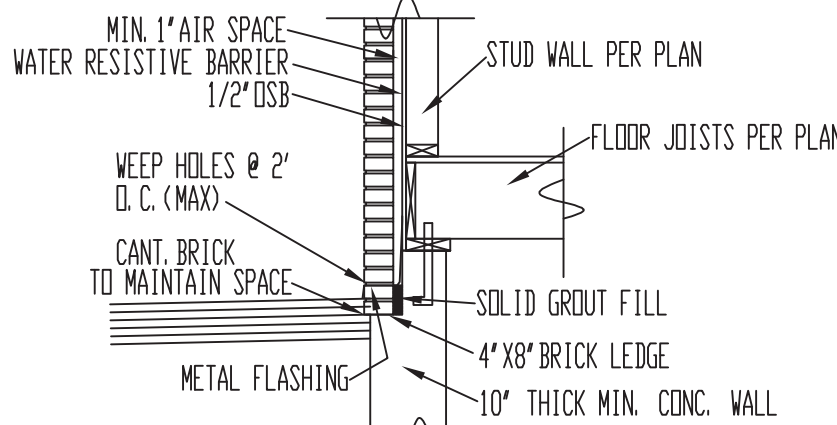
SCALE: 1/4"=1'-0"

NOTE:

LEAVE OPEN AT TOP FOR CIRCULATION

ANCHOR MASONRY PER CODE

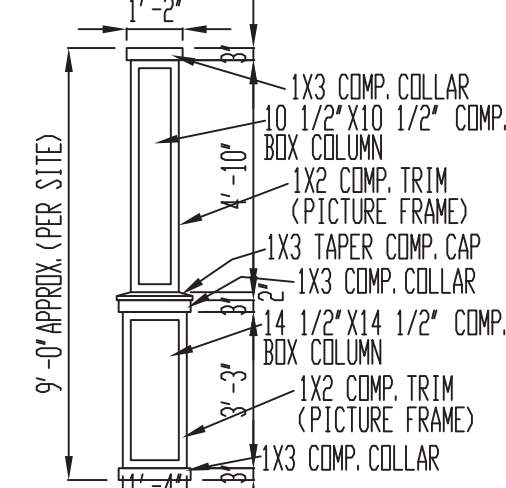
HOLD WALL FRAMING W/ SHEATHING FLUSH W/ EDGE OF BRICK LEDGE BELOW
DO NOT ENCRoACH BRICK LEDGE



BRICK LEDGE DETAIL

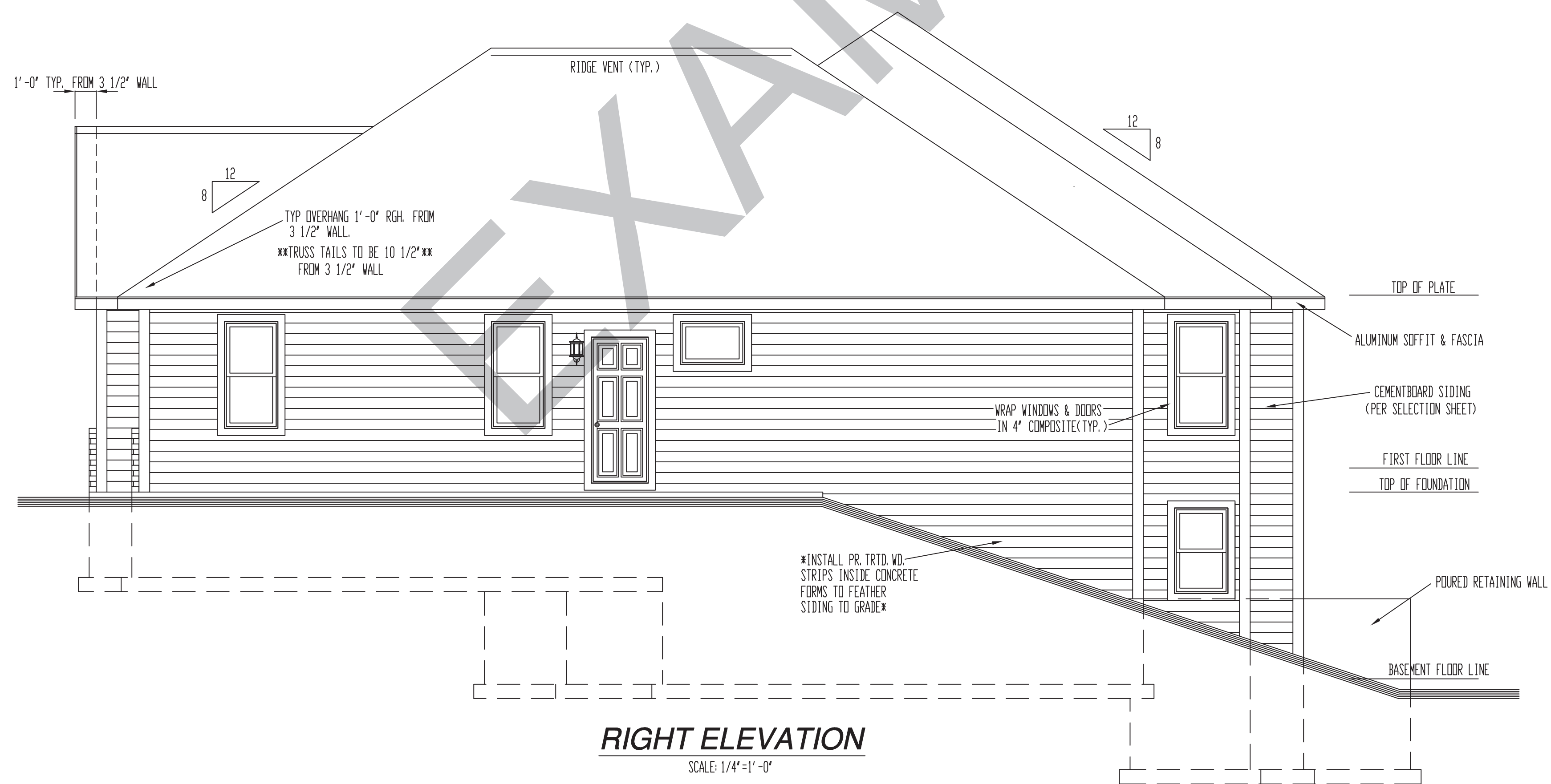
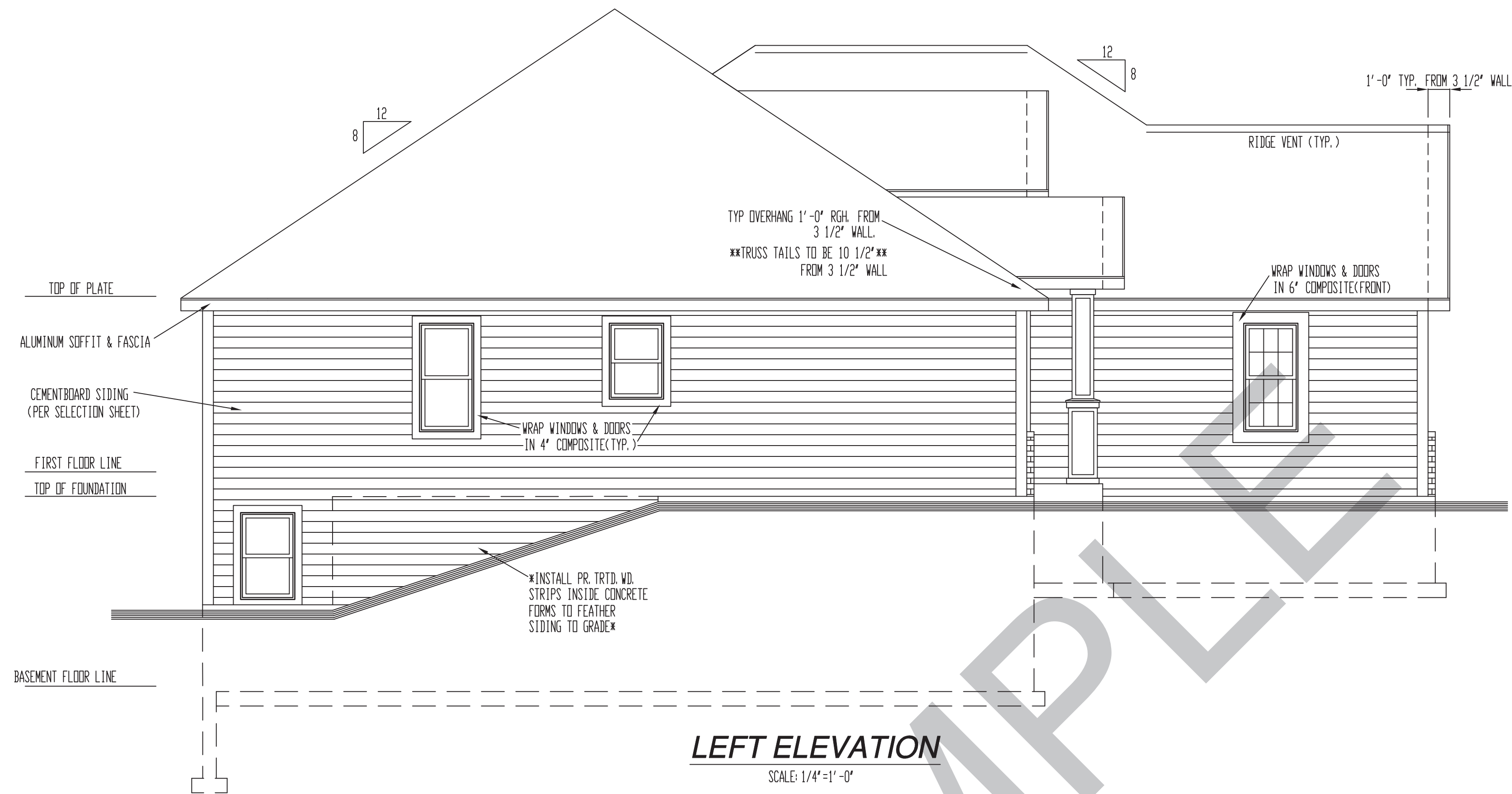
SCALE: 1/2"=1'-0"

NOMINAL DIMENSIONS



COLUMN DETAIL

SCALE: 1/4"=1'-0"





****HOUSEWRAP ENTIRE BUILDING****



CARPENTERS: PLEASE NOTE LOCATION OF CENTERLINES FOR PLUMBING & ALLOW 3" MIN. OF SPACE ON BOTH SIDES.

CONCRETE NOTES:

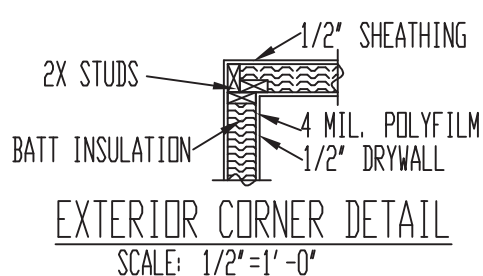
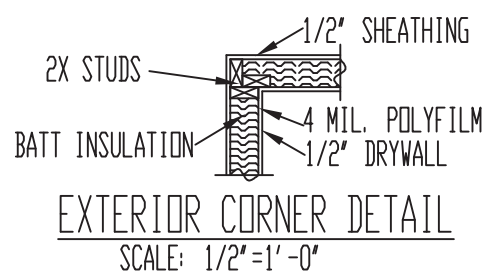
1. ALL BASEMENT WINDOWS ARE TO BE INSTALLED FLUSH WITH TOP OF FOUNDATION WALLS W/ GALVANIZED WELLS.
2. ALL FOOTINGS FOR THE COLUMNS AND WALLS ARE TO BE INSTALLED PER PLAN. COLUMN FOOTINGS ARE TO BE FORMED PER SIZE CALLED OUT ON THE PLAN. ALL WALL FOOTINGS ARE TO HAVE A KEYWAY THE ENTIRE LENGTH OF THE FOOTINGS.

****ANCHOR BOLT NOTE**:**

ANCHOR BOLTS IN GARAGE TO BE PLACED 2" FROM OUTSIDE EDGE. ALL ANCHOR BOLTS HOUSE FOUNDATION TO BE PLACED 3" FROM OUTSIDE EDGE. ANCHOR BOLTS @ GARAGE DOOR TO BE PLACED 6" FROM DROP FOR OVERHEAD DOOR. ALL ANCHOR BOLTS TO BE PLACED 2 1/2" FROM TOP OF FOUNDATION WALL, & 6" FROM CORNERS'.

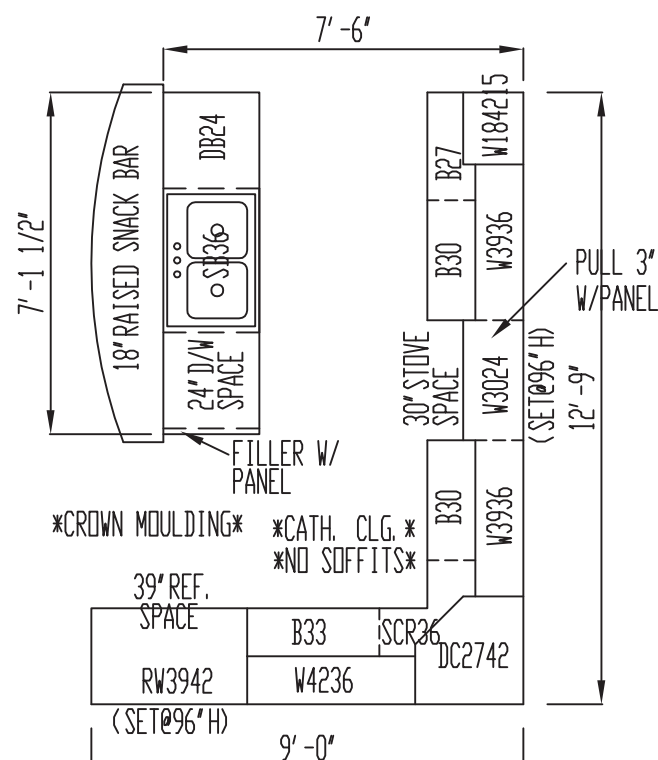
****KNOCKDOWN DRYWALL FINISH W/ ROUNDED CORNERS****

CARPENTERS: PLEASE NOTE LOCATION OF CENTERLINES
FOR PLUMBING & ALLOW 3" MIN. OF SPACE
ON BOTH SIDES.



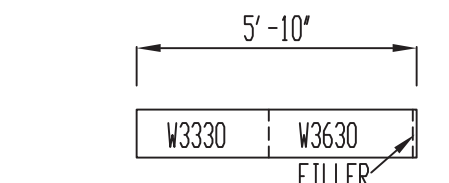
PRELIMINARY DRAWING ONLY!

CABINET LAYOUT MAY BE SUBJECT TO CHANGE PER
SPECIFICATIONS OF CABINET SUPPLIER.



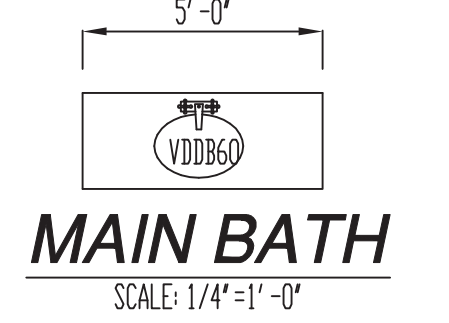
CAB. LAYOUT

SCALE: 1/4" = 1' - 0"



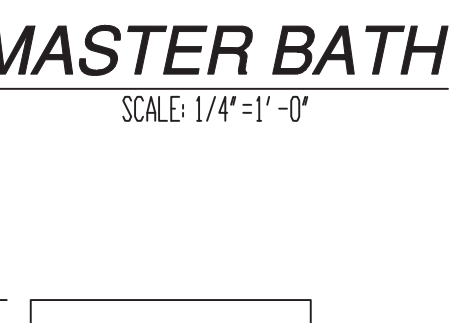
LDY. ROOM

SCALE: 1/4" = 1' - 0"



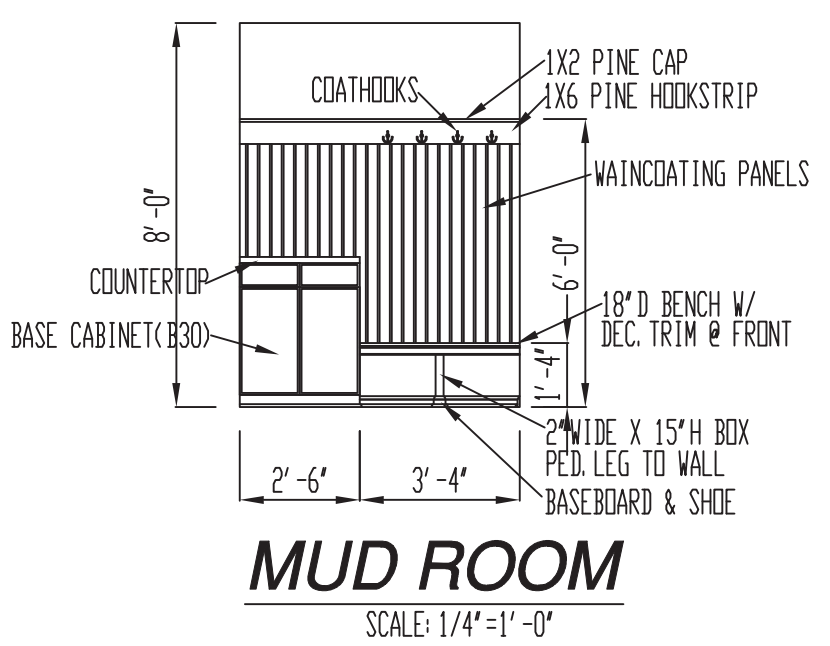
MAIN BATH

SCALE: 1/4" = 1' - 0"



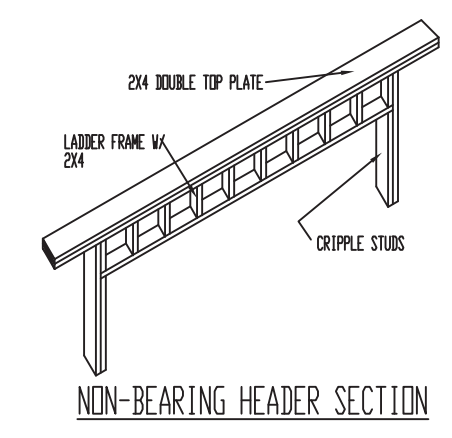
MASTER BATH

SCALE: 1/4" = 1' - 0"

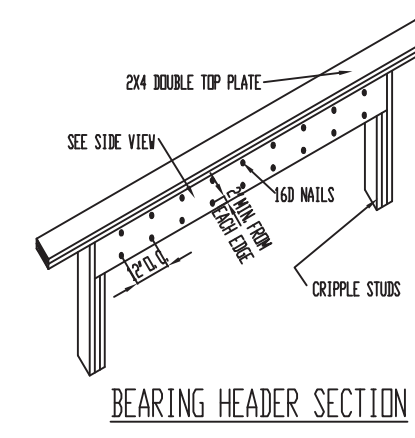


MUD ROOM

SCALE: 1/4" = 1' - 0"

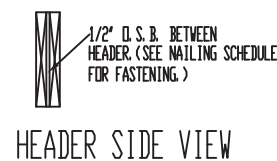


NON-BEARING HEADER SECTION



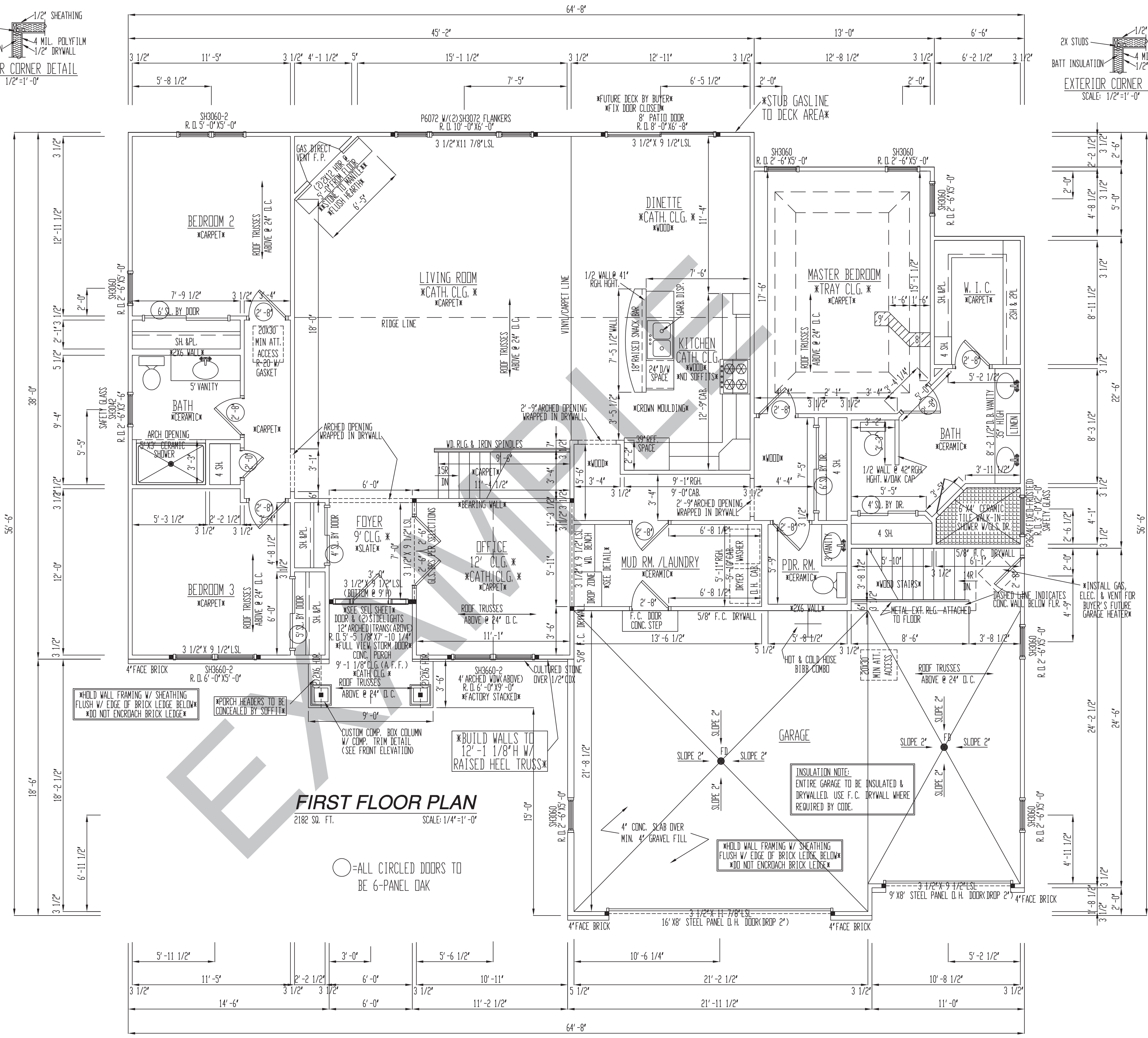
BEARING HEADER SECTION

NOTE: 8 1/2" AND 11 1/4" MEASUREMENTS TO
FACE OF 1/2" ROOF OF 1/2" WALLS.
1" AND 1 1/2" MEASUREMENTS TO
FACE OF 1/2" ROOF OF 1/2" WALLS.
1" AND 1 1/2" MEASUREMENTS TO
FACE OF 1/2" ROOF OF 1/2" WALLS.



HEADER SIDE VIEW

NOT TO SCALE.



FIRST FLOOR PLAN

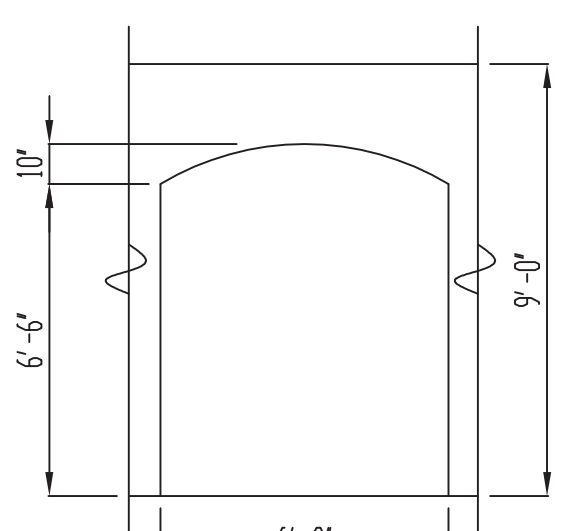
2182 SQ. FT. SCALE: 1/4" = 1' - 0"

○ = ALL CIRCLED DOORS TO
BE 6-PANEL OAK

HOUSEWRAP ENTIRE BUILDING

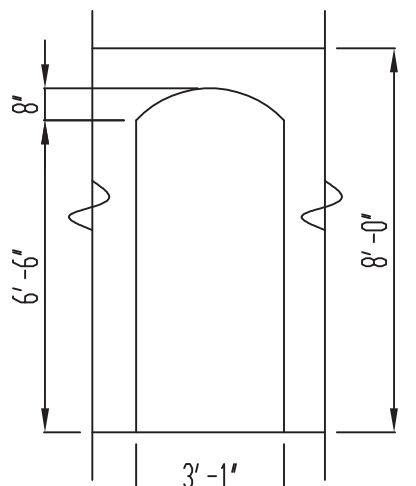
KNOCKDOWN DRYWALL FINISH W/ ROUNDED CORNERS

H. P. VINYL WINDOWS
DRYWALL RETURNS W/ WOOD LEDGES*



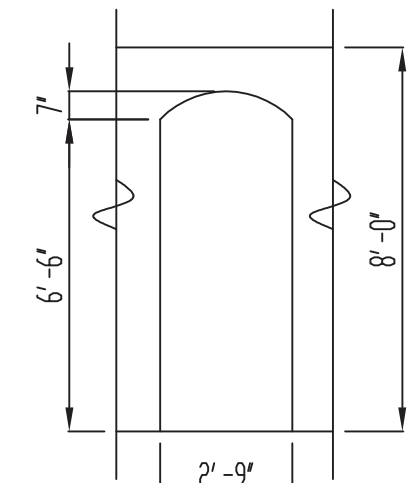
FOYER ARCH

SCALE: 1/4" = 1' - 0"



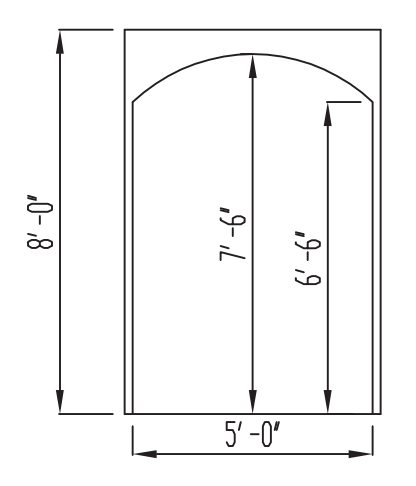
HALL ARCH

SCALE: 1/4" = 1' - 0"



HALL ARCH #2

SCALE: 1/4" = 1' - 0"

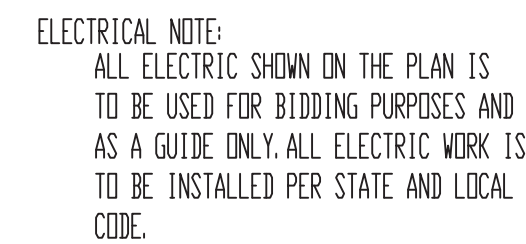


BATH ARCH

SCALE: 1/4" = 1' - 0"

[illegible]

FIRST FLOOR WALL BRACING, ELECTRICAL,
& HEAT DISTRIBUTION LAYOUT



##SUPPLY 200 AMP SERVICE##

HVAC NOTE:

- 1.) LOCATIONS OF SUPPLIES & RETURNS MAY VARY TO DUE STRUCTURAL CONSTRAINTS
- 2.) IN ADDITION TO THIS LAYOUT, THERE WILL ALSO BE ONE SUPPLY LOCATED ON THE TRUNK LINE AND ONE RETURN LOCATED NEAR THE FURNACE IN THE BASEMENT

BRACING NOTE:
1. LOCATIONS OF BRACE PANELS MAY VARY SLIGHTLY
AS LONG AS THEY MAINTAIN ALL INTENT OF CODE